

**AGENDA
ORO VALLEY TOWN COUNCIL
STUDY SESSION
September 27, 2011
ORO VALLEY COUNCIL CHAMBERS
11000 N. LA CAÑADA DRIVE**

STUDY SESSION AT OR AFTER 6:00 PM

CALL TO ORDER

ROLL CALL

1. Discussion Regarding Oro Valley Town Centre PAD Amendment

FUTURE AGENDA ITEMS (The Council may bring forth general topics for future meeting agendas. Council may not discuss, deliberate or take any action on the topics presented pursuant to ARS 38-431.02H)

ADJOURNMENT

POSTED: 9/20/11 at 5:00 p.m. by tlg

When possible, a packet of agenda materials as listed above is available for public inspection at least 24 hours prior to the Council meeting in the Town Clerk's Office between the hours of 8:00 a.m. – 5:00 p.m.

The Town of Oro Valley complies with the Americans with Disabilities Act (ADA). If any person with a disability needs any type of accommodation, please notify the Town Clerk's Office at least five days prior to the Council meeting at 229-4700.



CC-700

Item # 1.

Town Council Study Session

Meeting Date: 09/27/2011

Requested by: David Williams

Submitted By: Matt Michels, Development
Infrastructure Services

Department: Development Infrastructure Services

Information

SUBJECT:

Discussion Regarding Oro Valley Town Centre PAD Amendment

RECOMMENDATION:

The purpose of the Study Session is to discuss the PAD Amendment and garner the Council's input and direction. The item is for discussion only and no action will be taken at this meeting. This item is currently scheduled for a Town Council public hearing on October 5.

EXECUTIVE SUMMARY:

The proposed Planned Area Development (PAD) amendment is primarily focused on the 27.8-acre (Area #1 on Exhibit CC-1 in the attached PAD redline- see Attachment #1) and 4.5-acre commercial portions of property (Area #2 on Exhibit CC-1) within the Oro Valley Town Centre PAD, located on the east side of Oracle Road between First Avenue and the Rooney Wash. The other areas of the PAD, including the hotel/office/retail site (Area #3 on Exhibit CC-1) and the residential portion (Area #4 on Exhibit CC-1), lie to the south of the commercial property, between the Rooney Wash and Pusch View Lane and are not proposed to be changed by the PAD amendment. The Oro Valley Town Centre PAD is approximately 141 acres in size and is currently undeveloped.

The PAD amendment request entails several changes to the PAD which affect the overall land use mix by permitting ground level multi-family residential, additional convenience uses, and revised PAD development standards. The focus of this report is on three of the most substantive issues, including:

1. Apartment uses
2. Number of convenience uses
3. Main Street/urban design

Additional discussion of each of these issues is contained in the *Background or Detailed Information* section on the next page.

Planning and Zoning Commission (PZC) Recommendation

The PZC held a public hearing August 2, 2011, and recommended conditional approval of the proposed PAD Amendment subject to the conditions in Attachment #2. The PZC raised a number of issues and concerns related to the proposed amendment, including the following:

- Number of convenience uses proposed
- Proposed apartment development
- Proposed building heights, including view protection
- Type of uses proposed, including disposition of the Main Street area

- Character of proposed development, including shift of focus from "New Urbanist" town center to traditional suburban retail/office/apartment. This issue was discussed by staff and members of the public at the meeting.

In addition, five residents spoke during the public hearing and expressed concerns regarding the aforementioned issues, as well as concern that the PAD does not adequately define mixed use and that the proposal represents a deviation from the original vision for the property.

Please refer to the attached staff report (Attachment #4) and draft minutes from the August 2 meeting (Attachment #5) for additional information.

BACKGROUND OR DETAILED INFORMATION:

The applicant's stated objective is to allow greater flexibility in designing the commercial phase of the Oro Valley Town Centre. The vision for the commercial portion of the current PAD is to create a "discernible [town] center" (Goal 1) and "commercial core, which is effectively new, exciting, and different to the extent that it offers a distinctive and excellent alternative to other business, retail, and residential areas in the Northern Tucson metropolitan region" (Goal 7). The amendment request would change the focus of the PAD to a more traditional suburban shopping center with enhanced pedestrian connectivity. The applicant states that the PAD requires an amendment to allow more flexibility to attract potential businesses while still maintaining high development standards as embodied in the existing PAD. According to the applicant, the primary reason for the proposed change is the lack of market demand and viability for the main street concept/mixed use area.

Following is a summary of the most substantive issues followed by existing PAD requirements and staff commentary. Please refer to the attached comparison table of existing PAD standards and the proposed amendments (Attachment #4):

1. **Apartment Uses:** The applicant is requesting approval for multi-family residential development to be located towards the rear of Area #1 as depicted on two of the four Illustrative Site Plans.

Existing PAD requirement: The PAD currently allows vertically integrated residential development (e.g. second floor residential units above first floor office or retail).

Staff Response: Staff has surveyed apartment complexes in the Town and finds that the average occupancy is currently approximately 93% (see Attachment #3). While there appears to be a market for new multi-family development, the amount of apartments proposed (15.5 acres, or over one half of Areas 1 and 2), the proposed ground level apartment complex rather than vertical mixed use, and the loss of commercial/employment acreage are areas of concern.

2. **Convenience Uses:** The applicant is requesting an increase in the number of convenience uses in Areas 1 and 2 from three (3) to 6 or 7. In addition, the applicant proposes to delete the requirement that the applicant obtain Council approval for fast food, drive-through or drive-in restaurants, gas stations, or car washes. Further, the applicant proposes to include the requirement for a Conditional Use Permit (CUP) for convenience uses per the Town Zoning Code.

Existing PAD requirement: The PAD allows up to three (3) convenience uses in Areas 1 and 2, three (3) convenience uses in Area 3, and limits the type of uses unless Council approval is granted. Convenience uses are exempted from the CUP requirements of the Zoning Code.

Staff Response: Staff supports a limitation on the number of convenience uses and the addition of the CUP requirement to enhance the Town's ability to limit convenience uses if they are deemed incompatible, inappropriate or excessive. There has been concern expressed regarding the number of convenience uses that would be appropriate to maintain the character of the development and reduce negative impacts associated with convenience uses. Staff has met with the applicant to discuss alternative approaches to further define and limit convenience uses. Staff is working with the applicant

on a revised approach that requires a CUP for all convenience uses but exempts the OV Town Centre from three convenience use requirements, including location requirements, number of convenience uses, and timing of development. Staff supports this revised approach. In addition, the CUP criteria need to be updated to ensure optimal community fit.

3. **Main Street Area/Urban Design**: The applicant proposes to delete the Main Street Area (PAD Pages AA-1 and EE-6 and Appendix F Sheet 3) from the PAD in favor of a “multiple use development” with enhanced pedestrian connectivity.

Existing PAD requirement: The PAD goal to “create a high quality and discernible Oro Valley Town Centre mixed use development” is centered on an “old ‘main street’ theme which features on street parking, buildings located close to the street, office and apartments above the retail uses with sit down restaurants and shops focused around a village commons area” and designed with “principles of New Urbanism”, or traditional town planning.

Staff Response: This fundamentally changes the focus and character of this portion of the PAD from an “Oro Valley Town Centre” to more traditional suburban retail/office/multi-family residential development. The current approach that allows near-term development of suburban scale uses while preserving the long-term opportunity to develop a “high quality multiple use development...commercial core, including residential, office, hotels, retail, restaurant and entertainment facilities...the land use mix is also designed to create a destination critical mass for services and a potential urban synergy”. While this scenario is not specifically precluded with the amendment, it is no longer explicitly required or reflected in any of the four Illustrative Site Plans.

Please refer to the attached August 2, 2011, Planning and Zoning Commission report (Attachment #4), the Amendment Summary Table (Attachment #6), Summary of Neighborhood Issues (Attachment #7), Public Outreach Report (Attachment #8) and letters from the La Reserve HOA Board (Attachment #9) and Bill Adler (Attachment #10) for additional detail and discussion regarding the proposal and public input received regarding the amendment.

FISCAL IMPACT:

N/A

SUGGESTED MOTION:

This item is for discussion only.

Attachments

Attachment #1-PAD Redline

Attachment #2-PZC Recommended Conditions of Approval

Attachment #3-Table of OV Apartment Occupancy Rates

Attachment #4-8-2-11 PZC Report

Attachment #5-Amendment Summary Table

Attachment #6-Summary of Neighborhood Issues

Attachment #7-Public Outreach Report

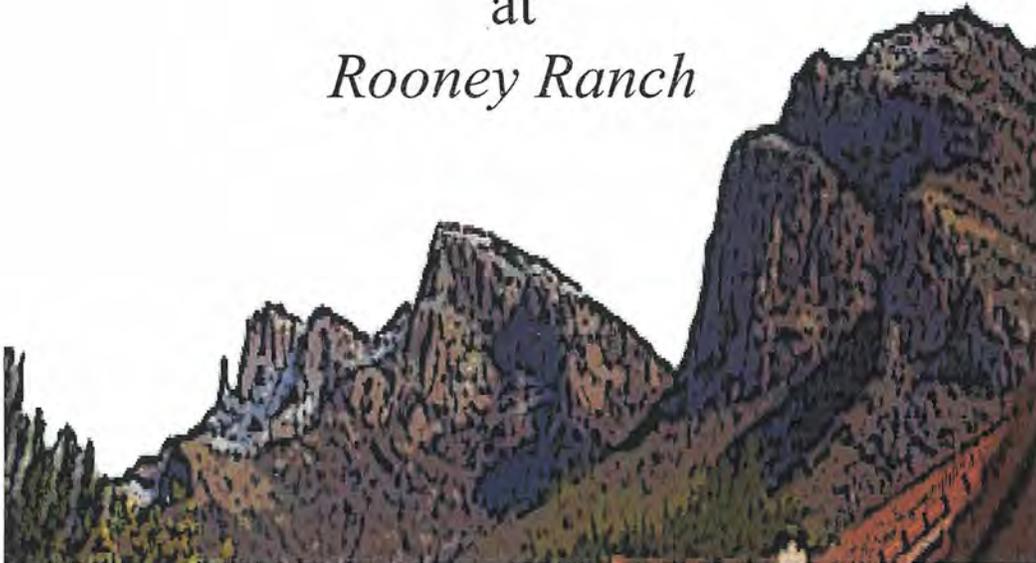
Attachment #8-La Reserve HOA Board Letter

Attachment #9-Bill Adler Letter

Attachment #10-Draft 8-2-11 PZC Minutes

Oro Valley Town Centre

at
Rooney Ranch



Planned Area Development

~~October 2001~~ Revised ~~March~~ ~~May~~ ~~July~~, 2011

~~Document and Project Name Changed February 15, 2002~~

~~Revised June 6, 2002~~

Previous Final Version as Approved by Town Council on October 16, 2002

Ordinance No. (O) 02-33

OV9-01-05

Property Owner:

Cañada del Oro Partners

~~401 South Boston Avenue, Suite 2400~~

~~Tulsa, Oklahoma 74103-4010~~ 1707 E. Highland, Suite 100

Phoenix, AZ 85016

Prepared By:

The WLB Group, Inc. Kitchell Development Company

4444 East Broadway Boulevard

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WLB No. 181057-A-007-0104 1707 E. Highland #100

Phoenix, AZ 85016

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Oro Valley Town Centre at *Rooney Ranch*

TABLE OF CONTENTS

		PAGE
SECTION 1 - ANALYSIS		
A.	EXISTING CONDITIONS.....	A-1
1.	Site Location	A-1
2.	Onsite Land Use	A-1
	Exhibit A-1, Regional Location Map.....	A-2
	Exhibit A-2, Vicinity Map	A-3
3.	Surrounding Land Uses	A-4
4.	Surrounding Zoning	A-4
5.	Onsite Zoning.....	A-4
6.	Acreages	A-4
7.	Building Heights on Adjacent Properties	A-45
	Exhibit A-3, Aerial Photograph.....	A-5
	Exhibit A-4, Existing Zoning	A-6
B.	TOPOGRAPHY.....	B-1
1.	Topographic Characteristics.....	B-1
2.	Other Topographic Observations	B-1
	Exhibit B-1, Site Topography.....	B-2
	Exhibit B-2, Slope Analysis	B-3
C.	HYDROLOGY	C-1
1.	Offsite Drainage	C-1
2.	Hydrology Results	C-1
3.	Table of 100-Year Peak Discharges.....	C-1
	Exhibit C-1, Offsite Watersheds	C-2
	Exhibit C-2, 100-Yr Flood Limits For Floodplains w/ Flows of 50 cfs or Greater	C-3
D.	VEGETATION.....	D-1
1.	Vegetative Region.....	D-1
2.	General Plant Community on Site	D-1
3.	Cumulative Plant Inventory/List	D-2

4.	Threatened or Endangered Species.....	D-2
5.	Vegetation Density.....	D-3
6.	Vegetative Characteristics and Usage	D-3
7.	Significant Vegetation Survey.....	D-4
	Exhibit D-1, Vegetative Communities	D-5
	Exhibit D-2, Vegetative Densities	D-6
	Exhibit D-3, Significant Vegetation Survey.....	D-7
E.	WILDLIFE	E-1
1.	Letter	E-1
2.	Description of Wildlife Habitats.....	E-1
	Exhibit E-1, Letter - Arizona Game and Fish Department.....	E-2
F.	SOILS.....	F-1
1.	Floodplains.....	F-1
2.	Soils Exhibit and Development Suitability.....	F-1
	Exhibit F-1, Soils Analysis.....	F-2
G.	VIEWS/VISTAS.....	G-1
1.	Important Vistas from the Site	G-1
2.	Important Vistas to the Site (On-site Views).....	G-1
	Exhibit G-1, Views From Site	G-3
	Exhibit G-1a, Photos of Views From Site	G-4
	Exhibit G-2, On-Site Views	G-5
	Exhibit G-2a, Photos of On-Site Views	G-6
	Exhibit G-2b, Photos of On-Site Views	G-7
	Exhibit G-2c, Photos of On-Site Views	G-8
H.	TRAFFIC	H-1
1.	<u>Access Existing and Proposed Streets</u>	H-1
2.	<u>Existing Conditions Arterial Streets within One Mile of Project</u>	H-14
3.	<u>Traffic Impact Analysis Existing and Proposed Intersections</u>	H-2
4.	<u>Existing Bicycle and Pedestrian Ways</u>	H-24
	Exhibit H-1, Traffic Volumes	H-32
I.	SEWER/WATER/OTHER UTILITIES.....	I-1
1.	Existing Public Sewers.....	I-1
2.	Pima County Wastewater Management Department Capacity Response Letter.....	I-1
3.	Projected Sewers	I-1
4.	Existing Water.....	I-1
5.	Proposed Water Improvements.....	I-1
6.	Water Service Availability	I-1
7.	Other Existing Utilities	I-1

	Exhibit I-1, Existing Utilities.....	I-2
	Exhibit I-2, Wastewater Capacity Response	I-3
J.	SCHOOLS.....	J-1
	1. Existing Schools.....	J-1
	Exhibit J-1, Schools	J-2
K.	RECREATION AND TRAILS	K-1
	1. General Offsite Parks and Recreational Areas	K-1
	2. Undisturbed Natural Open Space.....	K-1
	3. Additional Information	K-1
	Exhibit K-1, Offsite Parks & Recreation Areas	K-2
	Exhibit K-2, Undisturbed Natural Open Space	K-3
L.	CULTURAL RESOURCES	L-1
	1. Letter from the Arizona State Museum	L-1
	2. Archaeological Report.....	L-1
	Exhibit L-1, Letter from the Arizona State Museum.....	L-2
M.	COMPOSITE EXHIBIT	M-1
	1. General Composite Exhibit	M-1
	Exhibit M-1, Composite Map.....	M-2

SECTION II - LAND USE PROPOSAL

A.	PROJECT OVERVIEW.....	AA-1
	General Urban Land Use Strategy	AA-1
	Exhibit AA-1, Preliminary Conceptual Site Tentative Development Plan (8 1/2" x 11").....	AA-2
	Exhibit AA-2, Pusch View Lane Sections	AA-3
	Exhibit AA-3, First1st Avenue and Entry Sections.....	AA-4
B.	COMMUNITY GOALS AND POLICIES	BB-1
	Goals	BB-1
	Policies	BB-1
	1. Oracle Road Scenic Corridor Overlay District	BB-1
	2. Hydrology	BB-3
	3. Grading	BB-34
	4. Landscaping.....	BB-54
	5. Setbacks	BB-5
	6. Building Height.....	BB-5
	7. Signs	BB-566
	8. Phasing	BB-6
	9. Public Improvements	BB-76
	10. General PAD Administration.....	BB-867

11. Development PlanConceptual Site Plan and/or Preliminary Plat ReviewBB-897

C.	PLANNED AREA DEVELOPMENT PROPOSAL.....	CC-1
	General.....	CC-1
	<u>Areas 1 & 2 Commercial Area</u>	CC-2
	<u>Area 3 Commercial</u>	CC-54
	<u>Area 4 Residential Area</u>	CC-764
	Exhibit CC-1, Limits of Commercial/Residential Areas	CC-785
D.	CONCEPTUAL GRADING CONCEPT.....	DD-1
	1. General.....	DD-1
	2. Average Cross Slope	DD-2
	Exhibit DD-1, Conceptual Grading Plan	DD-3
	Exhibit DD-2, Approximate Cut and Fill Volumes, SW Quadrant.....	DD-4
	Exhibit DD-3, Approximate Cut and Fill Volumes, SE Quadrant	DD-5
	Exhibit DD-4, Grading Techniques	DD-6
	Exhibit DD-5, Grading and Erosion Control Techniques.....	DD-7
	Exhibit DD-6, Grading and Terracing Techniques	DD-8
	Exhibit DD-7, <u>Conceptual Planting Plan for Graded Areas</u> <u>Intentionally Blank</u>	DD-9
	Exhibit DD-8, <u>Terraced</u> -Retaining Wall.....	DD-10
E.	PROJECT DESIGN CRITERIA	EE-1
	1. Architectural Design Criteria	EE-1
	Exhibit EE-1, <u>Architectural Theme and Design Elements</u> <u>Representative Imagery</u> EE-6	
	Exhibit EE-2, Architectural Theme and Design Elements	EE-7
	Exhibit EE-3, Architectural Theme and Design Elements	EE-8
	Exhibit EE-4, Architectural Theme and Design Elements	EE-13
	Exhibit EE-5, Architectural Theme and Design Elements	EE-14
	Exhibit EE-6, <u>Conceptual Elevations for Mini-Department Store</u> <u>Intentionally Blank</u> EE-15	
	Exhibit EE-7, <u>Intentionally Blank</u> <u>Landscape Architectural Theme and Design</u>	
	<u>Elements</u> EE-16	
	Exhibit EE-8, <u>Intentionally Blank</u> <u>Landscape Architectural Theme and Design</u>	
	<u>Elements</u> EE-17	
	Exhibit EE-9, <u>Intentionally Blank</u> <u>Landscape Architectural Theme and Design</u>	
	<u>Elements</u> EE-18	
	Exhibit EE-10, Oro Valley Town Centre Recommended Plant List.....	EE-1922
F.	SIGNS	FF-1
G.	NOISE ABATEMENT	GG-1
H.	LIGHTING	HH-1

APPENDICES

| Appendix A: Areas H, I-and J Legal Descriptions
Appendix B: Zone Change Ordinance (No. (O) 02-33)
Appendix C: Tentative Development Plan (~~Reduction, 1124~~ x 1736")
[Appendix C-1: Illustrative Site Plans for Areas 1 & 2](#)
[Appendix C-2: Illustrative Open Space details](#)
Appendix D: Letter of Map Amendment
[Appendix E: Cactus Ferruginous Pygmy-Owl Survey dated 10-26-10](#)
[Appendix F: Previously Approved \(10-16-2002\) Tentative Development Plan \(Superseded\)](#)

SECTION 1 - ANALYSIS

Oro Valley Town Centre at *Rooney Ranch*

SECTION I

ANALYSIS

INTRODUCTION

This document has been prepared to meet the rezoning requirements of the Town of Oro Valley. It includes an inventory and analysis of the approximately 141-acre site presently known as Rooney Ranch, Parcels H, I & J, and makes a zoning and land use proposal. A large portion of the ranch was annexed into Oro Valley from unincorporated Pima County and rezoned from SR to the Oro Valley equivalent R1-144. On February 8, 1989, the Town Council approved the rezoning of the majority of the property from R1-144 to PAD, subject to the conditions of OV9-89-6. This PAD proposes rezoning the remaining area, which was referred to as Parcels H & I in the earlier rezoning for the development of an urban village or Town Center at this key intersection in the geographical center of Oro Valley.

Considerable engineering and other alterations have been made to this site over the years because of the increasing pressure to accommodate traffic and drainage, making it all the more prime and appropriate for urban development.

This ~~family owned~~ land is held in a partnership called Cañada del Oro Partners with Kitchell Development Company, ~~E. Blake Hastings of Tulsa, Oklahoma,~~ as manager and E. Blake Hastings of Tulsa, Oklahoma, who represents the Rooney Family interests. Attorneys representing the partnership ~~is include Frank S. Bangs, Jr. and Keri Lazarus Silvyn of Lewis and Roca LLP in Tucson, Arizona.~~ The Planning and Engineering firm retained as a consultant to the project is The WLB Group, Inc., of Tucson with Charles W. Hulsey, AICP, as ~~Project Manager,~~ and Robert G. Longaker, III, ASLA as Project Manager.

A. EXISTING CONDITIONS

1. Site Location (Exhibits A-1 and A-2)

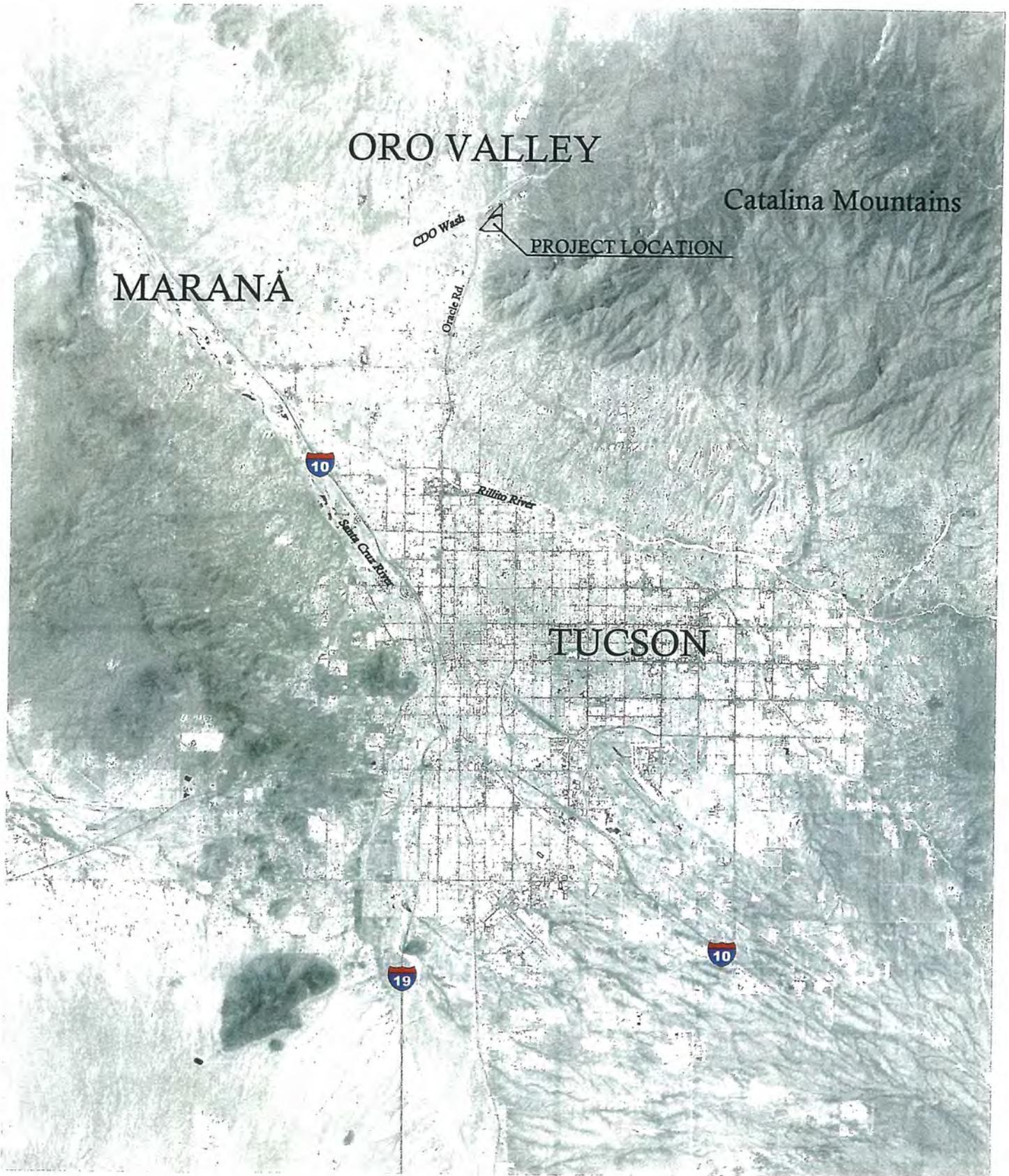
The subject property is what remains of a more than 5,000-acre working ranch owned by the Rooney family since 1946. El Conquistador, Honeywell, The Foothills Business Park, La Reserve, the Oro Valley Country Club, the Target Center, Fry's and Home Depot fell under this single ranch ownership. In the metropolitan perspective, the site is situated eight miles north of Tucson on the Tucson/Florence Highway also known as Oracle Road and as Arizona State Highway 77. Locally, it straddles the intersection of North **First1st** Avenue and Oracle Road. The western boundary is Oracle Road, the south boundary is generally the northern edge of the El Conquistador Resort, and the east line abuts the La Reserve project south of Oracle Road. Over the years, as urban development surrounded the ranch and infrastructure requirements such as streets and drainageways were needed, the Rooney family dedicated to Pima County and the Town of Oro Valley considerable acreage for:

- a. The Canada del Oro embankment and drainageway project.
- b. The widening of Oracle Road (State Highway 77).
- c. The widening and realignment of North **First1st** Avenue and the bridges (including adequate land for a parallel set of lanes to be built later).
- d. The widening and extension of Lambert Lane.
- e. Drainage channels east and west of North **First1st** Avenue north of Lambert Lane.
- f. The Foothills Channel Project.
- g. The Rooney Wash Project.
- h. The new interceptor sewer project north of Canada del Oro.
- i. The easement for the extension of **First1st** Avenue from Oracle Road to La Reserve Drive.
- j. Donated land to the Town of Oro Valley located at the southwest-northwest corner of **First1st** Avenue and Lambert Lane for a water pump station. (Parcel # 220090170 is approximately 0.10 acre.)

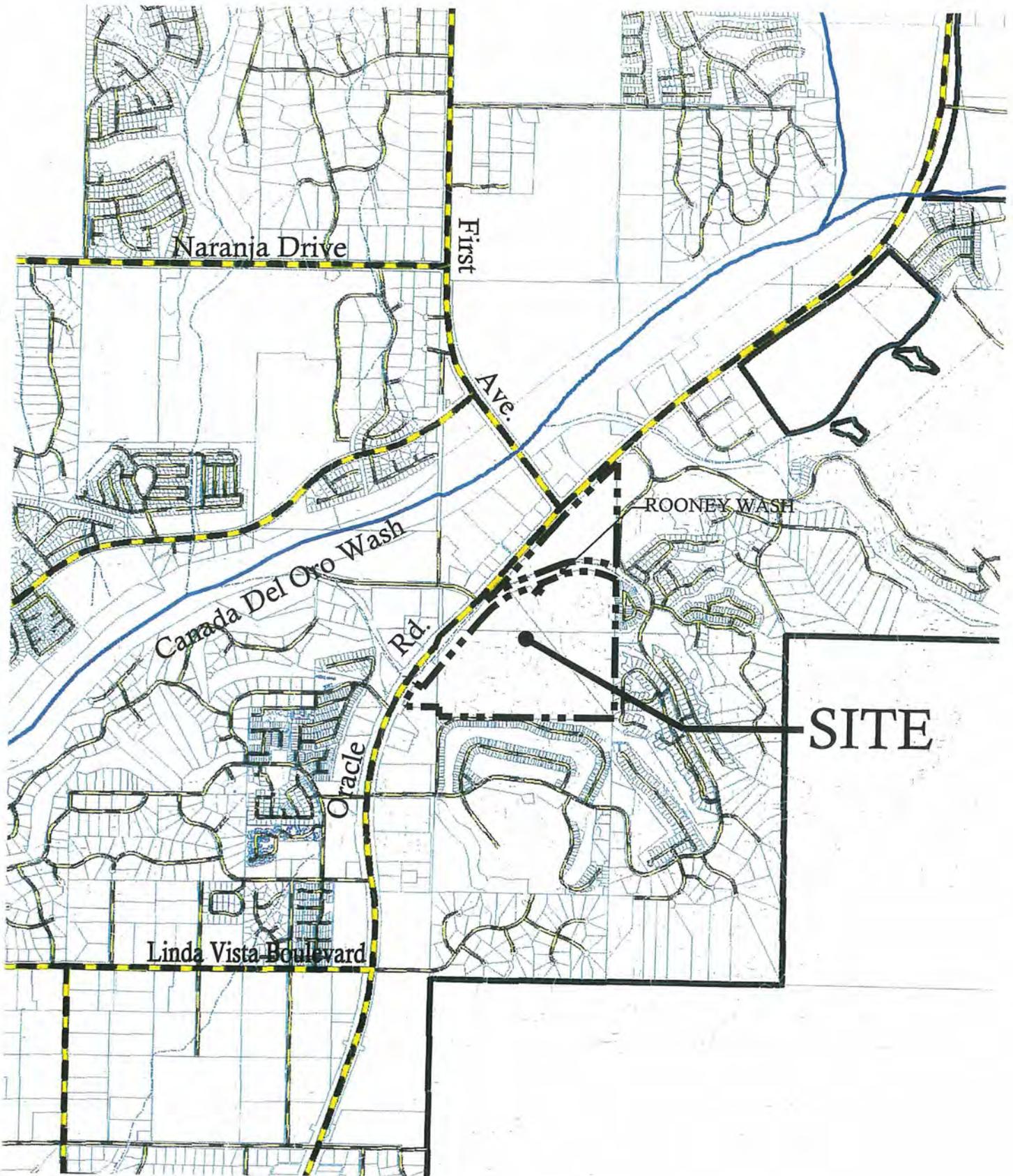
An oblique aerial photograph is included to show the site relative to surrounding development in the Town of Oro Valley as well as Pima County (Exhibit A-3, Aerial Photograph).

2. Onsite Land Use

The site is currently vacant land, and has rapidly become surrounded by commercial business activity and residential development and subsequent improvements in infrastructure.



**EXHIBIT A-1:
REGIONAL LOCATION MAP**



**EXHIBIT A-2:
VICINITY MAP**

1" = 2000'



3. Surrounding Land Uses

- a. South of the property - Land is developed as the "casita" area of the El Conquistador Resort along the eastern three quarters of the south property line. The western one-quarter is partially developed as San Jose Plaza.
- b. West of the property - Directly across Oracle Road, the entire length is developed as a regional commercial center featuring major tenants, including Target, Office Max, PetSmart, Fry's, Albertson's, and Home Depot.
- c. North of the property - The northern edge abuts an assisted living apartment complex.
- d. East of the property - The eastern boundary abuts the commercial, then multifamily, then single family tracts of La Reserve along the eastern boundary.

4. Surrounding Zoning (Exhibit A-4)

- a. South of the property - Beginning with the southeast corner and running west approximately 2,640 feet is El Conquistador Resort, which is zoned R-4R in Oro Valley.
- b. West of the property - This property is zoned Rooney Ranch Oro Valley Center PAD, Commercial.
- c. North of the property - Lands north of the property are currently zoned TR.
- d. East of the property - The property south of Oracle Road and north of the southeast corner of the site is in the Town of Oro Valley and is within the La Reserve PAD. The northern forty-acre tract is zoned for commercial/retail and multi-family. The middle forty acres is generally for medium density multifamily, while the southern-most forty acres is for single-family detached housing.

5. Onsite Zoning

The subject property is currently zoned ~~R1-144 in Oro Valley~~ Oro Valley Town Centre Planned Area Development.

6. Acreage

The total acreage being included in this PAD is ~~141.4~~ 2 acres.

7. Building Heights on Adjacent Properties

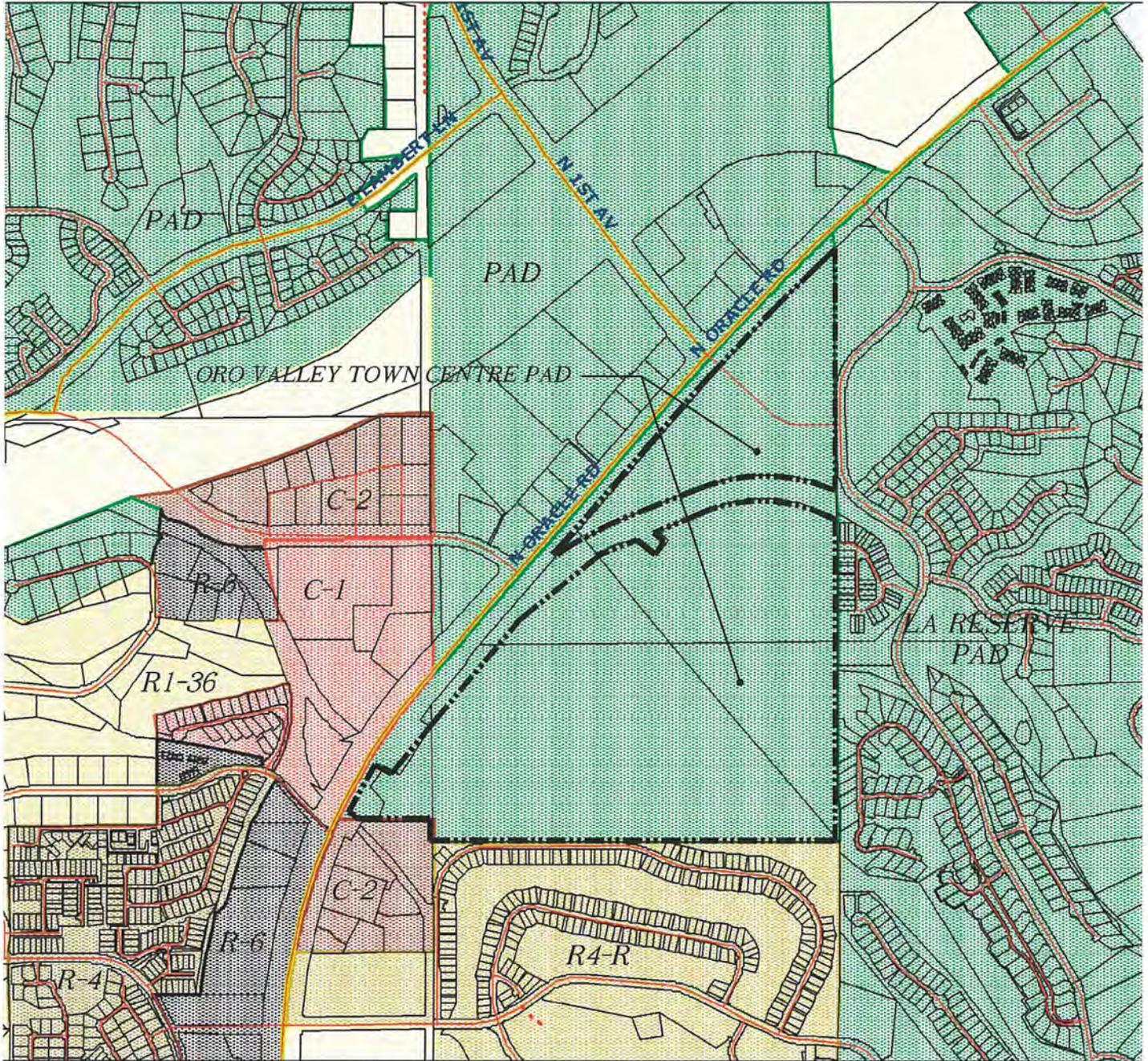
Existing building heights in the immediate area consist primarily of single-family homes at 24 feet, apartments in La Reserve at 35 feet. The assisted living development to the north is three stories and approximately 35 feet in height. The regional commercial center to the west has height limitations of 33 feet.



2009 AERIAL PHOTOGRAPHY

EXHIBIT A-3: AERIAL PHOTOGRAPH





**EXHIBIT A-4:
EXISTING ZONING**

1" = 1000'



B. TOPOGRAPHY

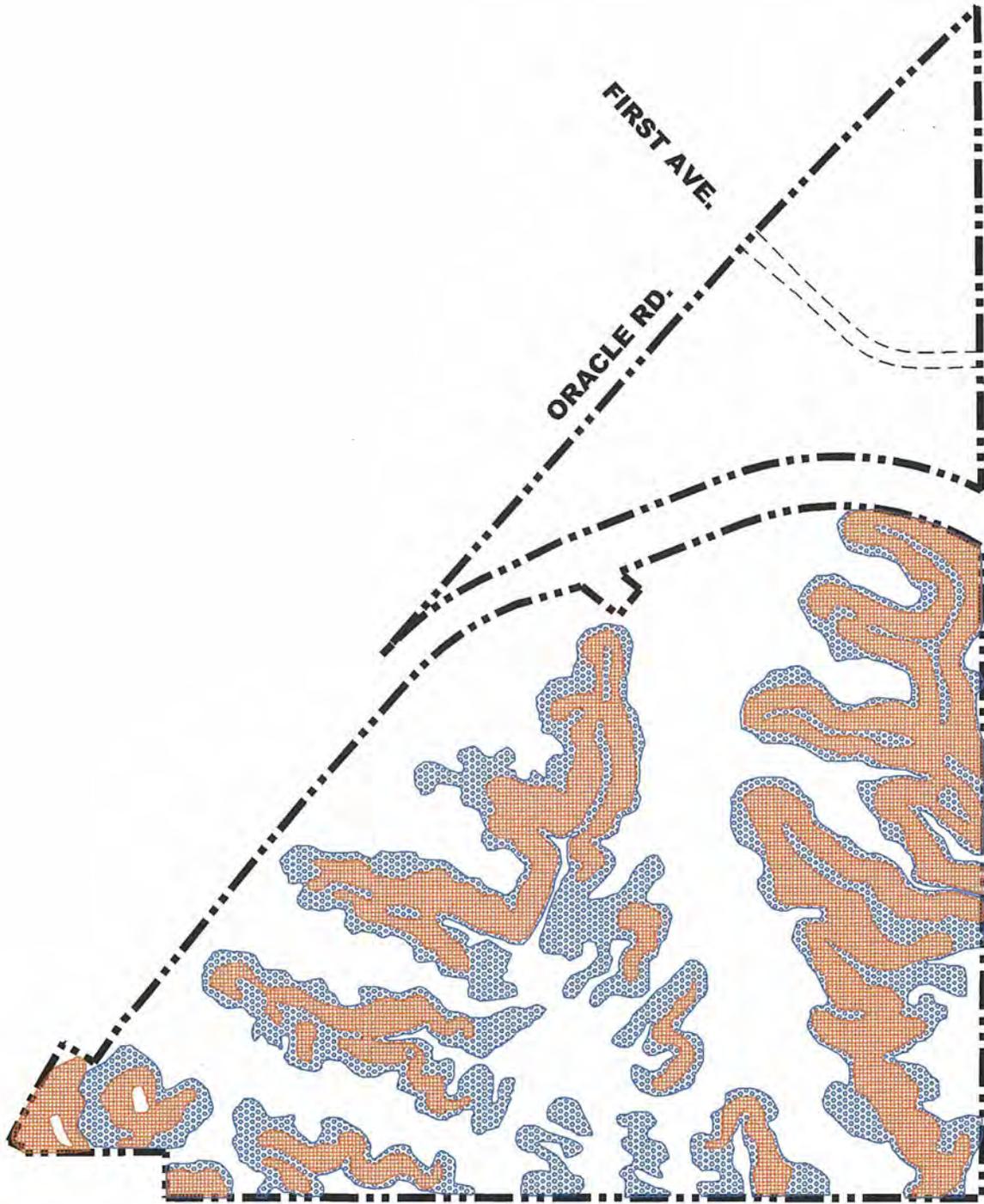
1. Topographic Characteristics: South of Oracle Road and its accompanying side wash (Rooney Wash) lie the foothills, which are the eroded or incised alluvial fans of the Santa Catalina Mountains, and more specifically the northwestern face of Pusch Ridge. They are similar in makeup and character to the foothills in the Tortolita fan to the north with the exception that they form a tilting plane sloping downward to the northwest offering excellent views back to the Santa Catalina Mountains. The hills consist of sand and gravel aggregate with no stone outcroppings. The gravel tends to be slightly larger stones due to the proximity of the mountains from which they eroded. The slope areas, 0 to 15 percent, 15 to 25 percent, and in excess of 25 percent, are shown on Exhibit B-2, Slope Analysis.
2. Other Topographic Observations:
 - a. There are no significant restricted peaks or ridges on or immediately adjacent to the site.
 - b. There are no rock outcrops. This finding is concluded by:
 1. Aerial photographic study, which gives no indication of submerged ridge alignments.
 2. Observation of gravel pits, development excavations, and road cuts in all areas surrounding the site, including North ~~First~~1st Avenue, the Henry Zipf borrow pit, the Conquistador, and the La Reserve Project.
 3. Soil maps and texts, which generally indicate deep gravel soils and the general characteristics of ancient river washes and alluvial fans.
 4. Extensive site visits looking for evidence (ground truth).



NOTES:
CONTOUR INTERVAL = 1 FOOT
INDEX CONTOURS ARE EVERY 5TH CONTOUR

EXHIBIT B-1: SITE TOPOGRAPHY





**EXHIBIT B-2:
SLOPE ANALYSIS**

-  15-25% SLOPES
-  >25% SLOPES

1" = 500'

 4.28.2011
 WLB No. 181007 R011

C. HYDROLOGY

1. Offsite Drainage

Offsite storm water flow enters the site from the east and the southeast. Drainage conveyed through a residential development adjacent to Rooney Ranch enters the site from the east. Drainage from the southeast is conveyed from Pusch Peak to Rooney Ranch through natural topography as well as the Sheraton El Conquistador Pusch Ridge Golf Course.

2. Hydrology Results

Four soils groups have been identified at the site:

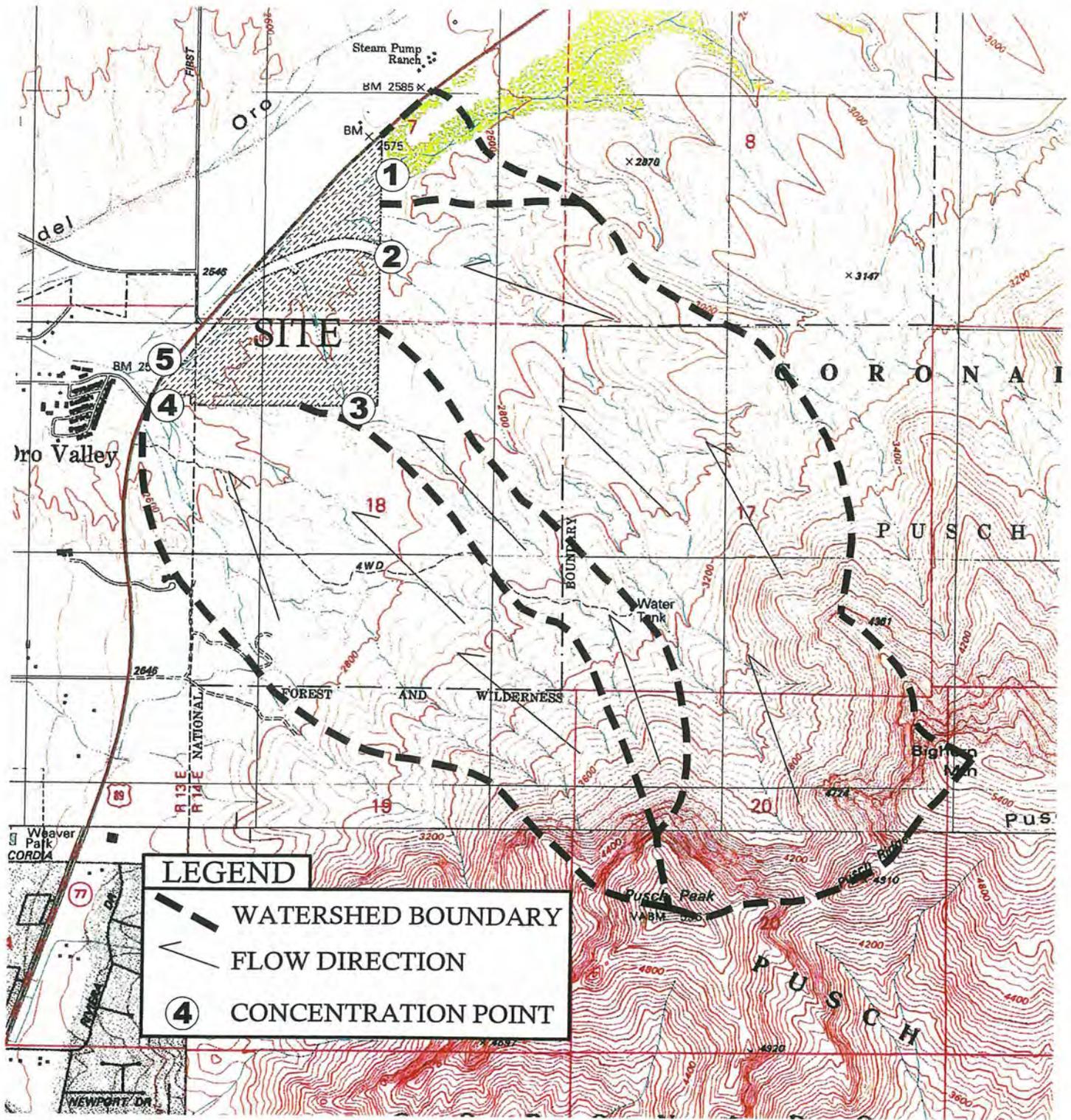
- Pinaleno-Nickel-Palos Verdes (28C), which consists of 80 percent soil type B and 20 percent Soil Type D.
- Arizo-Riverwash Complex (34), which consists of 100 percent Soil Type B.
- Pinaleno Very Cobbly Sandy Loam (28A), which consists of 100 percent Soil Type B.
- Oracle Romero Rock Outcrop Complex (31A), which consists of 100 percent Soil Type D.

Five watersheds have been defined at the site for pre-developed conditions. Watershed areas range from 55.5 to 1,842.5 acres, with corresponding 100-year peak discharges ranging from 379 to 10,619 cfs. The basin runoff factors used were 0.025 and 0.030; vegetative cover densities of 25, 30 and 40 percent were used to model natural and landscaped areas.

3. Table of 100-Year Peak Discharges

Concentration Point	Drainage Area (AC)	Q100 (cfs)
1	46.3	345
2	883.80	3,480
3	174.12	1,125
4	584.42	2,507
5	N/A	4,752

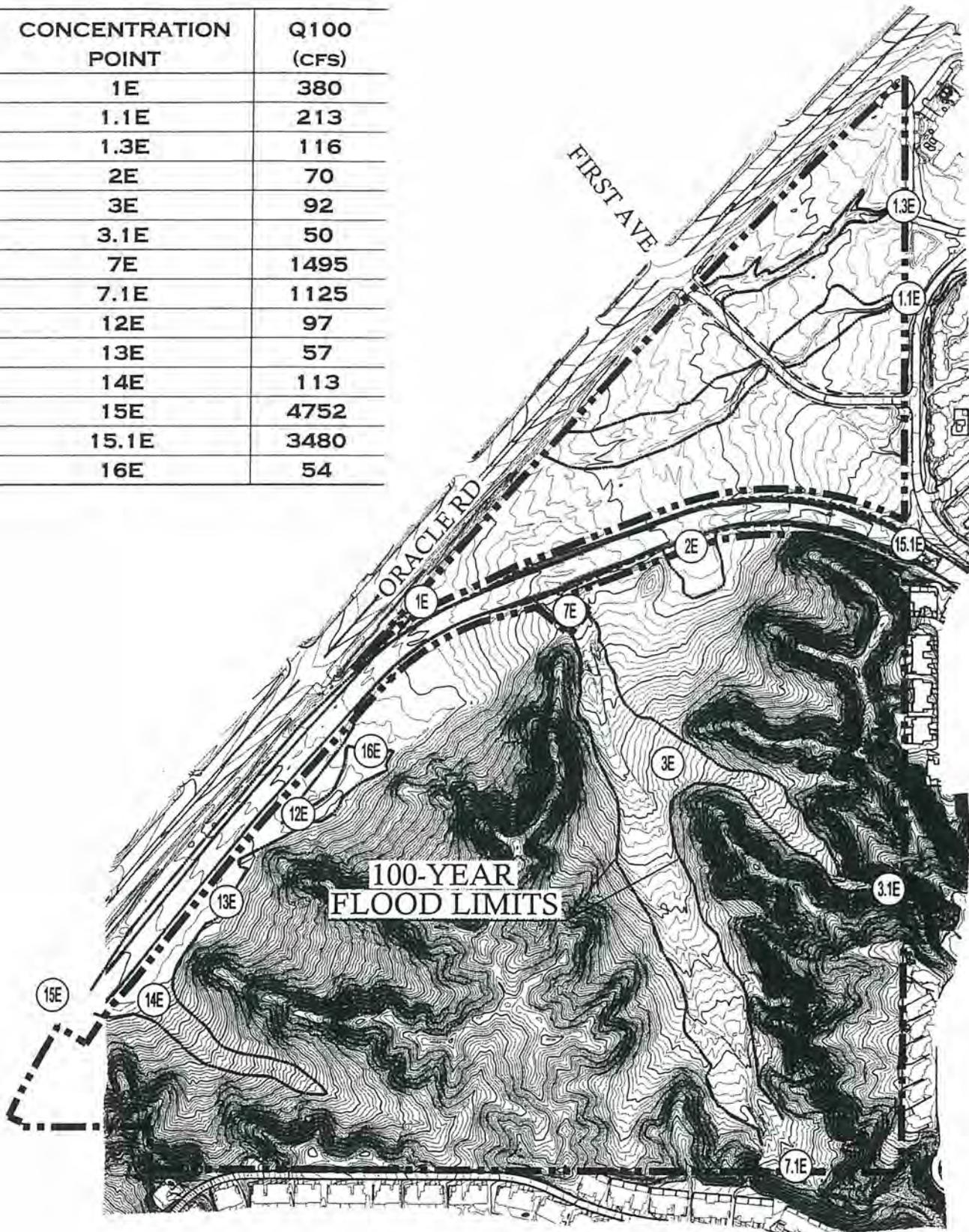
(~~Refer to the Preliminary Drainage Report (separate document) and is available upon request for additional information.~~ [has been prepared for this site](#))



**EXHIBIT C-1:
OFFSITE WATERSHEDS**

CONCENTRATION POINT	DRAINAGE AREA (AC)	Q100 (CFS)
1	46.3	345
2	883.80	3480
3	174.12	1125
4	584.42	2507
5	N/A	4752

CONCENTRATION POINT	Q100 (CFS)
1E	380
1.1E	213
1.3E	116
2E	70
3E	92
3.1E	50
7E	1495
7.1E	1125
12E	97
13E	57
14E	113
15E	4752
15.1E	3480
16E	54



**EXHIBIT C-2:
100-YEAR FLOOD LIMITS FOR
FLOODPLAINS WITH FLOWS OF 50 CFS
OR GREATER**

1" = 500'



D. VEGETATION

1. Vegetative Region

According to the Soil Conservation Service (Map 7-02226), the site is located well within the Central Arizona Basin and Range area designation. The area is typically mountains and valleys with considerable alluvial deposition. The alluvial plains and fans are cut down further by intermittent streams and washes. It is a semi-arid desert and according to Brown (Biotic Communities, 1994, pp. 200-203), the typical vegetation of the Rooney Ranch would fall within the classification of the Arizona Upland Division of the Sonoran Desert.

2. General Plant Community on Site

Within the Arizona Upland Subdivision, the plant communities generally associated with the site are those commonly found along valley bottoms and washes as well as the very lowland edge of foothills and alluvial fans. The site has representation from three communities.

- a. Saguaro/Palo Verde (Upland Community): This is a mature plant community found near the base of mountains ranges in the foothill areas. As one moves downward and away from the range and foothills, saguaro and ocotillo occur less frequently. The Rooney Ranch is on the very outer margin of the Pusch Ridge foothills along the southern edge of the property near the La Reserve and El Conquistador tracts. The northern areas of the ranch are so distant from the Tortolita range and foothill influences in terms of plant communities that very little evidence of the Saguaro/Palo Verde Community group is evident. The community is most evident with 25 to 30 specimen saguaro cacti in the higher elevations in the extreme southeast corner of the ranch adjacent to La Reserve (See Exhibit D-1, Vegetative Communities Exhibit).

Primary Species: Foothills Palo Verde, Saguaro

Other Species: Whitethorn and Catclaw Acacias, Mesquite, Cholla Cactus, Barrel Cactus, perennial grasses and flowers, Bursage, Brittlebush, Pincushion Cactus, and Prickly Pear.

- b. Foothills Palo Verde/Cholla Cactus (Upland Community): This plant community is generally associated with the more common, well drained, uplands between the foothills and the river washes. It is similar to the foothills community but with less diversity. This plant group occurs in the hill areas south of Oracle Road below the Saguaro Cacti locations.

Primary Species: Foothills Palo Verde (very common), Whitethorn, Catclaw Acacias, and Cholla Cactus.

Other Species: Mesquite, Bursage, Creosote, Barrel Cactus, Brittlebush, Desert Hackberry, Crucifixion Thorn, Pincushion Cactus, and perennial grasses and flowers.

- c. Whitethorn/Catclaw Acacias (Desert Riparian Communities): This plant community is focused primarily in the flat alluvial plans of the valley floor.

Primary Species: Mesquite, Whitethorn and Catclaw Acacia, Desert Hackberry and Desert Broom.

Other Species: Blue Palo Verde, Desert Willow, Turpentine Bush, Creosote, and perennial grasses and flowers.

3. Cumulative Plant Inventory/List

Trees

Acacia constricta
Acacia smallii
Acacia greggii
Canotia holocantha
Cercidium microphyllum
Cercidium floridum
Chilopsis linearis
Prosopis veluntina
Eucalyptus

Whitethorn Acacia
Sweet Acacia
Catclaw Acacia
Crucifixion Thorn
Foothills Palo Verde
Blue Palo Verde
Desert Willow
Mesquite

Shrubs

Ericameria larcifolia
Asclepias subulata
Baccharis sarathroides
Celtis pallida
Encelia farinosa
Fouquieria splendens
Ambrosia deltoidea
Larrea tridentata
Sapindus saponaria.
Yucca elata

Turpentine Bush
Milkweed
Desert Broom
Desert Hackberry
Brittlebush
Ocotillo
Triangle-Leaf Bursage
Creosote Bush
Soapberry
Soaptree Yucca

Cactus

Carnegieia gigantea
Echinocereus fasciculatus
Ferocactus wislizenii
Opuntia arbuscula
Opuntia bigelovii
Opuntia fulgida
Opuntia leptocarpus
Opuntia phaeacantha Var.
Opuntia versicolor

Saguaro
Pincushion Cactus
Fish-Hook Barrel
Pencil Cholla
Teddy-Bear Cholla
Chain-Fruit Cholla
Desert Christmas Cactus
Discanta Prickly Pear
Staghorn Cholla

Ground Covers

Ericameria larcifolia
Baileya multiradiata

Turpentine Bush
Desert Marigold

4. Threatened or Endangered Species

a. There are no known federally listed threatened or endangered species on the site.

5. Vegetation Density

Aerial Photo interpretation (canopy cover) and ground truth (site examination) were used to grade the site in terms of tree and shrub cover density.

Low Density Coverage	0% - 25%
Medium Density Coverage	25% - 75%
High Density Coverage	75% - 100%

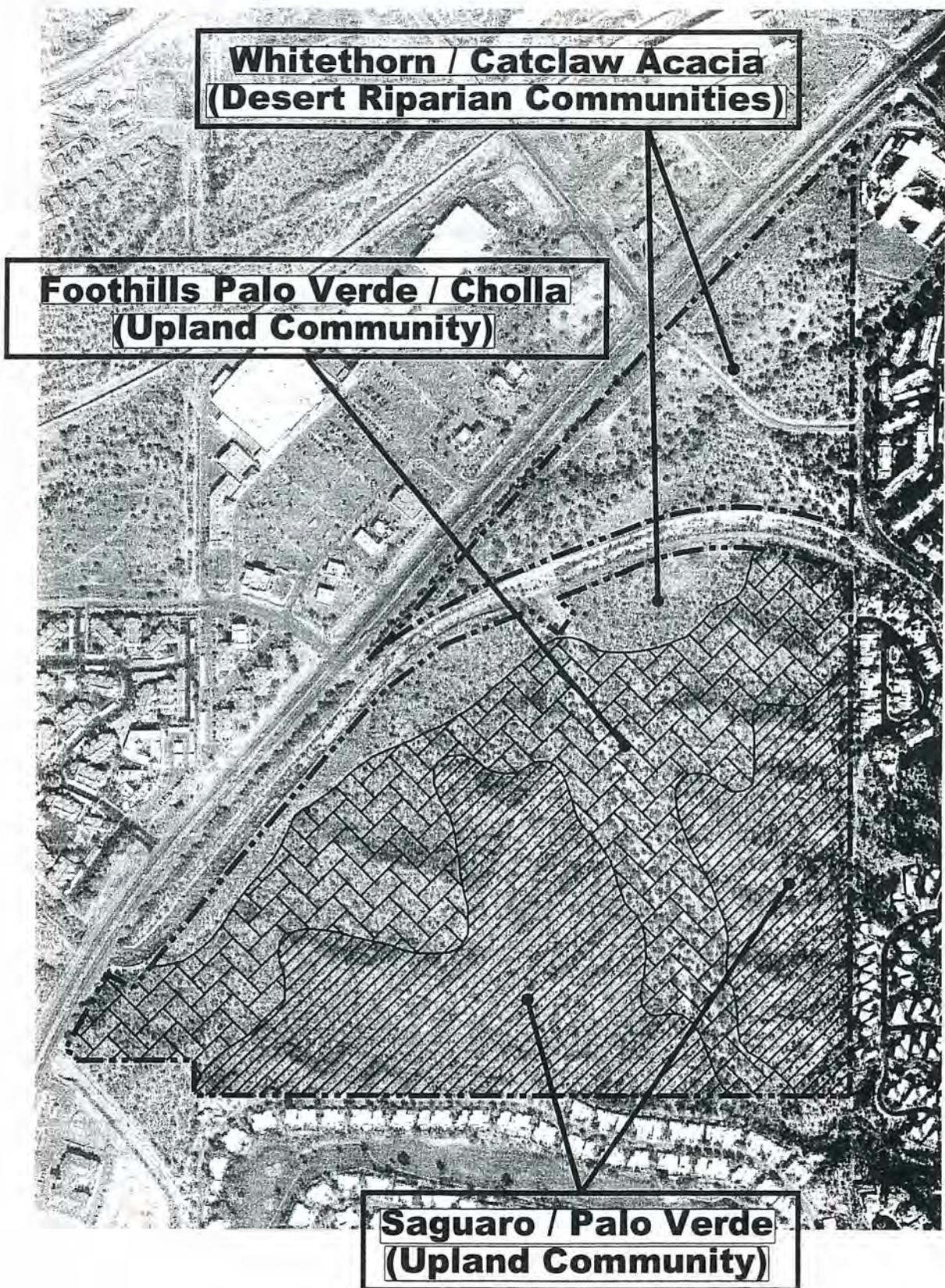
- a. Saguaro/Palo Verde Community: The foothills Palo Verdes range in canopy size from 7 to 15 feet with a few larger specimens of as much as 25 feet. The various Acacias in the upland area range between 7 and 12 feet. They are typically spaced over the hills with a medium density cover of approximately 35 percent to 45 percent.
- b. Foothills Palo Verde/Cholla Cactus Community: Since most of this community exists on the hills and slopes to the washes and riparian areas, the cover is of medium density with fairly large Palo Verdes typically of the 10 to 20 foot range. Acacias tend to be slightly larger and in the 10 to 15 foot range. As in the other upland community, the canopies appear to almost be mechanically spaced, causing a "stippled" look on the landscape. Cover is generally in the 35 percent to 45 percent range.
- c. Whitethorn/Catclaw Acacias (Desert Riparian): On the site, the riparian community is really a series of dense groves of Acacias (15 to 20 feet) and Blue Palo Verdes and Mesquites (20 to 25 feet) interspersed with open sand and gravel washes, which have little or no vegetation. Sixty to seventy percent of this community, which followed the immediate edges of the washes, were displaced by the stabilized embankments, drainage channel work, and bridge approaches.

6. Vegetative Characteristics and Usage

- a. Scenic Value: Typically, the riparian communities are comparatively rich, diverse, and give the wash areas an attractive verdant appearance. The value of the less dense upland vegetation serves less as a shading and screening material than it does preserving the "sense of place" that is the Arizona desert.
- b. Screening and Buffering: As it stands, the vegetation has limited screening and buffering value. In effect, it will likely need to be relocated and densified to serve such purposes. The site and its vegetation, however, provide an excellent nursery for plant material, which can be reworked around sensitive development.
- c. Soil Stabilization: Much of the wash and bank stabilization is artificial. However, there is ample evidence that the vegetation elsewhere protects the site from wind and water erosion.
- d. Uniqueness: As previously noted, the uniqueness lies in its presentation as a native desert environment apart from other regions of the country. The combination of vegetation and the two mountain ranges causes the Oro Valley site to be very unique even within the Tucson region. There are no unique or rare species of plants known to be on the site.

7. Significant Vegetation Survey

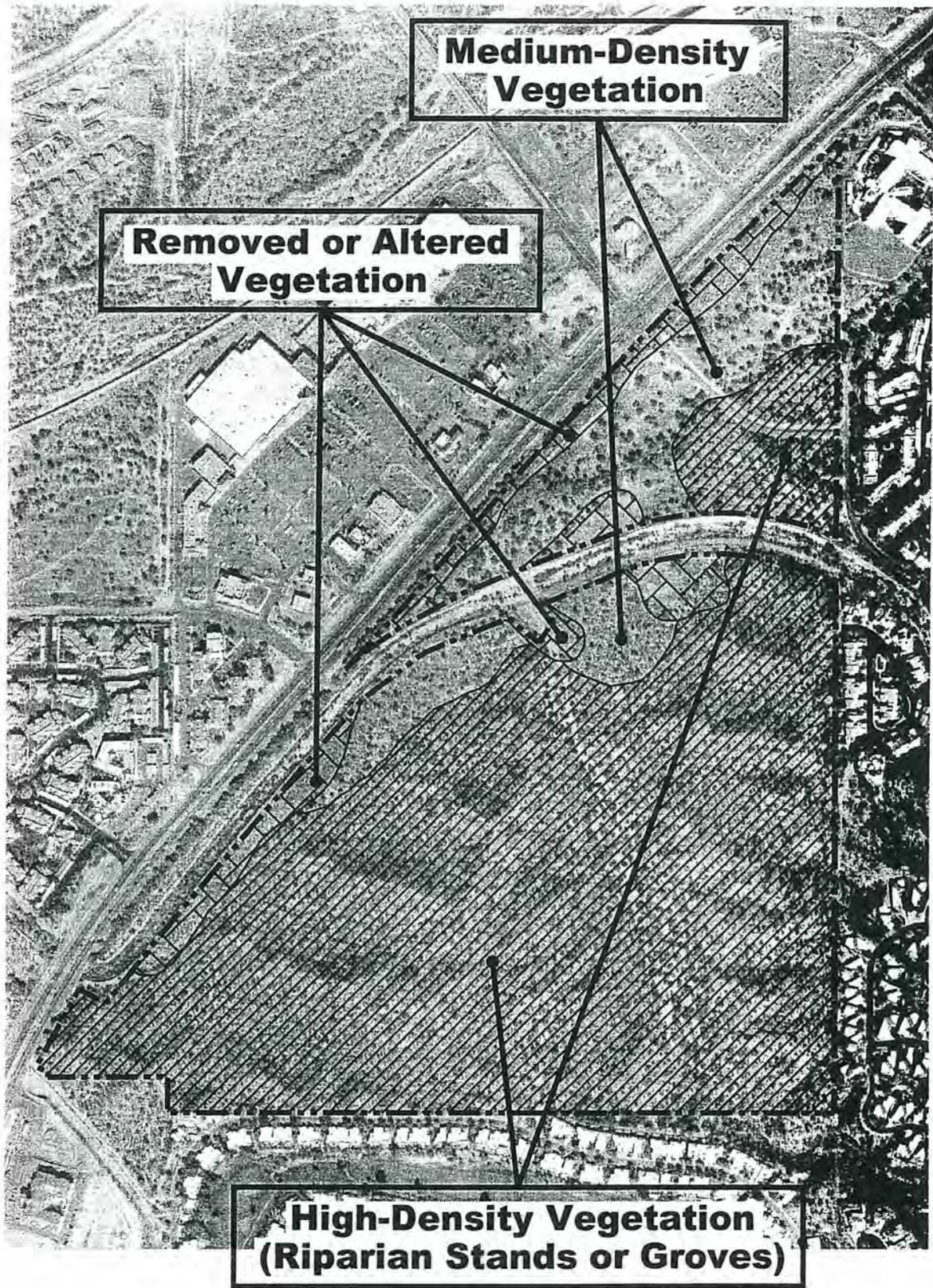
Exhibit D-3 maps the significant vegetation on site as determined by field reconnaissance and aerial photographs.



**EXHIBIT D-1:
VEGETATIVE COMMUNITIES**

1"=600'

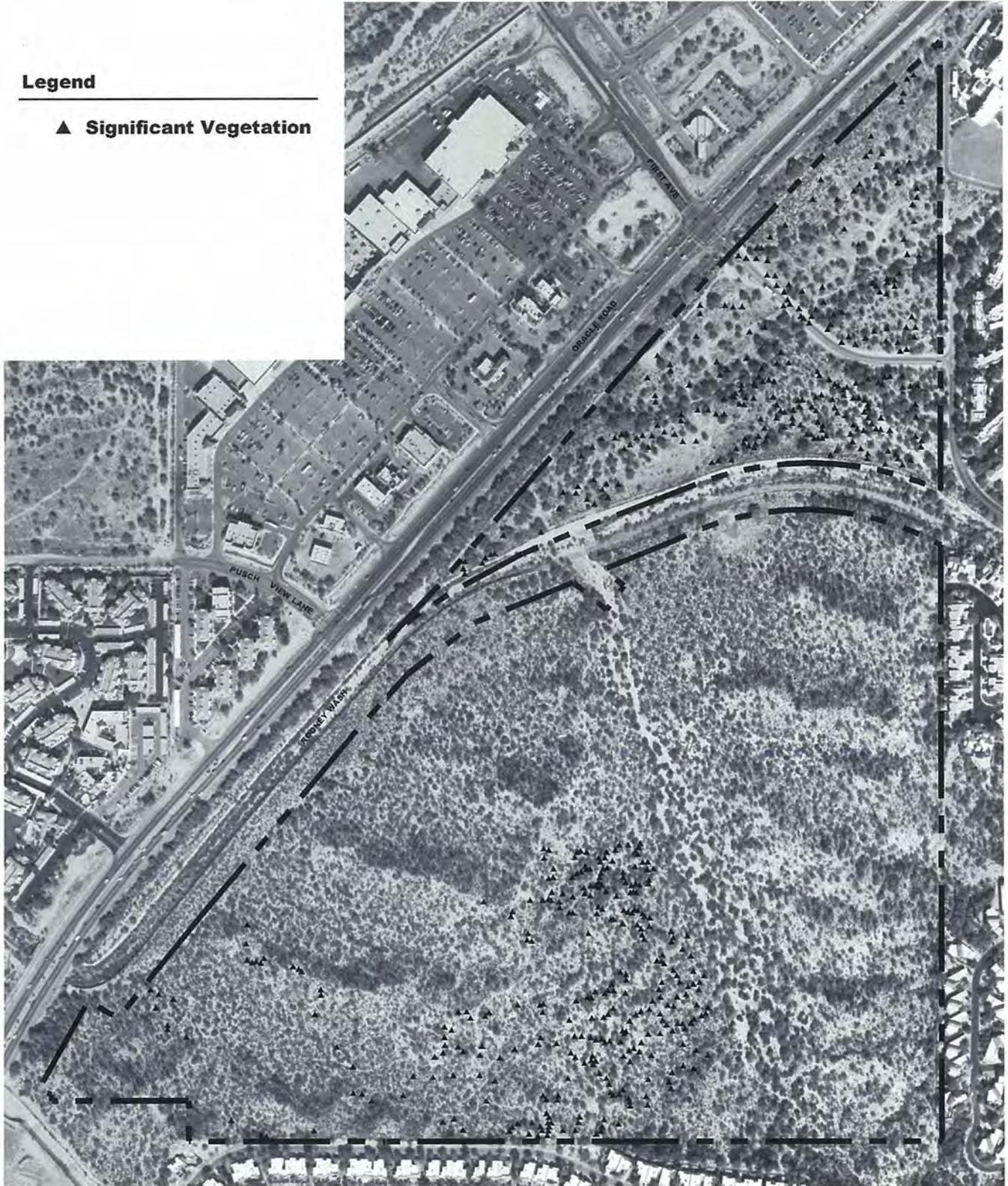




**EXHIBIT D-2:
VEGETATIVE DENSITIES**

Legend

▲ Significant Vegetation



**EXHIBIT D-3:
SIGNIFICANT VEGETATION SURVEY**

E. WILDLIFE

1. Letter (Exhibit E-1): A letter has been included, concerning wildlife and habitat areas of the Rooney Ranch, from the Tucson Regional Office of the Arizona Game and Fish Department, Ms. Sherry A. Ruther, Region V (Observations made on Section 7, Township 12 South, Range 14 East).
2. Description of Wildlife Habitats
 - a. Federal and State listed threatened or endangered species - Only one is listed, and is the Cactus Ferruginous Pygmy-Owl. ~~To date, three surveys have been conducted and have provided negative results.~~ Surveys have been continuously conducted over the past 9 years. The most recent survey was conducted on 10/26/2010. To date, these surveys have provided negative results. These studies are available upon request.



THE STATE OF ARIZONA
GAME AND FISH DEPARTMENT

2221 WEST GREENWAY ROAD, PHOENIX, AZ 85023-4399
 (602) 942-3000 • WWW.AZGFD.COM

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Tucson Office, 555 N. Greasewood Rd., Tucson, AZ 85745

August 2, 2001

Mr. Gustav Orland
 The WLB Group
 4444 E. Broadway Blvd.
 Tucson, Arizona 85711

Re: 144-Acre Parcel at Oracle Road and 1st Avenue; T12S, R14E, Sections 7 & 18.

Dear Mr. Orland:

Due to excessive workloads and limited personnel availability, the Arizona Game & Fish Department (Department) is, at this time, only able to provide you with limited information regarding your proposed project. Enclosed, you will find a set of recommendations that relate to Federal/State regulatory compliance and 'wildlife friendly' development practices. Also included is a list of special status species that are known to occur in the vicinity of the above-referenced parcel. This list is based on the review of records in the Department's Heritage Data Management System¹ (HDMS). Any of these species are likely to occur on-site to the degree that the parcel provides the species' habitat requirements. For information that will assist you in identifying the on-site native vegetation communities and their values as wildlife habitat, the Department recommends the following references:

- Brown, D.E. (ed). 1994. *Biotic Communities - Southwestern United States and Northwestern Mexico*. University of Utah Press, 342 pp.
- Shaw W.W., L.K. Harris, M. Livingston, J.P. Charpentier, and C. Wissler. 1996. *Pima County Habitat Inventory - Phase II*. Arizona Game & Fish Dept. Contract No. G50028-001, Phoenix, AZ. 94pp. (Pima County maintains GIS coverages from this report.)
- Pima County's 1986 Map of Critical and Sensitive Wildlife Habitats.

¹ Information contained in the Department's HDMS is dynamic and updated on a periodic basis. Any information, therefore, is likely to become outdated shortly after its release. Such information is intended to serve as a guide regarding what species may be found in a particular area. It does not represent the results of comprehensive species-specific surveys.

AN EQUAL OPPORTUNITY REASONABLE ACCOMMODATIONS AGENCY

**EXHIBIT E-1:
 ARIZONA GAME AND FISH DEPARTMENT LETTER
 (PAGE 1 OF 4)**

Mr. Orland
August 2, 2001
2

Federal/State Regulatory Compliance:

The following measures that relate to Federal/State regulatory compliance should be applied when appropriate.

- It appears that the subject parcel falls within Zone 2 of the Cactus Ferruginous Pygmy-Owl Survey Zones. Apply the Guidance for Private Landowners from the U.S. Fish & Wildlife Service (USFWS) and contact them as appropriate. The Landowner Guidance and accompanying information can be found in the Documents Library section of the USFWS's website: <http://arizonaes.fws.gov/>.
- If plants protected under the Arizona Native Plant Law are likely to occur on the subject parcel, contact the Arizona Department of Agriculture for additional information regarding potential restrictions which may apply to the salvage or removal of plant species.

James McGinnis
Manager, Native Plant Law
Plant Services Division
Arizona Dept. of Agriculture
1688 W. Adams
Phoenix, Arizona 85007
602/542-3292

- Adhere to the attached tortoise handling guidelines for development projects if Sonoran desert tortoise are likely to occur on the subject parcel.
- Contact the Department's Tucson Regional Office immediately for direction regarding the disposition of an active bat roost site(s) if one is found on the property.
- During pre-construction and construction activities, contact the Department's Tucson Regional Office immediately for direction regarding the disposition of an active raptor nest(s) if one is found on the property. (Please note that an active raptor nest can also be located in a burrow as well as the more common arboreal situation. Nests of the burrowing owl are one example.)

Landscape Design/Site Planning:

The recommended landscape design and site planning practices are practices beneficial in maintaining habitat elements compatible with native desert wildlife. Implementation of these landscape design/site planning practices will not totally mitigate for the loss of native desert habitats, however, evidence shows that incorporation of these practices will foster the retention of those native wildlife species which can exist in urban/suburban environments. The Department recommends these landscape/site planning practices be implemented as part of any anticipated on-site development.

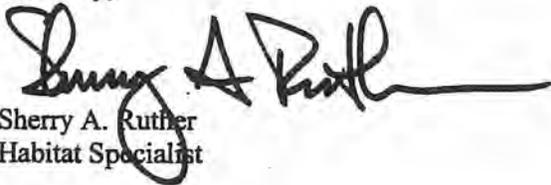
**EXHIBIT E-1:
ARIZONA GAME AND FISH DEPARTMENT LETTER
(PAGE 2 OF 4)**

Mr. Orland
August 2, 2001
3

- Maximize the amount of interconnected open space within the development.
- Utilize native plant species for all on-site vegetation and revegetation.
- Employ revegetation schemes that re-establish and maintain vertical diversity (ground cover, shrub layer, and canopy cover) with native plant species.
- Retain in place or salvage woody vegetation including saguaros and ironwoods (mature adults as well as immatures).
- Maintain the vegetative and hydrologic integrity of all washes, especially those which Pima County's 1986 Map of Critical and Sensitive Wildlife Habitats identifies as Class I or II Riparian Habitats.

Please call me at 520/628-5982 Ext. 137 if you have questions.

Sincerely,



Sherry A. Ruther
Habitat Specialist

SAR:sr

cc: Bob Broscheid, Project Evaluation Program Supervisor, Habitat Branch, PHX (AGFD Log No.7-10-01/16a)
Sherry Barrett, USFWS, Assistant Field Supervisor, Az Ecol. Services Field Ofc, TUC
James McGinnis, AZ Dept. of Ag, Plant Services Div., PHX

Attachments

C:\PROJECTS\CITIES\VOROVLLY\144@1* & Oracle.doc

**EXHIBIT E-1:
ARIZONA GAME AND FISH DEPARTMENT LETTER
(PAGE 3 OF 4)**

Special Status Species within 5 miles of T12S,R14E Sec 7, 18

Arizona Game and Fish Department, Heritage Data Management System
July 24, 2001

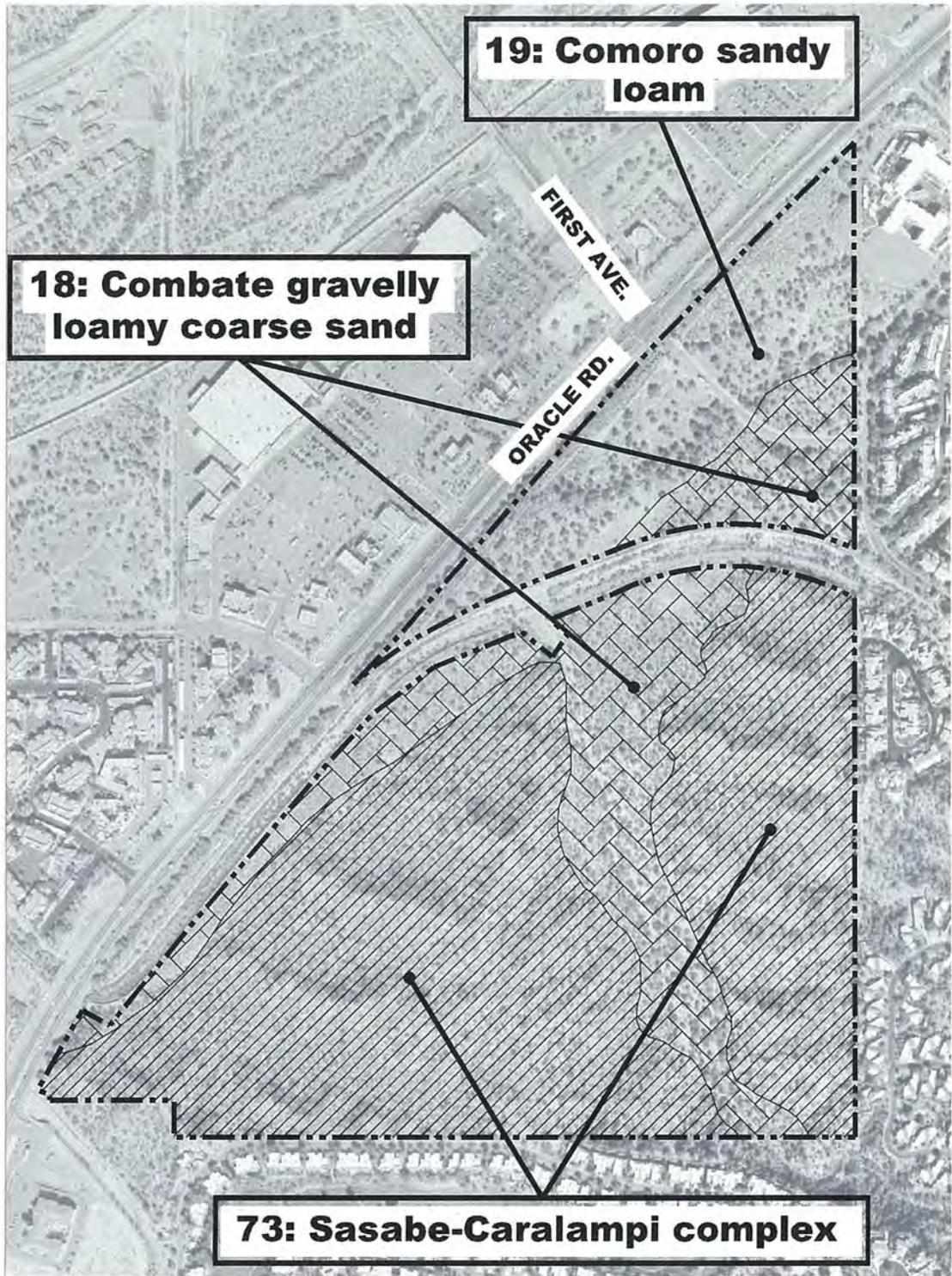
Scientific Name	Common Name	ESA	USFS	BLM	WSCA	NPL
<i>ABUTILON PARISHII</i>	PIMA INDIAN MALLOW	SC	S			SR
<i>AGAVE SCHOTTII</i> VAR <i>TRELEASEI</i>	TRELEASE AGAVE	SC	S			HS
<i>CALEPHELIS RAWSONI ARIZONENSIS</i>	ARIZONA METALMARK		S			
<i>CHOERONYCTERIS MEXICANA</i>	MEXICAN LONG-TONGUED BAT	SC		S	WC	
<i>CNEMIDOPHORUS BURTI STICTOGRAMMUS</i>	GIANT SPOTTED WHIPTAIL	SC	S	S		
<i>FALCO PEREGRINUS ANATUM</i>	AMERICAN PEREGRINE FALCON	SC	S		WC	
<i>GLAUCIDIUM BRASILIANUM CACTORUM</i>	CACTUS FERRUGINOUS PYGMY-OWL	LE			WC	
<i>GOPHERUS AGASSIZII</i> (SONORAN POPULATION)	SONORAN DESERT TORTOISE	SC			WC	
<i>HACKELIA URSINA</i>	CHIHUAHUAN STICKSEED		S			
<i>HEDEOMA DENTATUM</i>	MOCK-PENNYROYAL		S			
<i>HERMANNIA PAUCIFLORA</i>	SPARSELEAF HERMANNIA		S			
<i>MUHLENBERGIA XEROPHILA</i>	WEeping MUHLY		S			
<i>NOTHOLAENA LEMMONII</i>	LEMMON CLOAK FERN	SC				
<i>RANA YAVAPAIENSIS</i>	LOWLAND LEOPARD FROG	SC	S		WC	
<i>THELYPTERIS PUBERULA</i> VAR <i>SONORENSIS</i>	ARAIPA WOOD FERN			S		

Critical Habitat for the cactus ferruginous pygmy-owl within project area (~ 3 miles west). AGFD #7-10-01(16a); Oro Valley.

EXHIBIT E-1: ARIZONA GAME AND FISH DEPARTMENT LETTER (PAGE 4 OF 4)

F. SOILS

1. Floodplains: The site is protected by a series of engineered drainageways consisting of an excavated channel with soil cement sides and backfill. The underlying soils, however, are typical of a major geological floodplain.
2. Soils Exhibit and Development Suitability: There are ~~two~~three soil groups within the subject property (Exhibit F-1, Soils) and these soil groups are per the U.S. Department of Agriculture, Natural Resources Conservation Service:
 - a. Arizo Riverwash Complex #34—This soil complex (0 to 3 percent slopes) is on nearly level flood plains and channel bottoms. It occurs at the base of the gravel hills along the southern parcel edge. According to the U.S. Geological Survey maps and soil texts, this complex is comprised largely (50 percent) of Arizo fine sandy loam and secondly (20 percent) of riverwash. Another 10 percent is Tanque sandy loam with the balance in various mixes of Arizo soils. Comoro Sandy Loam #19 (Group B) – This soil complex occurs on slopes of 0 to 2% and typically exists in flood plain areas at elevations of 2,600 to 3,800 feet. It is typical in areas of 12 to 16 inches of precipitation. This soils complex consists largely of Comoro and similar soils (80%). (21 Acres or ~15% of the site)
 - b. Pinaleno Nickel Palos Verdes Complex #28C—The balance of the property being analyzed is within the Pinaleno Nickel Palos Verdes soil complex. The complex covers an area of gravel hills of 10 to 35 percent slopes. This unit is 35 percent Pinaleno very cobbly sandy loam, 35 percent Nickel very gravelly sand loam, and 15 percent Palos Verdes gravelly sandy loam. Pinaleno tends to occur on the shoulders and crests of the fan terraces (10 to 35 percent slopes). Nickel tends to occur on the backslopes of the fan terraces (20 to 35 percent slopes). Palos Verdes tends to occur on the summits of terrace remnants (10-15 percent slopes). The area tends to appear as a gravelly, cobbly hill region. The soil group is moderately alkaline and calcareous. At depths of 40 inches or more, some caliche may be found. The only significant limitation to urban development is slope and a moderate permeability, which limits septic use. Combate Gravelly Loamy Coarse Sand #18 (Group B) – This soil complex occurs on slopes of 2% to 8% and typically exists in alluvial fans at elevations of 2,900 to 4,600 feet. It is typical in areas of 12 to 16 inches of precipitation. This soils complex consists largely of Combate and similar soils (85%).- (32 acres or ~23% of the site)
 - ~~c.~~ Sasabe-Caralampi Complex #73 (Group B 40% and Group C 60%) - This soil complex occurs on slopes of 1% to 15% and typically exists in fan terraces at elevations of 3,100 to 3,700 feet. It is typical in areas of 12 to 16 inches of precipitation. This soils complex consists largely of Sasabe and similar soils (45%) and Caralampi and similar soils (30%). (88 acres or ~62% of the site)



**EXHIBIT F-1:
SOILS ANALYSIS**

1"=600'



4.27.2011
WLB No: 181057-R011

G. VIEWS/VISTAS

1. Important Vistas from the Site (Exhibit G-1, 1a)

The site is primarily made up of three general view areas:

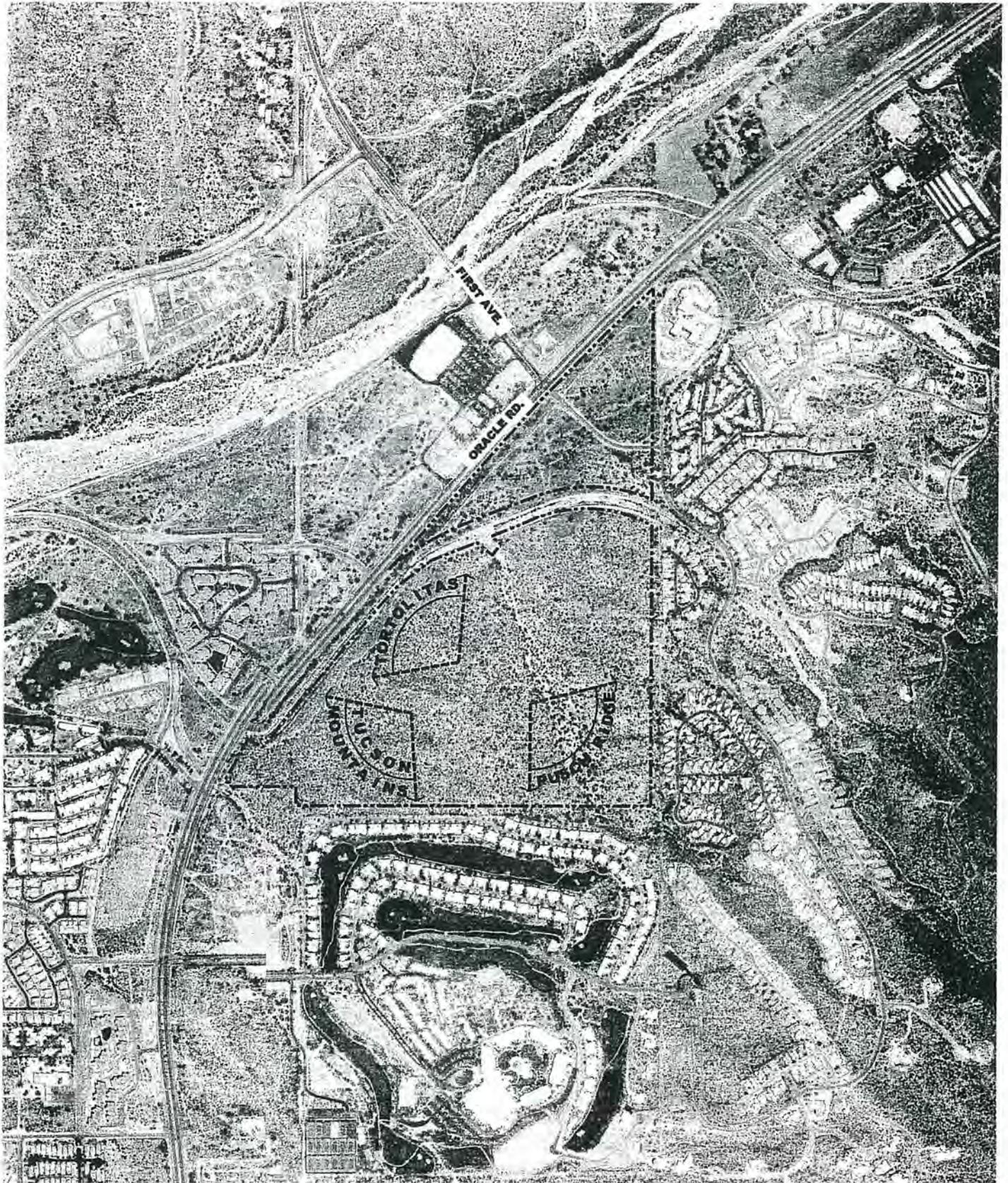
- a. Views from the central area (between Oracle Road and the base of the foothills south of Oracle Road) are the low, flat parcels with limited views primarily to the panorama of the Catalina Mountains or Pusch Ridge to the south and east. Due to the of the ridgelines north of **First1st** Avenue and southwest on Oracle Road, the Tortolita and Tucson Mountains are completely obscured. Instead, the development on the foothills surrounding the "central plain" will provide limited middle range views.
- b. Views from the south foothill area (the area south of the Rooney Wash) are perhaps the most comprehensive in terms of views. The strongest and most immediate viewplane is to the south and around to the east, which takes in the Catalina Mountains or Pusch Ridge, which are virtually upslope from the site. The ridge is so close and so completely dominant that it can be viewed from virtually any point on the south foothills area. The foothills are also high enough in elevation and far enough south of the ridgeline north of the Canada del Oro that a panorama view of the Tortolitas is available to all of the ridge tops and sides. These same locations also afford another interesting and valued vista of the opening across the upper plains between the Catalina and Tortolita. The higher elevations along the western boundary of the south foothills area also afford a distant view of the Tucson Mountains.

2. Important Vistas to the Site - Onsite Views (Exhibit G-2, 2a, 2b, 2c)

Views onto and toward the site are equally as important as views from the site. Buildings and other site elements should be placed in a manner sensitive to the viewsheds created by access corridors leading to the site. The uniqueness of this site stems from its form as a central bowl into which all approaches focus. In other words, the intersection of Oracle Road and North **First1st** Avenue is a natural focal point when the site is viewed from all directions. Both sides of a gravel ridge to the north as viewed from the perimeter of the "bowl" serve as a secondary focus.

- a. Approaching northbound on Oracle Road - As you round the corner near the entrance to the El Conquistador Resort, the projected mixed use commercial town center area on the broad and flat middle area comes into view below. The southern commercial elements of the town-center proposed development south of Oracle Road come into view just before the bottom of the hill on Oracle Road.
- b. Approaching southbound on North **First1st** Avenue, and above the bridge over the Canada Del Oro Wash, one is provided with a full panoramic view of the mixed use commercial town-center development.
- c. When viewing the site from the southern foothill area, the commercial hub area of the town is most obvious below.

- d . The north-side foothills "bowl" affords very locally contained intimate views to the surrounding ridges as well as to Pusch Ridge in the distance.



**EXHIBIT G-1:
VIEWS FROM SITE**

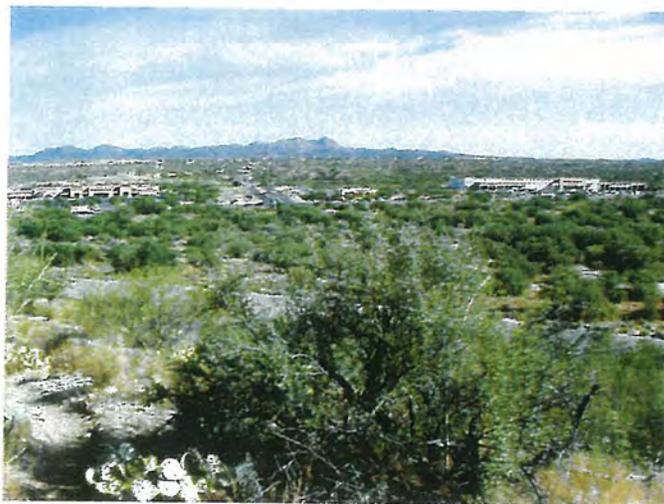




View of Pusch Ridge

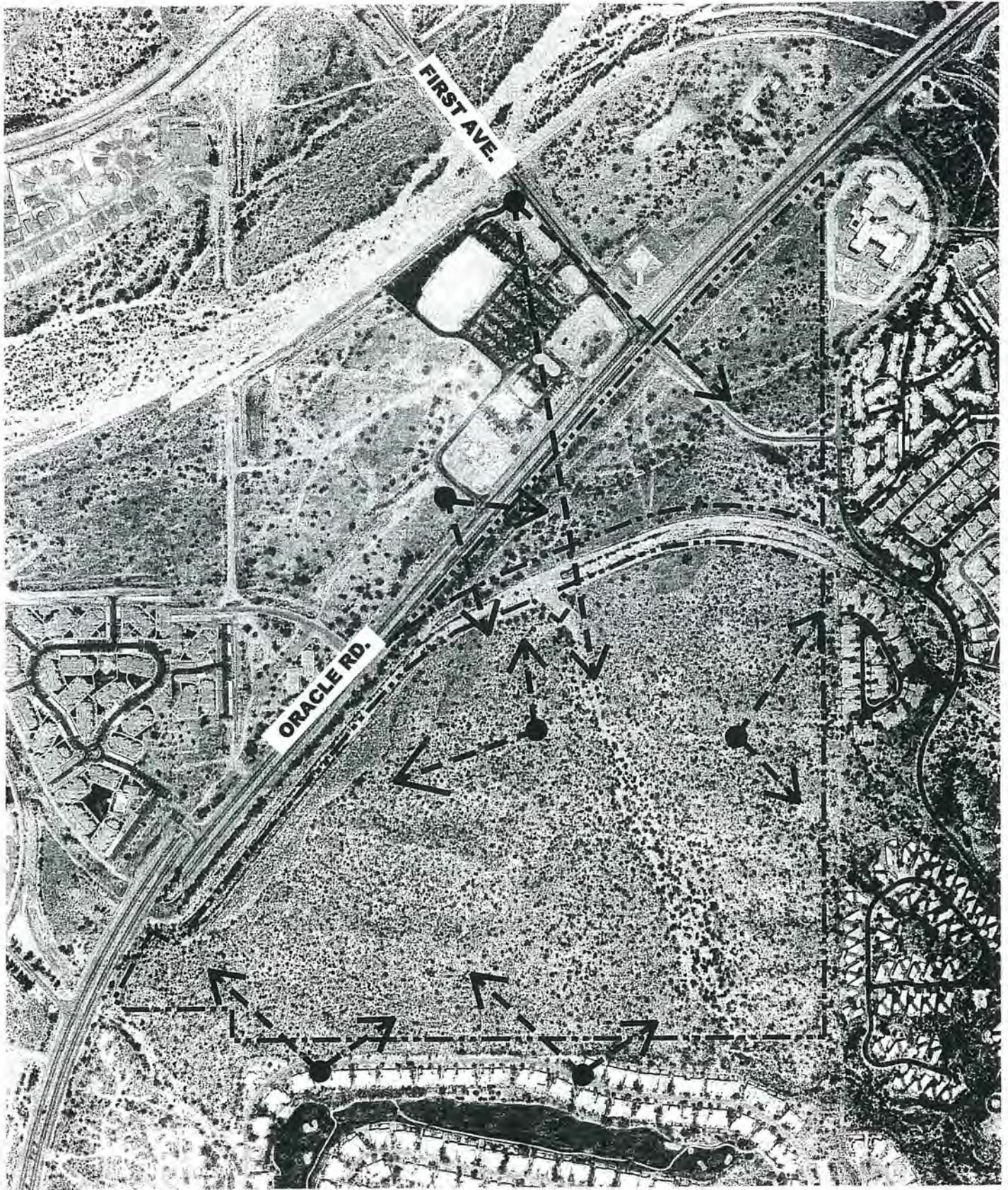


View of Tucson Mtns



View of Tortolitas

**EXHIBIT G-1 A:
PHOTOS OF VIEWS FROM SITE**



**EXHIBIT G-2:
ON-SITE VIEWS**



View From 1st Ave.



View From Blockbuster

**EXHIBIT G-2A:
PHOTOS OF ON-SITE VIEWS**



View to Rooney Commercial Center

**EXHIBIT G-2C:
PHOTOS OF ON-SITE VIEWS**

H. TRAFFIC

1. Existing and Proposed Streets

Access to the Oro Valley Town Centre PAD is provided from Oracle Road (State Highway 77), First1st Avenue and La Reserve Drive. Oracle Road provides access from the north and south and First1st Avenue from the west. Oracle Road is a major link between Tucson and the communities of Catalina, Oracle and San Manuel to the north as well as Rancho Vistoso. First1st Avenue to the north and west connects with Tangerine Road, which is a major arterial roadway providing access between Interstate 10 to the west and Oracle Road.

2. Arterial Streets within One Mile of Project

Oracle Road

- a. The right-of-way is 200 feet.
- b. This right-of-way conforms to the standards for Major Arterial roads as outlined in the Oro Valley General Plan.
- c. Public ownership.
- d. The rights-of-way are continuous along the frontage of the subject property.
- e. The road contains 6 travel lanes and the posted speed limit is 50 mph.
- f. According to the most recent data from the Pima Association of Governments (2006), the portion of Oracle Road south of First1st Avenue carries 50,000 Average Daily Trips (ADT) and the portion north of First1st Avenue carries a volume of 30,000 ADT.
- g. The road was recently improved as a result of the Oracle Road Improvement District and the pavement is in good condition. Curb cuts and turnouts were constructed and a bridge over the Rooney Channel on the Pusch View Lane alignment was also constructed as part of the Improvement District.
- h. At this time, the only improvements that would be required to Oracle Road involve the east facing traffic signal lights – they were not installed and would need to be installed in order to provide access into the site from the Pusch View Lane alignment.

First1st Avenue

- a. The right-of-way is 200 feet.
- b. This right-of-way conforms to the standards for Major Arterial roads as outlined in the Oro Valley General Plan.
- c. Public ownership.
- d. The rights-of-way are continuous.
- e. The road contains 4 travel lanes and the posted speed limit is 45 mph.
- f. According to the most recent data from the Pima Association of Governments (2004), First1st Avenue carries 34,000 Average Daily Trips (ADT).
- g. The pavement is in good condition.
- h. No improvements are required to this road to provide access to the subject property.

Pusch View Lane

- a. The right-of-way is approximately 90 feet and then widens to approximately 140 feet about 500 feet west of Oracle Road.
- b. This right-of-way conforms to the standards for Major Arterial roads as outlined in the Oro Valley General Plan.
- c. Public ownership.
- d. The rights-of-way are continuous.
- e. The road contains 4 travel lanes and the posted speed limit is 45 mph.
- f. The most recent data from the Pima Association of Governments does not include information for Pusch View Lane, and as such the Average Daily Trips (ADT) is not known.
- g. The pavement is in good condition.
- h. No improvements are required to this road to provide access to the subject property.

Roads and Streets

The section of Oracle Road adjacent to the proposed development has been fully improved to a six lane divided highway. Bike lanes have been provided and a continuous turn land exists along the western boundary of the site. The improvements to Oracle were made via a past Improvement District that was formed for the purpose of making improvements to Oracle Road, First1st Avenue and Pusch View Lane.

The extension of First1st Avenue through the property is a two lane paved road with extruded curb and no sidewalks. The posted speed limit is 25 mph.

3. Existing and Proposed Intersections

Traffic from this project will utilize the following intersections within one mile of the site:

Oracle Road and First1st Avenue
Oracle Road and Pusch View Lane
First1st Avenue and Lambert Lane

4. Existing Bicycle and Pedestrian Ways

There is a 5 foot sidewalk along the entire western edge of the subject property, as well as along both sides of First1st Avenue and on the north side of Pusch View Lane. There is a 5 foot sidewalk along the west side of Oracle Road. There is a 6 foot wide sidewalk on the north side of the bridge that was constructed over the Rooney Channel on the Pusch View Lane alignment.

There is also a 6 foot wide bicycle lane on both sides of Oracle Road, both sides of First1st Avenue and both sides of Pusch View Lane.

There is a 10 foot wide asphalt multi-use path along the south side of Lambert Lane.

Access

Access to the Oro Valley Town Centre is currently provided from Oracle Road (State Highway 77), First Avenue and La Reserve Drive. Oracle Road provides access from the north and south and First Avenue from the west. Oracle Road is a major link between Tucson and the communities of Catalina, Oracle and San Manuel to the north as well as Rancho Vistoso. First Avenue to the north and west connects with Tangerine Road, which is being developed as a major highway between Interstate 10 to the west and Oracle Road.

2. Existing Conditions

Roads and Streets

The section of Oracle Road adjacent to the proposed development has been improved to a four lane divided highway. Bike lanes have been provided. An Improvement District is currently being formed for the purpose of making improvements to Oracle Road, First Avenue and Pusch View Lane.

Traffic Volumes

Current traffic volumes in the area of 28,000 Average Daily Traffic (ADT) are being adequately carried by Oracle Road, which has a capacity of approximately 37,000 ADT at level of service D operation. Future traffic volume assignments indicated in Table 1 will warrant additional widening at some future time.

First Avenue currently carries a volume of 21,400 ADT.

3. Traffic Impact Analysis

A Traffic Impact Analysis (April 2002) has been completed for this project by DMJM Harris. A copy of this report is available from the Town Engineer.

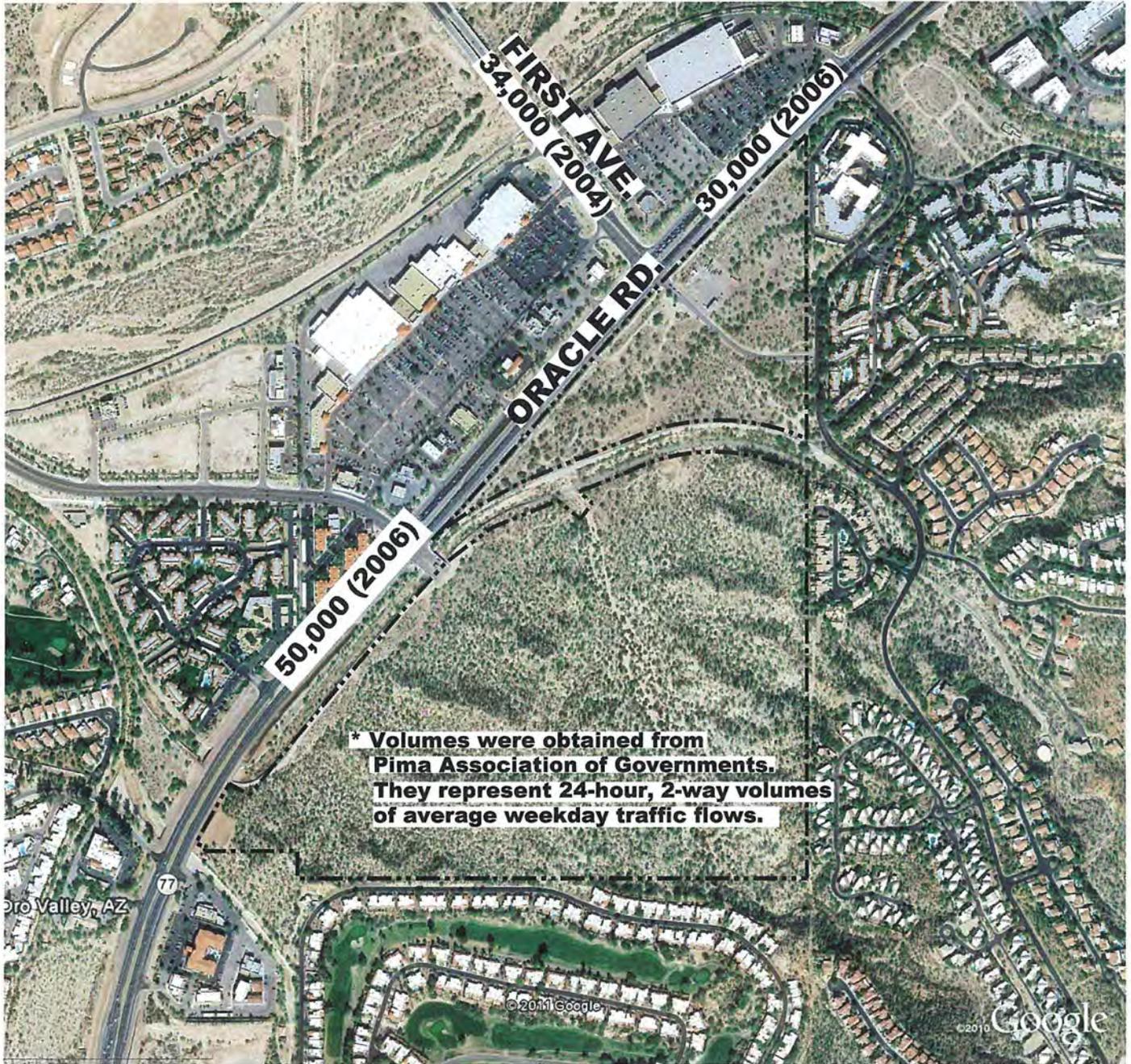


EXHIBIT H-1: TRAFFIC VOLUMES



I. SEWER/WATER/OTHER UTILITIES

1. Existing Public Sewers

The project envisions only the use of publicly owned gravity flow sanitary sewers. The existing lines are all upstream lines of the Pima County's Department of Wastewater Management's Canada del Oro interceptor. The existing 21-inch sewer line adjacent to Oracle Road is shown on Exhibit I-1.

2. Pima County Wastewater Management Department Capacity Response Letter - Letter follows as Exhibit I-2.

3. Projected Sewers

Where possible, all sewer lines will gravity flow into the existing 21 inch sewer line adjacent to Oracle Road.

4. Existing Water

The proposed PAD lies within the certified area of the Oro Valley Water Utility. Existing lines are shown on Exhibit I-1.

5. Proposed Water Improvements

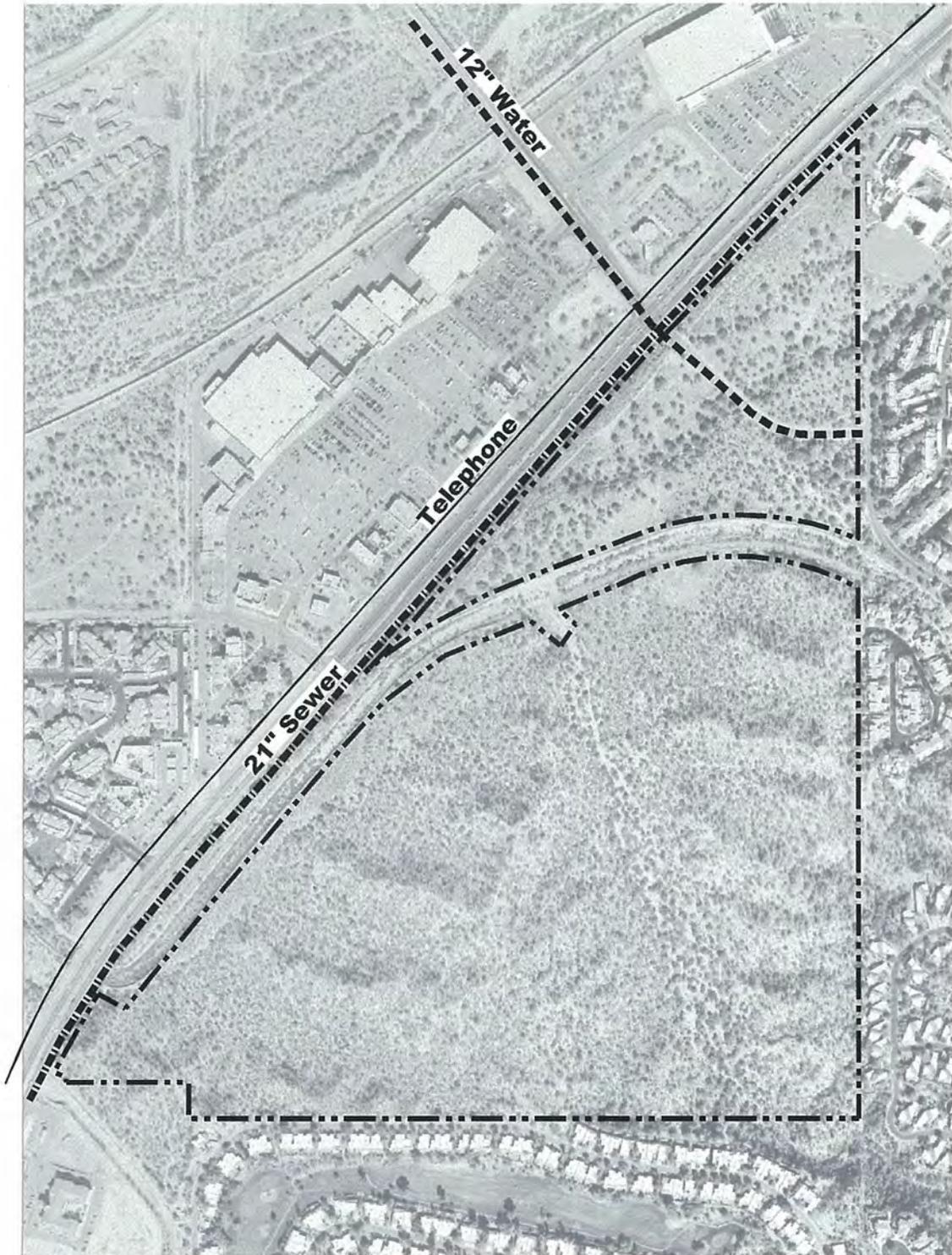
None proposed directly impacting the site. The developer must design and pay for the installation of the necessary infrastructure to serve this site along with the replacement of the existing water main which may traverse the property.

6. Water Service Availability

The project is within the service area of the Oro Valley Water Utility. ~~Preliminary discussions with a company spokesperson have indicated that Oro Valley Water Utility will work with the developer of this project to provide water to the project.~~ Preliminary discussion with a company spokesperson have indicated that the Oro Valley Water Utility (OVWU) will serve the project.

7. Other Existing Utilities

Other existing utilities are shown on Exhibit I-1.



**EXHIBIT I-1:
EXISTING UTILITIES**



**Pima County
Regional Wastewater Reclamation Department**

Michael Gritzuk, P.E.
Director

201 N. Stone Ave., 8th Floor
Tucson, Arizona 85701
(520) 740-6500

Visit our website:
<http://www.pima.gov/www>

December 2, 2010

Ms. Wendy Fowler
Kitchell Development Company
1707 E. Highland Avenue, #100
Phoenix, AZ 85016

Capacity Response No. 10-185 Type I

**RE: The Village at Oro Valley, 220 Lots on Parcel # 220-09-0020.
Estimated Flow 50,600 gpd (ADWF).**

Greetings:

The above referenced project is tributary to the Ina Road Wastewater Reclamation Facility via the Cañada del Oro Interceptor.

Capacity is currently available for this project in the 21-inch public trunk sewer G-81-030, at manhole #2729-20.

This letter is not a reservation or commitment of treatment or conveyance capacity for this project. It is an analysis of the system as of this date and valid for one year.

Note: Conditions within the public sewer system constantly change. An update to this letter must be obtained to verify that capacity exists in the downstream public sewer system just prior to submitting the development plan or subdivision plat for review and approval.

If further information is needed, please feel free to contact us at (520) 740-6500.

Respectfully,

A handwritten signature in cursive script that reads "Mary M. Hamilton".

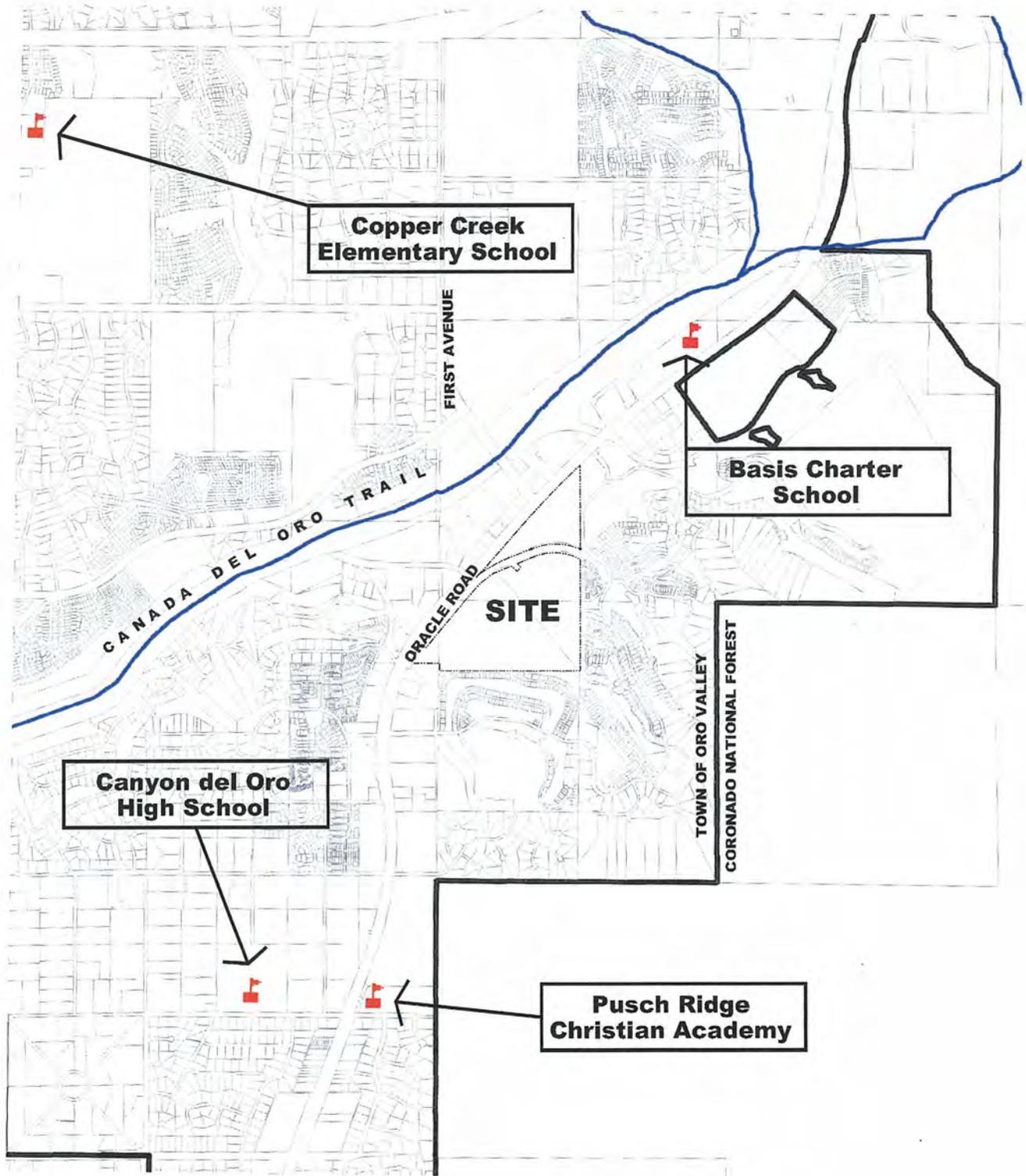
Mary Hamilton, P.E.
PCRWRD Planning Section Manager

MH:ks

c: T12, R14, Sec. 07

J. SCHOOLS

1. Existing Schools (Exhibit J-1). The site lies within the Amphitheater School District. No school sites are planned within the proposed PAD.
 - a. Junior/Senior High Schools - Cross Junior High School is located five miles south of the site. Amphitheater School District has constructed a new high school, Ironwood Ridge High School, on Naranja Road and the existing Canada Del Oro High School is located three miles to the south of the site.
 - b. Elementary Schools - The nearest elementary school, called Copper Creek, is located approximately one and one-half miles to the west of the site.
 - c. Charter Schools - Basis Oro Valley was opened in 2010. It is located approximately one mile to the northeastwesteast of the site.



**EXHIBIT J-1:
SCHOOLS**

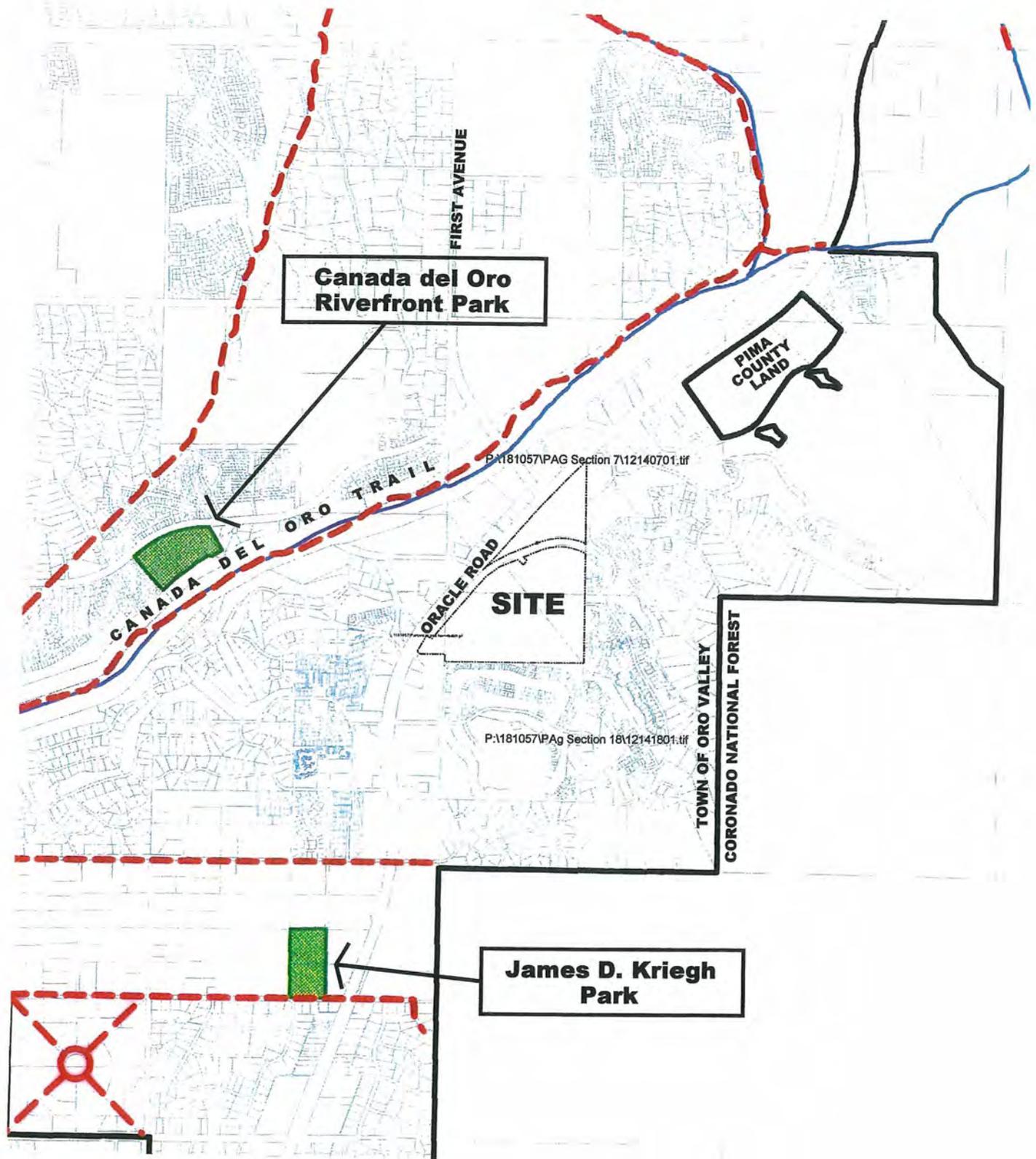
1"=0.5 MI.



4.27.2011
WLB No. 161067-R011

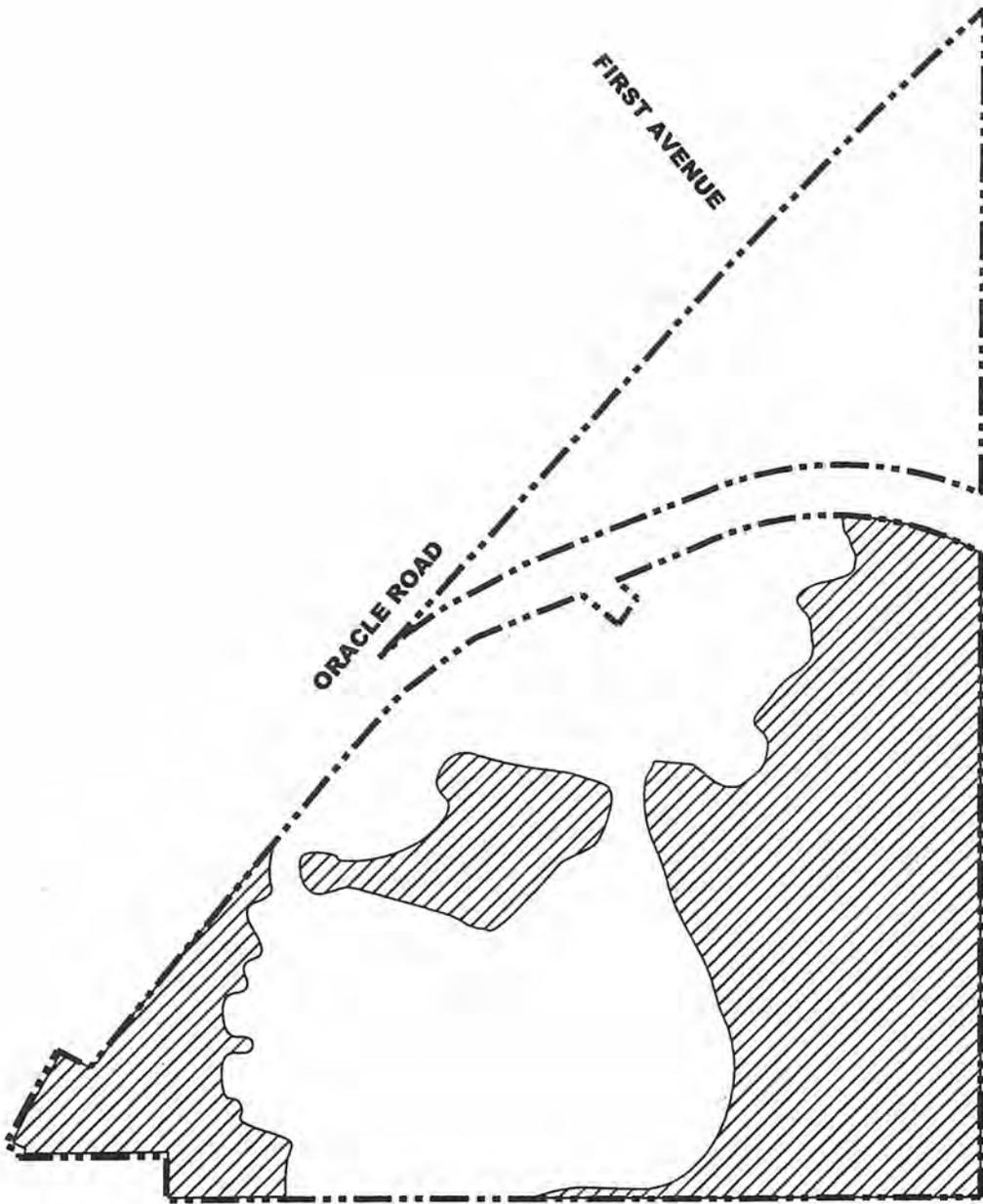
K. RECREATION AND TRAILS

1. General Offsite Parks and Recreational Areas (Exhibit K-1) - There are innumerable and diverse recreational opportunities within five miles of the site. They include:
 - a. Catalina State Park - 5,511 acres, two miles east of the site off Oracle Road. The park is a full service active and passive recreation area.
 - b. The Coronado National Forest - The Coronado National Forest can be accessed through Catalina State Park and various other trailheads immediately south of the site. It is an extensive national resource area for hiking, horseback riding, camping, skiing, and picnicking.
 - c. Tortolita Mountain Park and The Tortolita Mountains - Generally considered a publicly held conservation area, the mountain reserve contains thousands of acres for recreational use. The mountains are approximately five miles northwest of the site.
 - d. James D. Kriegh Park and Canada Del Oro Riverpark - Originally known as Dennis Weaver Park, James D. Kriegh Park is located on Calle Concordia, just west of Oracle Road. The centerpiece of park activity in Oro Valley, this comprehensive facility includes an Olympic-size swimming pool, picnic ramadas, playground equipment, racquetball courts, and sports fields for Little League, softball, and soccer. Canada Del Oro Riverpark features an outdoor performance and community events center to seat approximately 500, two softball/little league baseball fields with lights for night use, two soccer/multi-purpose fields with lights, basketball and tennis courts, four picnic ramadas, children's play area, horseshoe pits, and a 3/4 mile walking/multiple use path. This park opened in June 2000.
 - e. Golfing/Swimming/General Recreation - Within close proximity of the site are numerous resort areas and golf clubs, including the following:
 1. Oro Valley Country Club (1/2 mile)
 2. The various courses at Rancho Vistoso (2-4 miles)
 3. The El Conquistador Country Club (2-1/2 miles)
 4. Sheraton El Conquistador Resort (abutting the site)
 - f. Linear Trail System - Pima County is planning a linear Park and Trail System along the Canada del Oro Wash.
2. Undisturbed Natural Open Space (Exhibit K-2)
3. Additional Information - The proposed PAD will not have a large residential component but it views open space and recreation systems more as a provision of visitor and customer amenity and to accommodate and encourage pedestrian access to and movement within the proposed commercial area.



**EXHIBIT K-1:
OFF-SITE PARKS AND RECREATION AREAS**

1"=0.5 MI.



**EXHIBIT K-2:
UNDISTURBED NATURAL OPEN SPACE**



**APPROXIMATE AREA OF UNDISTURBED
NATURAL OPEN SPACE**

1"=600'



L. CULTURAL RESOURCES

1. Letter from the Arizona State Museum. A letter from the Arizona State Museum has been included in this document as Exhibit L-1.
2. Archaeological Report. Prior to any ground modification activities, an archaeological report shall be completed.

PIMA COUNTY ARCHAEOLOGICAL SITE RECORDS SEARCH RESULTS

E-mail Request Received: 4/26/2011

Search Completed: 4/29/2011

Requester Name and Title: Wendy Fowler, Development Administrator
Company: Kitchell Development Company
Address: 1707 E. Highland Avenue, Suite 100
City, State, Zip Code: Phoenix, AZ 85016
Phone/Fax/or E-mail: (602) 631-6102

Project Name and/or Number

Planned Area Dev. / Pars. 22009-0020/-0030, 22013-0010/-0020, 22431004B

Project Description

New planned development

Project Area Location: SWC & SEC of 1st Ave & Oracle Rd, Pima County, Arizona

Legal Description: A portion of the SW, S7, & the NW, S18, & the NE, S19, T12S, R14E, G&SR B&M, Pima County, Arizona.

Search Results: A search of the archaeological site files and records retained at the Arizona State Museum (ASM) found that a records search was completed on the subject project area in 2001. In a letter dated 5 July 2001 to Mr. Oland of the WLB Group, Inc., the ASM public archaeologist recommended that the area now encompassed by the subject project area be resurveyed before any development begins (a copy of that letter accompanies the present records search). Although the property had been surveyed in 1988, the ASM and the Pima County Cultural Resource Office found that significant time had elapsed from the 1988 survey to 2001 and that cultural resources could be newly exposed. The present records search finds that the project area has not been resurveyed subsequent to 1988. One prehistoric site has been identified within the project area, and an additional site may also lie within it. The present search finds that 41 additional archaeological inspections were completed within a mile radius of the project area between 1976 and 2008 and 16 additional historic and prehistoric cultural resources are identified within a mile. A color orthophotograph taken of the proposed project area in 2010, enclosed, depicts a relatively unmodified ground surface covered with native vegetation.

Sites in Project Area: One, maybe two. Others are possible

Recommendations: Because Pima County has jurisdiction in this project area, the county will make decisions for the proposed project using its own search results and it may use the ASM's search results and / or others. Should the county require additional archaeological work in this parcel, you will need to contact a qualified archaeological contractor whose name is maintained on a list posted on the ASM website at the following address: <http://www.statemuseum.arizona.edu/crservices/permits/index.shtml>.

Pursuant to *Arizona Revised Statutes* §41-865 et seq., if any human remains or funerary objects are discovered during your project work, all effort will stop within the area of the remains and Dr. Todd Pitezal, assistant curator of archaeology, will be contacted immediately at (520) 621-4795.

If you have any questions about the results of this records search, please contact me at the letterhead address or the phone number or e-mail address as follows.

Sincerely,



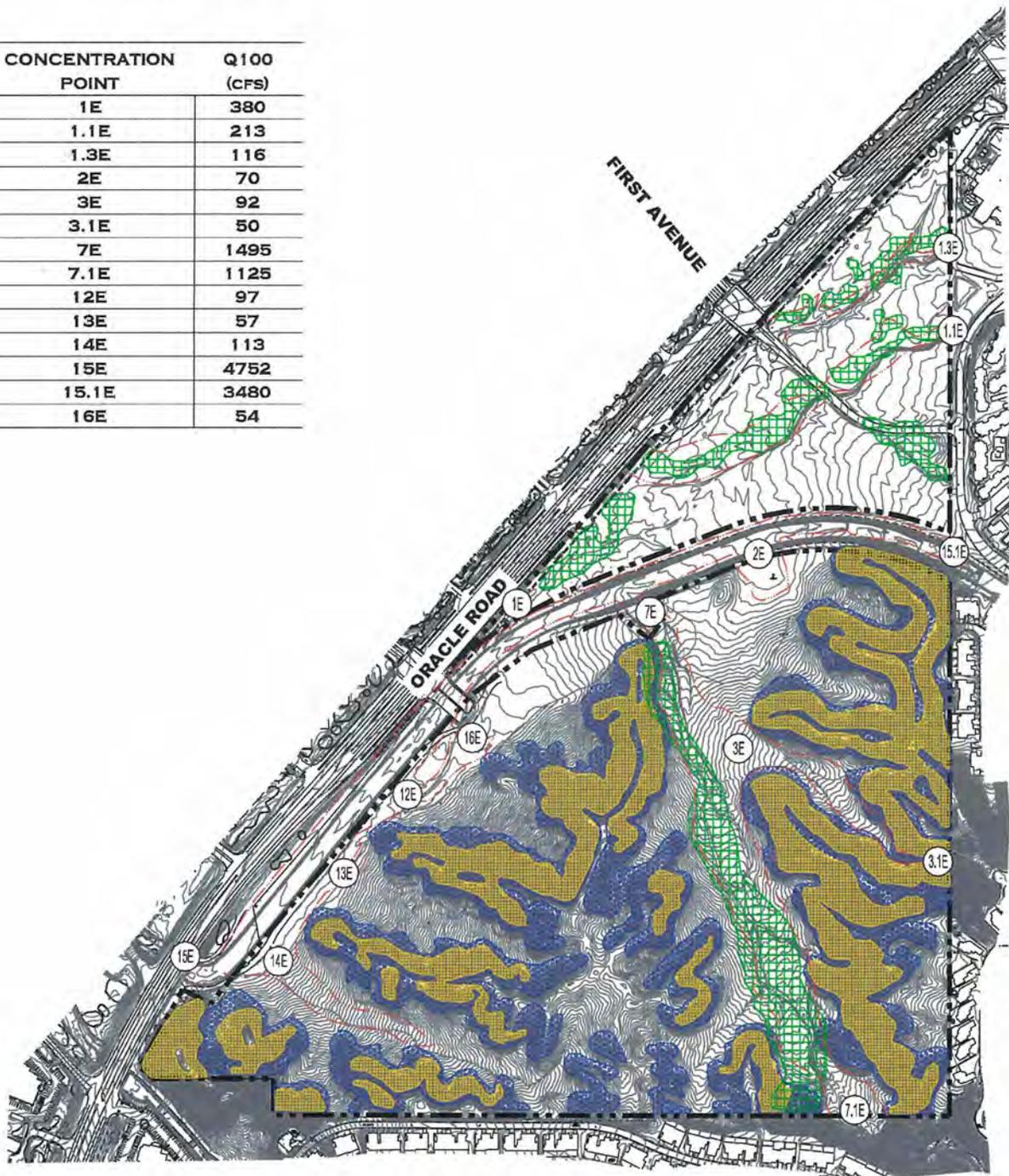
Nancy E. Pearson
Assistant Permits Administrator
(520) 621-2096
npearso@email.arizona.edu



M. COMPOSITE EXHIBIT

1. General Composite Exhibit - Exhibit M-1 shows a collection of environmental considerations. Soils were not included since all three soils groups, though each dictating a different design in terms of load-bearing or landscaping, are suitable for development.
 - a. Hydrology - Engineered channel bottoms are shown as well as an unprotected area on the north parcel and an undeveloped side-wash area on the south property flowing into the Rooney Wash. Approximate 100-year floodplains and concentration points are also shown.
 - b. Topography - Areas having slopes in excess of 25 percent are shown. These areas would dictate restricted low density development or should remain undeveloped.
 - c. Vegetation and Wildlife - ~~The high density vegetation areas (and accompanying wildlife habitats) are shown~~ Areas containing significant vegetation are shown.

CONCENTRATION POINT	Q100 (CFS)
1E	380
1.1E	213
1.3E	116
2E	70
3E	92
3.1E	50
7E	1495
7.1E	1125
12E	97
13E	57
14E	113
15E	4752
15.1E	3480
16E	54



LEGEND

-  AREAS CONTAINING SIGNIFICANT VEGETATION
-  AREAS OF >25% SLOPE
-  AREAS OF 15% TO 25% SLOPE
-  CONCENTRATION POINT
-  100 YEAR FLOODPLAIN LIMIT

**EXHIBIT M-1:
COMPOSITE MAP**

1"=600'



4.28.2011
WLB No. 101.007A-R011

SECTION II - LAND USE PROPOSAL

SECTION II

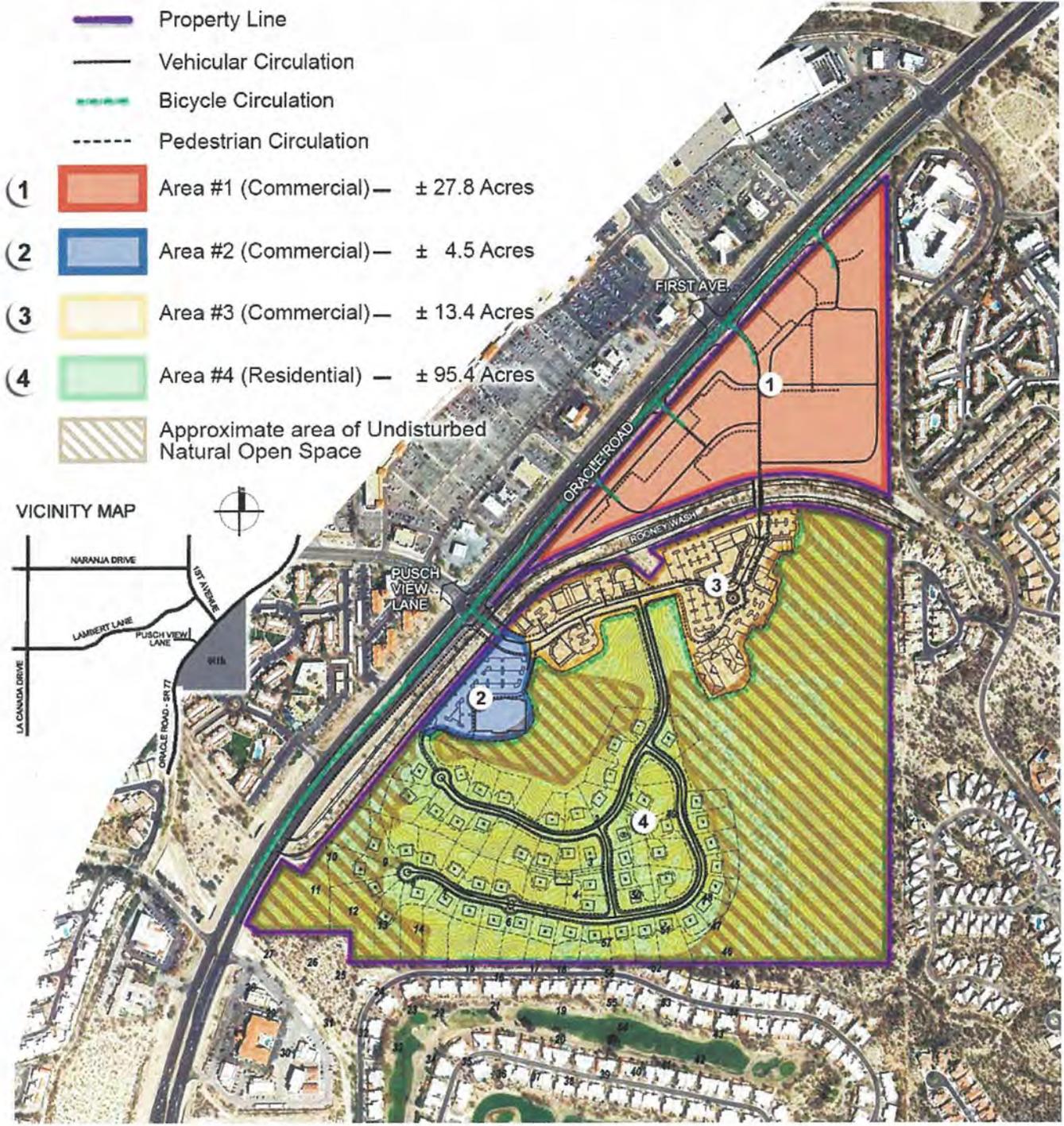
LAND USE PROPOSAL

A. PROJECT OVERVIEW

General Urban Land Use Strategy - The Town of Oro Valley General Plan "Focus 2020" recognizes that lands in the immediate vicinity of Oracle Road and North ~~First-1st~~ Avenue are appropriately projected to be higher density urban and commercial developments than lands away from the intersection and the contributing corridors. It is the intent of the proposed amended PAD ~~that there be created to create~~ a high quality ~~and discernable Oro Valley Town Centre~~ mixed multiple use development, ~~which focuses on that major intersection,~~ which ~~also~~ is located near the very geographical center of the Town's projected incorporated area. The proposal is for a commercial core, ~~which includes~~ ing residential, office, hotels, retail, restaurant, ~~and~~ entertainment facilities, medical facilities, and ~~neighborhood~~-convenience retail. ~~The mix of uses is not only intended to extend the times during which the center is active, but also to maximize the use of amenities and infrastructure in a series of often non-conflicting peak periods of demand.~~ The land use mix also is designed to create a destination critical mass for services and a potential urban synergy. Because of the nature of the street and drainage network, the project is primarily segmented into commercial/office/apartment uses north of the proposed Pusch View Lane extension and single family residential south of the proposed Pusch View Lane extension. Exhibit AA-1, Preliminary Conceptual Site Tentative Development Plan, demonstrates the general land use proposed for the development.

The Land Use Plan and Illustrative Site Plans for this project ~~has~~ been developed ~~based on design principles of the New Urbanist Movement to allow a horizontal mix of uses.~~ These include pedestrian scale, pedestrian access and movement, traffic control via physical barriers, mix of ~~retail with residential~~ retail, residential and office, and access to natural open space. ~~The primary focus of the development is an old "main street theme" which features on-street parking, buildings located close to the street, office and apartments above the retail uses with sit-down restaurants focused around a village commons area. Buildings are architecturally "five sided" with parking located in small groups on all four sides of the buildings. Landscaped pedestrian pathways connect the various retail areas emphasizing the importance of pedestrian movement rather than automobile movement. The design principles of New Urbanism will be further utilized to evaluate the Development Plan and Architectural review for each individual building. The primary focus of the architectural design provisions will be to create a foundation for design that will ensure development of an attractive, high quality mixture of architectural styles with primary emphasis on mixed use commercial retail, office, and residential.~~

Note: The circulation patterns shown are conceptual, and may ultimately be different from that which is shown depending on the final configuration of the site



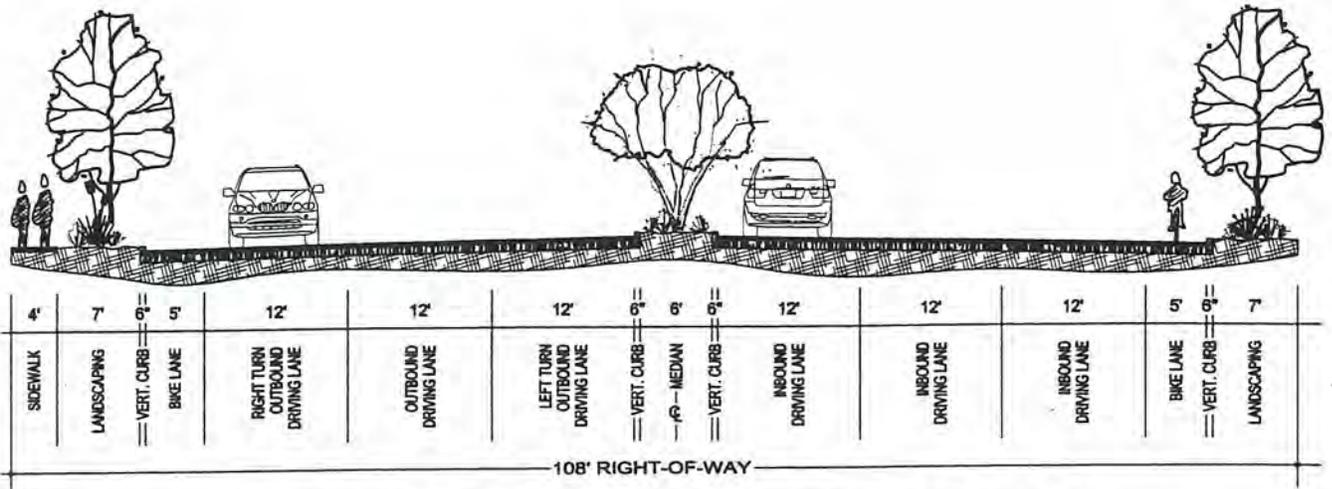
Tentative Development Plan (TDP)

04152 05.10.11

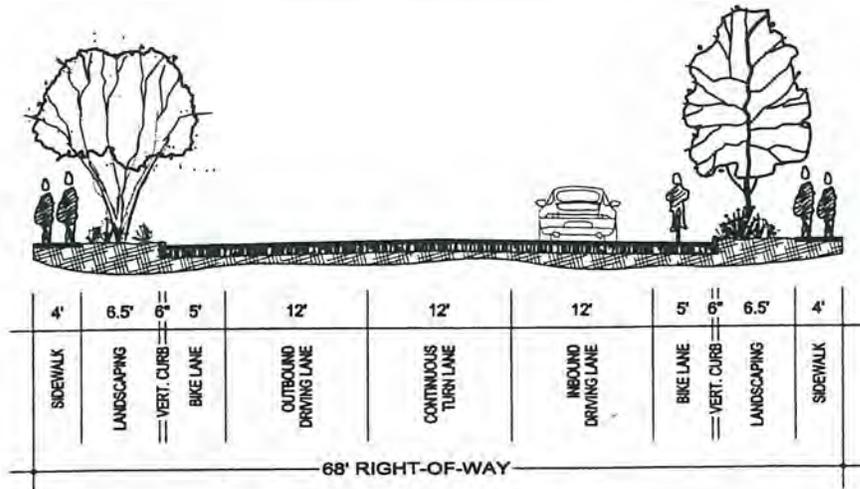


ORO VALLEY Towne Center
 ORACLE ROAD & FIRST AVENUE
 TOWN OF ORO VALLEY, ARIZONA



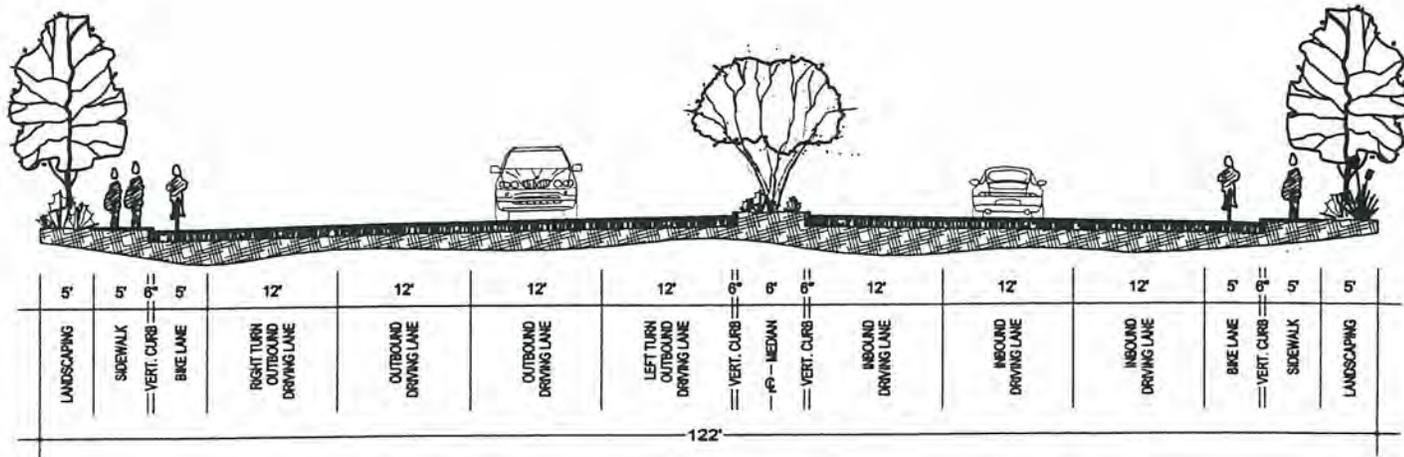


PUSCH VIEW LANE SECTION (INTERSECTION AT ORACLE ROAD)
N.T.S.



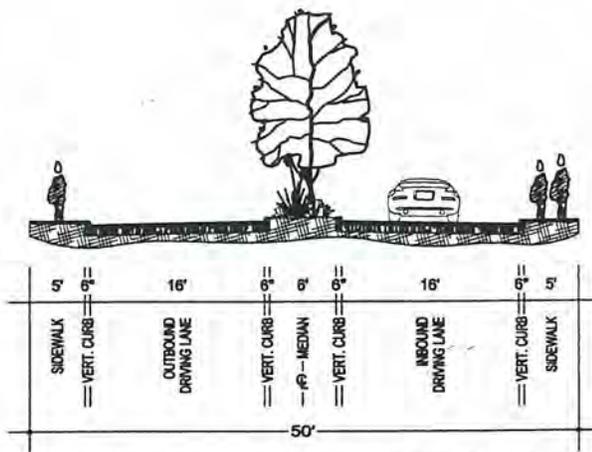
PUSCH VIEW LANE SECTION
N.T.S.

EXHIBIT AA-2: PUSCH VIEW LANE SECTIONS



FIRST AVENUE SECTION (INTERSECTION AT ORACLE ROAD)

N.T.S.



TWO-LANE ENTRY SECTION (TYP.)

N.T.S.

EXHIBIT AA-3: FIRST AVENUE AND ENTRY SECTIONS

B. COMMUNITY GOALS AND POLICIES

Goals

1. To create a high quality horizontally integrated mixed use master planned community development that, which effectively servesing the Town of Oro Valley as an efficient and discernable “center,” or commercial core, and which at the same time is compatible with surrounding uses as well as the town’s vision for this area.
2. Through the comprehensive planning approach on a significantly large, centrally-located tract, establish an economically viable critical mass of urban services to cause it to be a regionally important commercial destination.
3. Through the PAD process, comprehensively plan higher development intensities on environmentally sound sites while planning lower densities or eliminating development altogether where slopes and unique vegetation warrant.
4. Through a master planned urban design, position and develop elements to maximize views, minimize the loss of views of adjacent land uses and create a very “readable” urban texture or “sense of place” and “function.”
5. Through the vegetation and landscaping plans, create and preserve excellent microclimates, which become quality amenities for tenants, customers, and other visitors while perpetuating the sense maintaining of “indigenous” Arizona upland landscape.
- 5.6. Through the use of sensitive grading plans and re-vegetation, create and treat cut slopes such that they will appear not to have been disturbed in the single family residential development areas.
6. ~~Through the use of sensitive grading plans and re-vegetation, create and treat cut slopes such that they will appear not to have been disturbed.~~
7. Through vision, experience, thoughtful planning, quality design and creativity, develop an excellent ~~commercial core mixed-use project, which is effectively new~~ that provides a comfortable and interesting experience, exciting, and different to the extent that it offers a distinctive and excellent alternative to other business, retail, and residential areas in the northern Tucson metropolitan region.

Policies

1. Oracle Road Scenic Corridor Overlay District - The subject parcel is located within the jurisdiction of the Oracle Road Scenic Corridor Overlay District (ORSCOD); therefore, it is subject to the provisions of that overlay district. The Oro Valley Town Centre PAD controls and coordinates approximately 141 acres in this corridor. With a few exceptions, this PAD complies with the ORSCOD. The primary exceptions involve five areas, listed as follows:

building heights, setbacks along Oracle Road, floor area ratio, free-standing building pads and landscape/screening treatment standards.

As stated in the ORSCOD, the intent of the ordinance is to establish the physical form and continuity of character in the ORSCOD before uncoordinated development occurs, depriving the area of its natural scenic beauty. The scenic beauty presented by the corridor consists primarily of the background views of the Santa Catalina Mountains and Pusch Ridge. This commercial portion of this project strives to protect these views by placing buildings and other site improvements in the valleys, thereby preserving ridge tops in their natural condition.

The rationale for deviating from ORSCOD in these ~~four~~five areas is discussed below:

- a. Height Limitations - The Oro Valley Town Centre at Rooney Ranch proposes various building heights necessary for one, ~~two and through~~ five story ~~development structures~~ (office buildings are limited to three (3) stories maximum) appropriate for a strong commercial core in a mixed-use neighborhood/community commercial land use designation. However, ORSCOD restricts the heights of buildings within 300 feet of the Oracle Road ROW to 18 feet. This limitation would severely constrain implementation of the General Plan and PAD policies.

Also, based on the results of the View Corridor Analysis completed for Oro Valley Town Centre, a minimum of 60% of the frontage to a depth of 300 feet along the east side of Oracle Road will be maintained as a view corridor and will not be used for building purposes. Although the buildings within 300 feet will, under this proposal, exceed 18 feet, they will not negatively affect the view corridors.

- b. Setbacks - The apparent intent is to preserve both foreground views and background views of the mountains. There are areas along Oracle Road where a 100-foot buffer is appropriate. Those areas are where the viewshed is at essentially the same elevation as the roadway. In the case of Oro Valley Town Centre at Rooney Ranch, the viewshed is the background views of the Santa Catalina Mountains and Pusch Ridge beyond the site. The dense vegetation located in a 30 foot wide strip adjacent to the right-of-way, which will for the most part be retained, limits the foreground viewshed. ~~It is the intent of the Oro Valley Town Centre at Rooney Ranch to preserve this strip of natural vegetation as a part of the overall effort to preserve significant natural vegetation on the site.~~ In short, this PAD proposes a 30-foot enhanced landscape buffer adjacent to the east right-of-way line of Oracle Road.
- c. Floor area ratio – The ORSCOD permits a floor area ratio (FAR) of .25 for sites two acres or larger. The FAR of the Oro Valley Town Centre, based on the total square footage shown will be determined at the time of final site planning but will not be limited to .25 on the TDP, and further based only on the net commercial acreage, is approximately .29. it should be noted hHowever, ~~the approximate FAR, when including the there are approximately 79 acres of open space planned in Area 4 designated within this project, is .11. The project will be viewed holistically when calculating allowable FAR. The purpose of these calculations is to demonstrate that this project is sensitive to the natural environment, through both the preservation of open space and the placement of commercial development in areas requiring little topographic manipulation.~~

- d. Free-standing building pads – The ORSCOD states that free-standing building pads only be permitted with a minimum of 50,000 square feet of gross floor area in the principal structure. The changes proposed to this timing issue are specifically addresses in Section (II)(B)(8).
- e. Landscape/screening treatment standards – This PAD complies with the ORSCOD landscape standards and guidelines with the one exception. The ORSCOD requires that within 100-feet of the Oracle Road right-of-way, tree species be restricted to the following: Blue and Foothills Palo Verde (*Cercidium floridum* and *C. microphyllum*), Mesquite (*Prosopis* spp.) and Ironwood (*Olneya tesota*). It further states that all introduced shrubs, accents and ground covers shall comply with the Oro Valley Approved Plant List.

Oro Valley Town Centre will announce its entries in part through the use of vegetation. As a means of creating visual interest and a unique identity for the project, each entry to the project will have a unique blend of plants and will have its own unique species of tree. In order to accomplish this, trees other than those identified in the ORSCOD must be located within 100-feet of the Oracle Road right-of-way. The species proposed are discussed in detail in Section (II), (E) of this document.

- 2. Hydrology – With any form of development comes the compaction of soils and the coverage of surfaces with impervious materials, both of which tend to reduce the ability of the ground to absorb rainfall in addition to accelerating runoff. The Oro Valley Town Centre PAD is unique in the sense that, for typical rainfall events, the runoff from the proposed development areas have a sufficient opportunity to be absorbed locally in the sand channel which transects the site (Rooney Wash). In the less common rainfall events where intensity and duration are considerable, the ground will become saturated and cause runoffs comparable to developed surfaces. In any event, it shall be the policy of the PAD to adhere to the following:
 - a. Not to disturb surfaces and vegetation in areas which will remain undeveloped.
 - b. Outside of roofed areas, streets, parking areas, and sidewalks, to minimize the use of impermeable materials on the surfaces of the developed areas.
 - c. To develop local retention in swales and other re-vegetated open spaces following the completion of development.
 - d. On larger local drainageways (in excess of 500 cfs) where stabilized side embankments may be needed to protect against erosion, the channel bottoms will be designed to maximize infiltration by leaving them as sand and gravel, cobbles, native vegetation, or a combination of the three.
 - e. On smaller local drainageways (less than 500 cfs), the design will accommodate maximum infiltration by utilizing stone, gravel and sand, and vegetation where feasible. Where not feasible, drainage may be through underground pipe systems.

f. It is the intent of Canada Del Oro Partners to bridge or cross both Rooney Wash and the unnamed wash coming from the El Conquistador Resort to the south in several places. These crossings may be in the form of clear span bridges, box culverts, pipe crossings as required by the hydrology report, and in compliance with OVZCR and the Town's Floodplain Management Ordinance. Crossing shall be for either pedestrians or vehicles.

g. A Letter of Map Amendment (LOMA) dated March 31, 2003 has been received from the Federal Emergency Management Agency. This letter indicates that the subject property is not located within a Special Flood Hazard Area (SFHA). The area is now designated as Zone X (shaded), an area of moderate flooding outside the SFHA. This letter is included in this document as Appendix D.

g.h. This project will request a detention waiver in accordance with the Town of Oro Valley Drainage Criteria Manual, Section 11.4. This project is directly adjacent to the Rooney Wash and outflows from the developed site will be demonstrated not to affect the peak flow rate within this wash.

3. Grading – Recognizing that since the adoption of Rooney Ranch Oro Valley Center PAD in February 1989, the Town of Oro Valley has adopted numerous grading ordinances and revisions to those ordinances. The intent of these ordinances and their revisions have been to protect our Sonoran Desert and to assure that any disturbance of the existing landscape would be mitigated. That is also the intent of this Grading Standard for Rooney Ranch Oro Valley Town Centre. This Grading Standard adopts the current Oro Valley Grading Ordinance with only a few exceptions. These exceptions are Section ~~15-401~~27.9.E.1 and Section ~~15-405~~27.9.E.5 of the Oro Valley Zoning Code Revised.

In large part, the area north of Rooney Wash complies with ~~Chapter 15~~Chapter 27.9 of the Oro Valley Zoning Code Revised, Grading Ordinance, with the possible exception of Section ~~15-409~~27.9.E.9, Phased Grading.

Given the nature of the property south of Rooney Wash, it will be necessary to make cuts and fills which exceed the limitations of Section ~~15-401~~27.9.E.1. A grading plan for this area is included in this PAD. Once approved by Council, ~~it shall serve as the future grading plans may generally conform to this~~ Grading Concept by which any subsequent development must comply and adhere. This plan shall be accompanied by a landscape mitigation plan defining mitigation procedures for exposed slopes.

With regard to Section ~~15-405~~27.9.E.5, 25 percent slopes will be mapped and any encroachment will be mitigated on a 1:1 basis via a set-aside of land with slopes less than 25 percent.

These considerations will allow the site to be developed and at the same time avoid scarring and other adverse visual impacts from cut, fill and any other type of ground disturbance.

It should also be noted that approximately 70% of the property south of Rooney Wash will remain in a natural, undisturbed condition. A portion of this undisturbed area will act as an approximately 800-foot buffer yard between the proposed residential development and the existing residential communities to the east of the subject property.

Refer to section (II)(D) for a detailed discussion of the grading concept.

4. Landscaping – The more specific criteria for re-vegetation of areas disturbed by approved grading follows the development proposal. However, from a general policy standpoint:

- a. All trees that can be reasonably salvaged will be boxed or transplanted by tree spade ~~immediately to a temporary on site nursery and then ultimately distributed throughout the site. These transplanted trees will be replanted and will remain to a landscape buffer area along a nearby roadway where final plans allow it to be left as a permanent part of the landscape and will be located in, including but not limited to, parking islands and landscape areas.~~ These trees will be ~~irrigated over a couple of seasons to allow them to become established and acclimated to survival on rainfall.~~ maintained by the overall property manager.
- b. ~~All other more local development projects will salvage trees from the building pads and move them to local parking islands and landscape areas by tree spade, thus utilizing the PAD area as its own nursery.~~
- e. — Salvageable trees ~~that cannot~~ will be spaded ~~shall be~~ or side-boxed.
- dc. Common Bermuda grass, mulberry trees and olive trees are specifically excluded from use in the landscaping of this PAD.
- de. For re-vegetation purposes, installation of long-term irrigation subsequent to the removal of temporary irrigation may be required.
- ef. Along Oracle Road there shall be a 30-foot landscape area (except at vehicle access points). One-third of the required landscape strip may be provided within the public right-of-way if approved by the Arizona Department of Transportation, the Zoning Administrator, and Town Engineer. Where Rooney Wash is adjacent to Oracle Road the wash in its existing state may serve as the 30-foot landscape area.
- fg. Along Pusch View Lane there shall be a 20-foot landscape area except at vehicle access points. Landscape frontage planting will be phased with construction of the road.
- gh. For the purpose of this PAD, natural open space is defined as any natural, completely undisturbed, desert area. Landscaped open space shall include all landscaped plazas, grass and trees, fountains, landscaped sidewalks within a landscaped setting, sitting areas, and landscaped areas exclusive of parking areas.
- hi. Within the landscape strip along Oracle Road and Pusch View Lane rights-of-way, a three-foot high berm or a three-foot masonry wall, or both, will be required in areas adjacent to parking.

5. Setbacks

- a. Building setbacks shall be a minimum of 5 feet from the Pusch View Lane right-of-way and a minimum of 30 feet from Oracle Road right-of-way.

6. Building Height

- a. For the purpose of this PAD and due to landform situations, building heights shall be defined as follows:

BUILDING HEIGHT OF shall mean the vertical distance measured from the grade found along the outside walls of a building to the highest point of the building, excluding any chimney. This definition applies only to a building footprint where the natural cross-slope is less than 6%.

BUILDING HEIGHT (SLOPED AREA) shall mean the maximum vertical distance measured from finished grade to the highest point of the building directly above, excluding any chimney. This definition applies only to a building footprint where the natural cross-slope is 6% or more.

- b. Architectural elements such as campaniles, clock towers, and steeples are encouraged. They may be freestanding as a campanile might be, or more commonly as an integrated part of a building or building group.
- c. Building heights shall be as defined by the Oro Valley Zoning Code Revised except C-1, C-2, C-N uses shall not exceed ~~35~~40 feet exclusive of architectural elements, ~~which elements which~~ can extend an additional ~~10~~5 feet (provided that the architecture provides visual relief to avoid bulk concerns), office uses shall not exceed ~~60~~50 feet inclusive of architectural elements (maximum of 3 stories), and hotel uses shall not exceed 75 feet inclusive of architectural elements. It is noted that the office uses are allowed a total of 5 feet of additional height compared to the other C-1, C-2, and C-N uses. These 5 feet of additional height will only be allowed for buildings that are not located directly along the Oracle Road frontage. Any office building located along the Oracle Road frontage shall not exceed 40 feet exclusive of architectural elements which can extend and additional 5 feet.

7. Signs

- a. Signs shall comply with the Oro Valley Zoning Code Revised. A comprehensive sign plan shall be developed for Oro Valley Town Centre and will comply with Chapter 28~~Section 12-104~~ of the OVZCR. The comprehensive sign plan ~~will~~ be submitted prior to obtaining any sign permits for the property.

8. Phasing

The residential and commercial portions of this project will be developed independently. Development may be phased within each portion of the project dependent upon market conditions.

~~Proposed Phase Associated Phase~~

~~A, B, C, or E Main Street; D and F or D and H or F and G or H and I~~

~~L J or K
Plaza~~

~~O, M, or N Pusch View Lane
Main Street~~

~~J or K Plaza~~

~~P, Q, R, S Pusch View Lane; 1st Avenue motor bridge over Rooney Wash~~

~~Residential Pusch View Lane~~

- a. A conceptual pedestrian master plan with associated conceptual landscaping and amenities (includes landscape pallet of materials to be used, approximate locations and plant types) is to be submitted with the first phase Development Plan Conceptual Site Plan and Landscape Plan.

9. Public Improvements

- a. Assessments. ~~CDO intends to participated~~ with an Oracle Road Improvement District ("ORID") and the improvements have been constructed. CDO Partners remains responsible for the assessments related to the ORID regardless of any future ownership transfers. under the following conditions:
 1. ~~No residential properties will be assessed as part of the District.~~
 2. ~~Any assessment of the commercial properties is contingent upon the adoption of this PAD.~~
 3. ~~Assessments are to be based solely on the zoning allowed by this PAD.~~
- b. The developer shall has dedicated the proposed extension of Pusch View Lane from Oracle Road to the east abutment of the bridge over Rooney Wash. All other internal roads shall remain private.
- c. ~~The developer shall participate on a pro-rata basis with respect to the right-of-way improvements, including right-of-way dedication, additional ingress/egress lanes,~~

additional travel lanes, and installation of medians and landscaping as defined by the Oracle Road Improvement District, and based on improvements recommended by the traffic impact report for this project.

10. General PAD Administration

a. This PAD is the controlling document for development of the Oro Valley Town Centre at Rooney Ranch. Any existing or future Town ordinances or regulations (including any design guidelines) that conflict with this PAD shall either not apply or shall be interpreted to allow the PAD regulations to control. In addition, the Oro Valley Environmentally Sensitive Lands Ordinance shall not apply to this PAD.

a-b. ~~All significant changes to the Oro Valley Town Centre at Rooney Ranch PAD shall be submitted to the Planning Commission and the Mayor and Council as amendments to the PAD in accordance with Article 3-1 of the Oro Valley Zoning Code Revised.~~ Any proposed changes to the PAD shall be submitted to the Planning and Zoning Administrator, who shall review the item and ascertain whether or not the change is significant based on the following criteria, 1 through 45. The Planning and Zoning Administrator may send any change to a hearing by ~~either DRB and Town Council or Planning and Zoning Commission and Town Council~~ the appropriate board, commission or Town Council. The representatives of the La Reserve Home Owner's Association and El Conquistador Homeowners Association will be notified in writing of any request made for any change to the PAD including any change requiring administrative review; they will have the opportunity to respond to such a notice and to participate in any such request for change.

For the purposes of the PAD, significant changes shall include, but not be limited to, the following:

1. Any change to the permitted use. Permitted uses shall mean ~~the primary and alternative-all~~ uses contained permitted in the PAD submittal.
2. Any change, modification or deletion to an approved PAD policy.
3. Any change to the development standards or zoning conditions set forth in the PAD, including proposed changes to height, setbacks, open space requirements, parking, floor area ratios, and density, as defined in this PAD.
4. Any change to the Tentative Development Plan (TDP) included as part of this rezoning, which would vary any material terms or conditions of the rezoning, which would modify any proposed density standards, ~~any kinds of street or land improvements proposed affecting the standards for vehicular circulation, signs and nuisance controls intended for the development.~~ DRB shall also review changes to the TDP. It is noted that the Illustrative Site Plans included in this package are meant to conceptually illustrate how the site might be developed and any changes to these plans would not require an amendment to the PAD.

b-c. Nothing in this section shall be deemed to authorize the Planning and Zoning Administrator to modify or approve any aspects of development reserved to the

Development Review Board, ~~pursuant to Article 3-3 of the Oro Valley Zoning Code Revised.~~

e.d. All ~~conceptual site plans~~ development plans, preliminary plats and submittals shall conform to the standards contained in Oro Valley Zoning Codes in effect at the time of that submittal, ~~which are not specifically modified by the provisions of the PAD. provided those standards do not conflict with any provisions of this PAD. If any conflict arises, the PAD document shall control.~~

d.e. Where an interpretation of the PAD is required, OVZCR Section 21.4.A and B ~~Section 1-502(l)~~ shall govern.

e.f. The Oro Valley Town Centre PAD may be amended from time to time. Proposed amendments shall be submitted by the owners of a development area to the Planning Commission and Town Council as outlined in Section 22.3 ~~Article 3-4~~ of the Oro Valley Zoning Code Revised.

f.g. If any provision, sentence, clause, section or subsection or phrase of this PAD is for any reason held to be invalid or unconstitutional, such decision shall not affect the validity of the remaining portion or portions of this PAD.

g.h. Where the PAD document is silent on an issue, OVZCR shall prevail.

11. Conceptual Site Plan ~~Development Plan and/or Preliminary Plat~~ Review

a. ~~The PAD shall be implemented via Conceptual Site Plans (formerly known as Development Plans and Preliminary Plats) as provided in the OVZCR. Any Conceptual Site Plans prepared for this PAD shall be in conformance with the provisions of the PAD and the Tentative Development Plan. The PAD will likely be developed in phases. As such, Conceptual Site Plans may be prepared for review and approval that address only the phase or portion of the PAD that is currently being developed. PAD shall be implemented via Development Plans and/or Preliminary Plats as provided in the OVZCR, Chapter 26. Any Development Plan or Preliminary Plat prepared for this PAD shall be in conformance with the provisions of the PAD and the Tentative Development Plan.~~

~~The PAD will likely be developed in phases. As such, Development Plans and/or Preliminary Plats may be prepared for review and approval that address only the phase or portion of the PAD that is currently being developed. PAD shall be implemented through Development Plan and/or Preliminary Plat review as provided in the OVZCR, Articles 3-3 and 4-5. The developer shall have the ability to determine the extent of any area to which a development plan and/or preliminary plat will apply, subject to the requirement that such individual development plans and/or preliminary plats shall be consistent with and implement the PAD and Tentative Development Plan (TDP).~~

~~The PAD will be approved with the TDP, and final development plans and/or preliminary plats will be processed for individual portions of the PAD area as they are developed.~~

C. PLANNED AREA DEVELOPMENT PROPOSAL

General

Keeping in mind the mixed use/~~commercial~~ core concepts discussed in the Project Overview Section, the Proposal Section deals specifically with the areas of development, their primary uses, and ~~the alternative uses as well as~~ development criteria.

Commercial Areas 1 & 2 (Commercial)

The limits of the Commercial Areas 1 & 2 are established on Exhibit CC-1. The more intense commercial activities front on Oracle Road and Pusch View Lane near the intersection are located in these two areas. The land use mix includes retail, including outdoor sales, theaters (movies and live) financial institutions, convenience uses, office, multi-family and hotel. These Commercial Areas will be allowed all uses permitted within the CN, C-1, and C-2 standards of the Oro Valley Zoning Coded Revised ("OVZCR"). All uses in the CN, C-1 and C-2 zoning districts which require a CUP shall also be permitted, provided the CUP is obtained through the Town's CUP process. In addition, a maximum of 15.5 acres may be used for multi-family/residential purposes with a maximum of 300275 multi-family/residential dwelling units are permitted. No more than three "Convenience Uses" as defined in the Oro Valley Convenience Use Ordinance shall be allowed. There shall be no fast food, drive-through or drive-in restaurants, gas stations, or car washes allowed unless specifically permitted by Mayor and Council. The combined commercial areas defined as areas 1 & 2 contains approximately 45.732.3 acres.

<u>Primary Uses</u>	<u>Restaurants, Hotels/Motels, Financial Institutions, Health Club, Lounge, Retail Center (C-2) including Outdoor Display, Theaters (including movies and live performances), Retail/Convenience Use subject to OVZCR Convenience Use Ordinance 9-110 (except 9-110Q), Business and Professional Offices, Multi-Family Residential (to be located on second stories of commercial buildings). Convenience Uses shall not require a conditional use permit, as the policies and conditions of the Oro Valley Town Centre PAD negate the need for a conditional use permit.</u>
<u>Prohibited Uses</u>	<u>Sanatorium, Auto Services (unless in conjunction with new auto sales and service bays are adequately screened from Oracle), Taxidermist, Pool Hall (unless in conjunction with a permitted restaurant use), Fortune Telling, Lumberyard, Helistop, Adult Book Store, Adult Theatre, Adult Amusement Facility, Pawn Shop, Flea Market, and Junk Yard.</u>

Development Criteria

1. Setbacks -
 - a. From Oracle Road right-of-way - 30 foot minimum (Except where buffered by Rooney Wash).
 - b. From Pusch View Lane right-of-way - 5 foot minimum.
2. Building Heights - Maximum of 35-40 feet for all buildings plus an additional 5-10 feet for architectural statements. Office uses shall be limited to a 560 foot maximum height inclusive of architectural statements (Maximum of 3 stories). Hotel uses shall be limited to a 75 foot maximum height inclusive of architectural statements. It is noted that the office uses are allowed a total of 5 feet of additional height compared to the other C-1, C-2, and C-N uses. These 5 feet of additional height will only be allowed for buildings that are not located directly along the Oracle Road frontage. Any office building located along the Oracle Road frontage shall not exceed 40 feet exclusive of architectural elements which can extend and additional 5 feet.

3. Maximum Density - Floor Area Ratio of .40. Floor Area Ratio is the ratio of gross building floor area to the net lot area of the building site.
4. Minimum Landscape Requirements - ~~25 percent (subject to "I" of the Landscape Policy).~~ 15 percent minimum. No buffer yards will be required between similar uses. A minimum 15 foot Buffer Yard A shall be located along the rear property line. A 6 foot high wall shall be constructed the full length of the rear property line next to La Reserve, with landscaping provided on the Oro Valley Town Centre side of the wall as well as the La Reserve side of the wall. The landscaping on the La Reserve side of the wall shall be consistent with the existing La Reserve landscaping and color scheme.
5. Parking Requirements – ~~Parking shall comply with OVZCR Chapter 27.~~ Developer shall provide parking per a shared parking study, approved by Town staff.
6. Outdoor Displays - with the following conditions:
 - a. Subject to OVZCR ~~Chapter 25, 1.A Section A.4 § 9-118.~~
 - b. ~~The outdoor display area shall be clearly delineated by architectural features, and shall be screened by significant architectural elements such as arcading, columns etc. A minimum 6-foot wide sidewalk area shall remain clear for pedestrian circulation. Outdoor displays shall not be permitted within 6 feet of the entry doors.~~
 - c. ~~No items in the outdoor display area shall exceed six feet. (Plants, shrubs, trees, landscape display presentations, and items with significant vertical elements.)~~
 - d. ~~No outdoor display items shall be left out overnight. Plants, shrubs, trees, and landscape display presentations are exempt from this requirement.~~
 - e. ~~Outdoor storage of items is prohibited. Delivery items shall be placed within the store by the end of the business day.~~
 - f. ~~Seasonal outdoor sales events, such as Christmas tree sales, outside of the designated outdoor display area shall be subject to a Special Use Permit under the OVZCR.~~
 - g. ~~Outdoor display signage shall not include fluorescent or iridescent colors, and shall be limited to four square feet in size per display.~~
 - h. ~~Review and Regulation of Outdoor Displays—Outdoor displays shall be subject to the review and regulation of the Planning and Zoning Administrator of the Town of Oro Valley. A violation of the above outdoor display criteria shall result in a written violation notification addressed to the store manager.~~

~~Upon a violation of the outdoor display criteria, the offending party will be given a written notice of violation, and a copy of the notice shall be posted on the offending item(s). If the violation is not corrected within 72 hours, the offending party shall be issued a citation, and a copy of the citation shall be posted on the offending item(s).~~

- ~~• Upon five citations within a one-year period the Planning and Zoning Administrator shall review the outdoor display privileges of the offending party, and the party will be notified in writing of the review. The Planning and Zoning Administrator may suspend or revoke the outdoor display privileges of any or all items of the offending party. The Planning and Zoning Administrator will notify the party in writing of his or her decision within two weeks of the notice of review of outdoor display privileges. The decision of the Planning and Zoning Administrator may be appealed to the Board of Adjustment.~~

7. Pedestrian Connectivity

Hardscape design and pedestrian pathways are an integral component of the project. The movement of pedestrians throughout the development is intended to be comfortable and interesting. This will be done through the use of:

- Pedestrian paths and connections that are generally landscaped with canopy shade trees paralleling the walkway. Undergrowth, consisting of shrubs placed in alternating clusters and rows with strategically placed living ground covers will be included where feasible.
- Crosswalks will be enhanced by a landscaping focal point that features an accent tree with either shrubs and/or flowing ground cover.
- Hardscape designs involving decorative concrete or paving where adjacent to buildings and at entry drives.

A multiuse pathway will be included along the Rooney Wash similar in size and scale to the pathways depicted in the illustrative site plans.

Commercial Area 3 (Commercial)

The limits of the Commercial Area are established on Exhibit CC-1. ~~The more intense commercial activities front on Oracle Road and Pusch View Lane near the intersection.~~ The land use mix includes retail, including outdoor sales, theaters (movies and live) financial institutions, convenience uses, office, multi-family and hotel. No more than three "Convenience Uses" as defined in the Oro Valley Convenience Use Ordinance shall be allowed. There shall be no fast food, drive-through or drive-in restaurants, gas stations, or car washes allowed unless specifically permitted by Mayor and Council. The area contains approximately ~~45.7~~13.4 acres.

Primary Uses Restaurants, Hotels/Motels, Financial Institutions, Health Club, Lounge, Retail Center (C-2) including Outdoor Display, Theaters (including movies and live performances), Retail/Convenience Use subject to OVZCR Convenience Use ~~Ordinance 9-110~~Section 25.1 (except ~~9-110Q25.1.G.3.a~~), Business and Professional Offices, Multi-Family Residential (to be located on second stories of commercial buildings). Convenience Uses shall not require a conditional use permit, as the policies and conditions of the Oro Valley Town Centre PAD negate the need for a conditional use permit.

Development Criteria

1. Setbacks -
 - a. From Oracle Road right-of-way - 30 foot minimum.
 - b. From Pusch View Lane right-of-way - 5 foot minimum.
2. Building Heights - Maximum of 35 feet for all buildings plus an additional 10 feet for architectural statements. Hotel uses shall be limited to a 75 foot maximum height inclusive of architectural statements.
3. Maximum Density - Floor Area Ratio of .40. Floor Area Ratio is the ratio of gross building floor area to the net lot area of the building site.
4. Minimum Landscape Requirements - 25 percent (subject to "I" of the Landscape Policy). No buffer yards will be required between similar uses. A minimum 15 foot Buffer Yard A shall be located along the rear property line. ~~A 6 foot high wall shall be constructed the full length of the rear property line next to La Reserve, with landscaping provided on the Oro Valley Town Centre side of the wall as well as the La Reserve side of the wall. The landscaping on the La Reserve side of the wall shall be consistent with the existing La Reserve landscaping and color scheme.~~
5. Parking Requirements – Parking shall comply with OVZCR Chapter 27.
6. Outdoor Displays - with the following conditions:
 - a. Subject to OVZCR ~~§ 9-118~~Chapter 25, Section A.4.
 - b. The outdoor display area shall be clearly delineated by architectural features, and shall be screened by significant architectural elements such as arcading, columns

etc. A minimum 6-foot wide sidewalk area shall remain clear for pedestrian circulation. Outdoor displays shall not be permitted within 6 feet of the entry doors.

- c. No items in the outdoor display area shall exceed six feet. (Plants, shrubs, trees, landscape display presentations, and items with significant vertical elements.)
- d. No outdoor display items shall be left out overnight. Plants, shrubs, trees, and landscape display presentations are exempt from this requirement.
- e. Outdoor storage of items is prohibited. Delivery items shall be placed within the store by the end of the business day.
- f. Seasonal outdoor sales events, such as Christmas tree sales, outside of the designated outdoor display area shall be subject to a ~~Special~~ Use Permit under the OVZCR.
- g. Outdoor display signage shall not include fluorescent or iridescent colors, and shall be limited to four square feet in size per display.
- h. Review and Regulation of Outdoor Displays - Outdoor displays shall be subject to the review and regulation of the Planning and Zoning Administrator of the Town of Oro Valley. A violation of the above outdoor display criteria shall result in a written violation notification addressed to the store manager.

Upon a violation of the outdoor display criteria, the offending party will be given a written notice of violation, and a copy of the notice shall be posted on the offending item(s). If the violation is not corrected within 72 hours, the offending party shall be issued a citation, and a copy of the citation shall be posted on the offending item(s).

Upon five citations within a one-year period the Planning and Zoning Administrator shall review the outdoor display privileges of the offending party, and the party will be notified in writing of the review. The Planning and Zoning Administrator may suspend or revoke the outdoor display privileges of any or all items of the offending party. The Planning and Zoning Administrator will notify the party in writing of his or her decision within two weeks of the notice of review of outdoor display privileges. The decision of the Planning and Zoning Administrator may be appealed to the Board of Adjustment.

Residential Area 4 (Residential)

The Residential Area is proposed as a single family, detached, gated development and is depicted on Exhibit CC-1. The area contains 95.4 acres.

Primary Uses Recreational facilities (HOA maintained) and single family residential

Development Criteria

1. Setbacks - Front - 20 feet
Rear - 12 feet
Side - 5 feet (corner lots add 5 feet).

For the homes closest to El Conquistador, the homes shall be set back at least 100 feet from El Conquistador's northern property line. Patio walls and swimming pools shall be allowed within 20 feet of the El Conquistador northern property line.

2. Building Height – Single family residential - 25 feet; residential homes closest to El Conquistador and along Oracle Road (Lots 10, 11, and 27-41, as shown on the TDP) shall be limited to 18 feet.
3. Maximum Number of Units: 65.
4. Minimum Lot Size: 15,000 square feet.
5. Average Lot Size: 20,000 square feet.
6. Minimum Landscaping Requirement - 25 percent of gross land area. A minimum 100 foot natural buffer yard shall be required along the ROW for Oracle for residential development.
7. Parking Requirement - Per Oro Valley Zoning Code, Revised.
8. Outdoor Displays -There shall be no outdoor displays.

- ①  Area #1 (Commercial) — ± 27.8 Acres
- ②  Area #2 (Commercial) — ± 4.5 Acres
- ③  Area #3 (Commercial) — ± 13.4 Acres
- ④  Area #4 (Residential) — ± 95.4 Acres

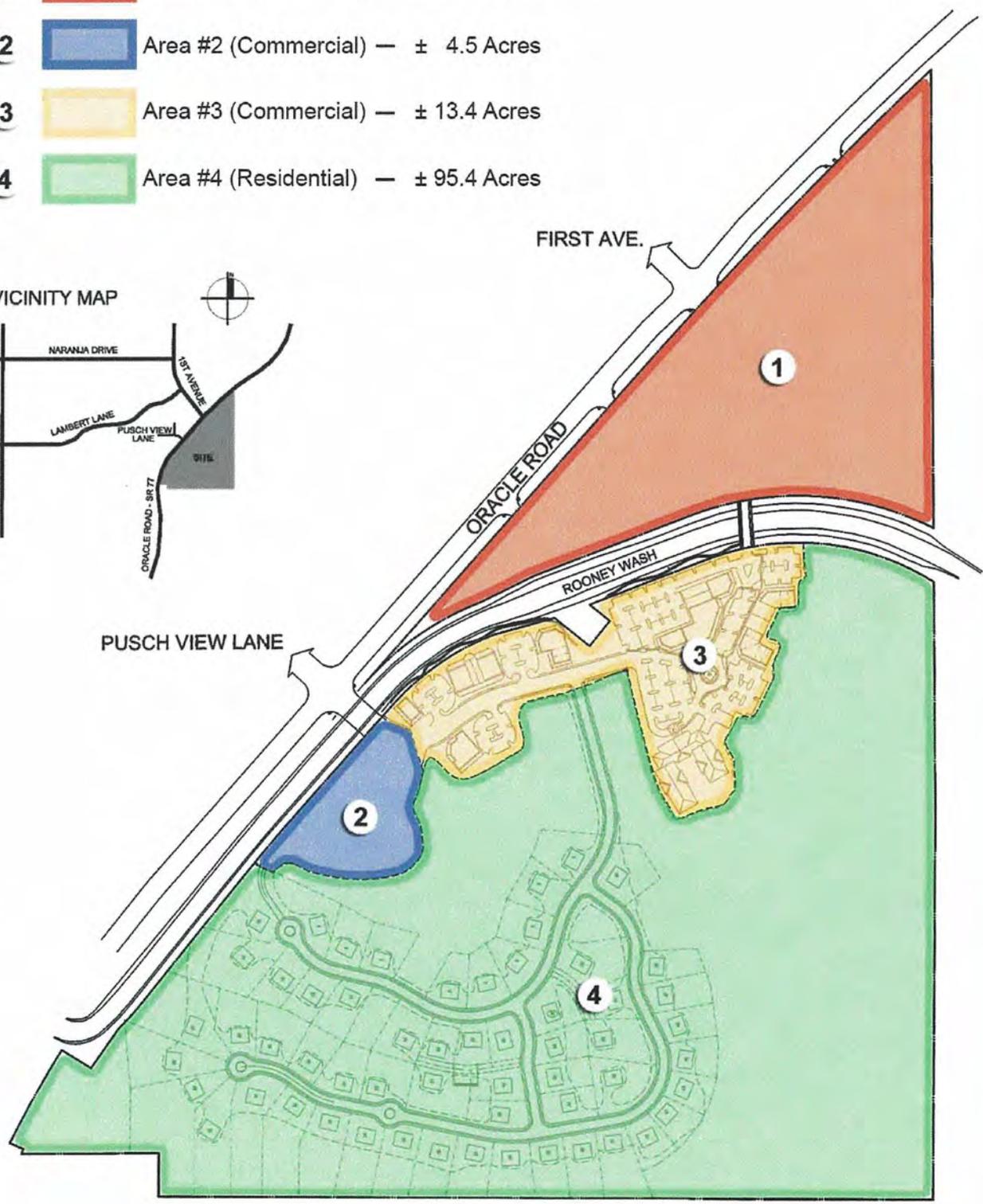


Exhibit CC-1
Limits of Commercial/Residential Areas

04152 03.14.11



ORO VALLEY *Towne Center*
ORACLE ROAD & FIRST AVENUE
TOWN OF ORO VALLEY, ARIZONA



D. CONCEPTUAL GRADING CONCEPT

1. General - All of the areas of the Oro Valley Town Centre will have some building pad and surface drainage alterations as would any typical development project.

a. Standards. The following grading standards (demonstrated in graphic format in Exhibits DD-4 thru DD-8) apply to Oro Valley Town Centre at Rooney Ranch:

- The general thrust of the grading concept is to utilize contour grading and landscaping techniques in the creation of cut slopes to achieve appearances that emulate natural, undisturbed slopes.
- All disturbed areas with 3:1 slopes or less will be re-vegetated or landscaped to control dust and stabilize the slope. The intent is to restore disturbed slopes to a condition that emulates the pre-disturbed condition. ~~The methodology used shall be consistent with the requirements as outlined in Exhibit DD-7. This methodology involves planting disturbed slopes with a minimum of 12 trees, 30 shrubs and 35 accents per every 10,000 square feet of graded area.~~
- 25 percent slopes will be mapped and any encroachment will be mitigated on a 1:1 basis via a set-aside of land with slopes less than 25 percent.
- ~~Long slopes will be designed to include bench terraces.~~ Terraces, walls or other approved treatment shall be required for cut and fill slopes greater than 10 feet in height. Refer to Exhibit DD-9 for a depiction of a ~~terraced~~-retaining wall.
- The overall shape, height and grade of any cut or fill slope will be designed to simulate the existing natural contours and scale of the natural terrain of the site.
- ~~In situations where cut or fill slopes are greater than 5 feet in height and exceed 100 feet in length, the contours of the slope will be manipulated and curved in an undulating fashion in order to reflect the natural terrain.~~
- Rounded edges and smooth transitions will be utilized so that grading blends into the existing topography.
- Careful site planning will minimize the potential for erosion, flood hazards or unsightly scars.
- Vegetation in the bottom of the fill areas will be salvaged and reused on re-sculptured cut embankments and along rights of way.
- This project will be developed in phases; grading of the site will generally follow these phases but there may be situations where larger areas should be disturbed prior to immediate development to balance the cut/fill calculations thereby minimizing the import and export of fill to the site. ~~, ensuring that only areas under immediate development are disturbed.~~ Furthermore, all graded areas shall be ~~re-vegetated~~, stabilized and/or constructed prior to the expiration of the grading permit. If any

portion of the phase is not developed within 12 months, the salvaged vegetation not used on the developed portion of the site shall be replanted on the undeveloped portion of the site in a temporary nursery located on the site.

- Cut slopes will be sculpted and re-vegetated to emulate naturally existing slopes.
- Create undulating slope banks and vary gradients to assist in the creation of slopes with natural appearances.
- Seeding and erosion control techniques shall be employed, such as wood fiber hydromulch, drilled seed with straw mulch and jute matting.
- Where possible, shielded cuts will be utilized.
- In the Residential Area, restrict cuts to particular sites where possible and make efforts to minimize cuts.
- Driveway slopes shall not exceed 14% within the right-of-way and 20% outside the right-of-way.

b. 25% Slope. No localized slope in excess of 25 percent, as designated by Exhibit B-1, topography and slope analysis may be graded or disturbed, except as provided in the attached grading plan. It is recognized that Exhibit B-1 may not be completely accurate and the developer shall resubmit a more accurate exhibit at the time of Conceptual Site Plan Development Plan submittal or Preliminary Plat submittal, which depicts all 25 percent or greater slopes. This exhibit shall be based on an in-field survey and staked in the field for review and verification by the Town Engineer prior to approval of development.

Slopes in excess of 25 percent may be graded as shown on the attached grading plan.

c. Compliance with Grading Ordinance. In large part, the property north of Rooney Wash complies with Chapter 15 Section 27.9 of the Oro Valley Zoning Code Revised, Grading Ordinance, with the possible exception of Section 15-40927.9.E.9, Phased Grading.

d. Open Space Buffer. It should also be noted that approximately 70% of the property south of Rooney Wash will remain in a natural, undisturbed condition. A portion of this undisturbed area will act as an approximately 800-foot buffer between the proposed residential development and the existing residential communities to the east of the subject property.

2. Average Cross Slope: The average cross slope for the site has been calculated as follows:

$$\text{ACS} = \frac{2 (\text{Contour Interval}) \times 523,081 (\text{Length of Contour Lines}) \times .0023}{141.12 (\text{Area in Acres})}$$

$$= 17.04\%$$

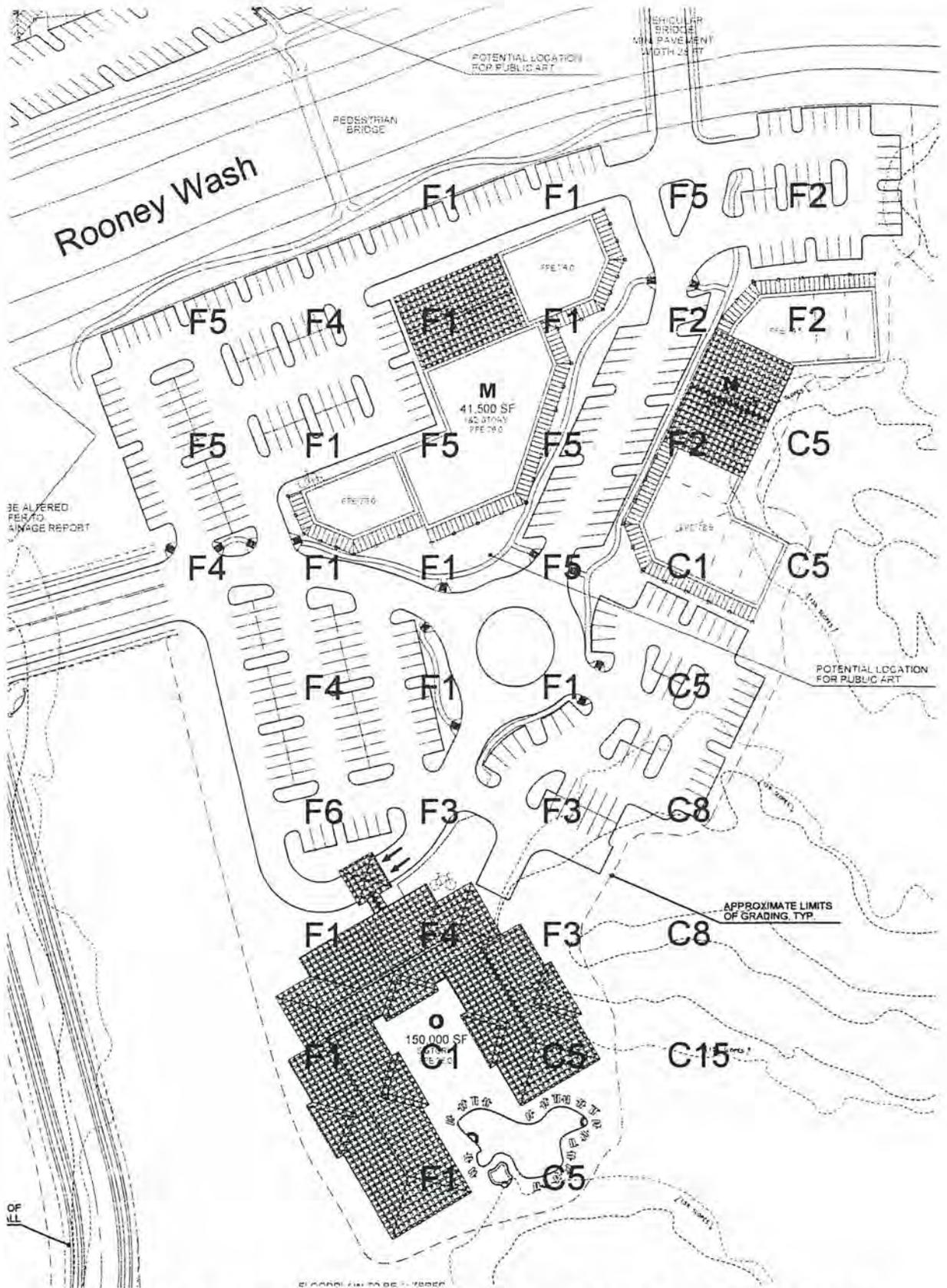


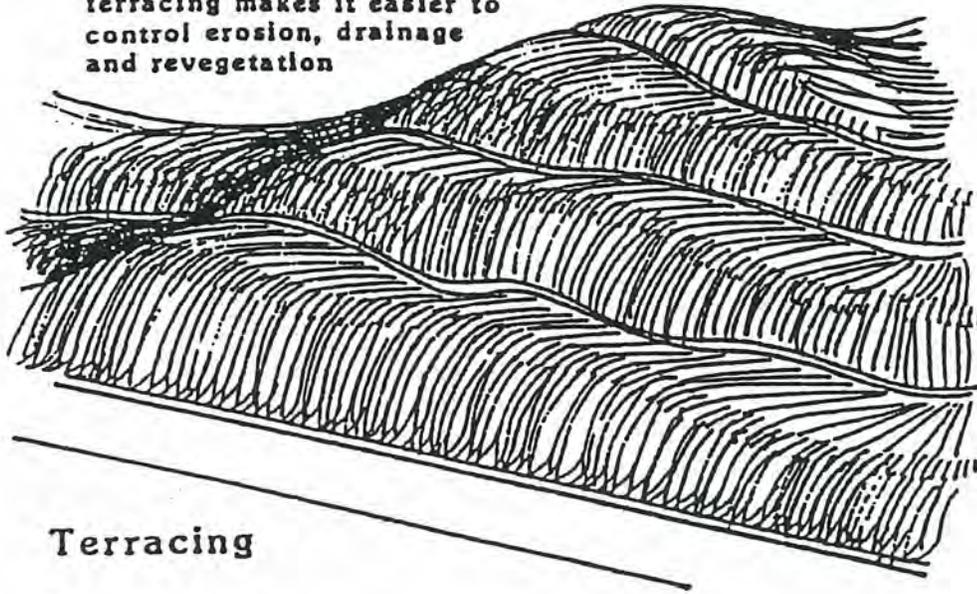
EXHIBIT DD-3: APPROXIMATE CUT & FILL AMOUNTS (SOUTHEAST QUADRANT OF COMMERCIAL AREA)

TOTAL ADJUSTED CUT: ±35,000 Cu. Yds.
TOTAL ADJUSTED FILL: ±90,000 Cu. Yds.
IMPORT REQUIRED: ±55,000 Cu. Yds.
 (IMPORT TO BE RECEIVED FROM SOUTHWEST QUADRANT)

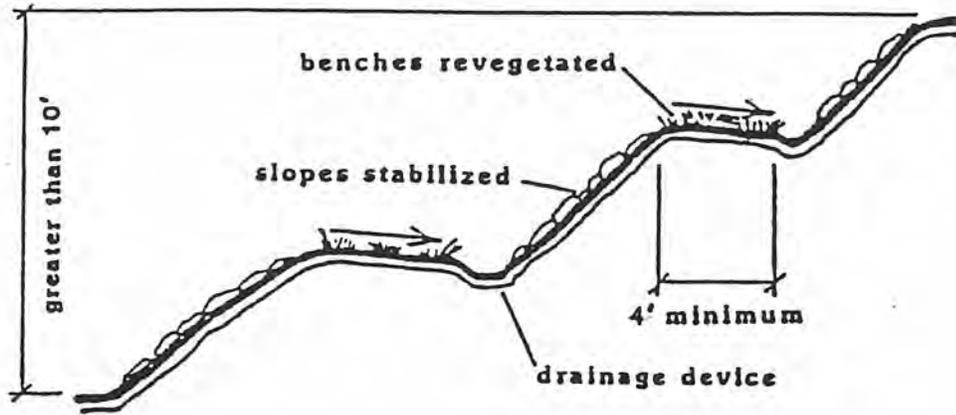
NOT TO SCALE



terracing makes it easier to control erosion, drainage and revegetation



Terracing



terrace section

EXHIBIT DD-6: GRADING AND TERRACING TECHNIQUES

Exhibit DD-7 Intentionally Deleted

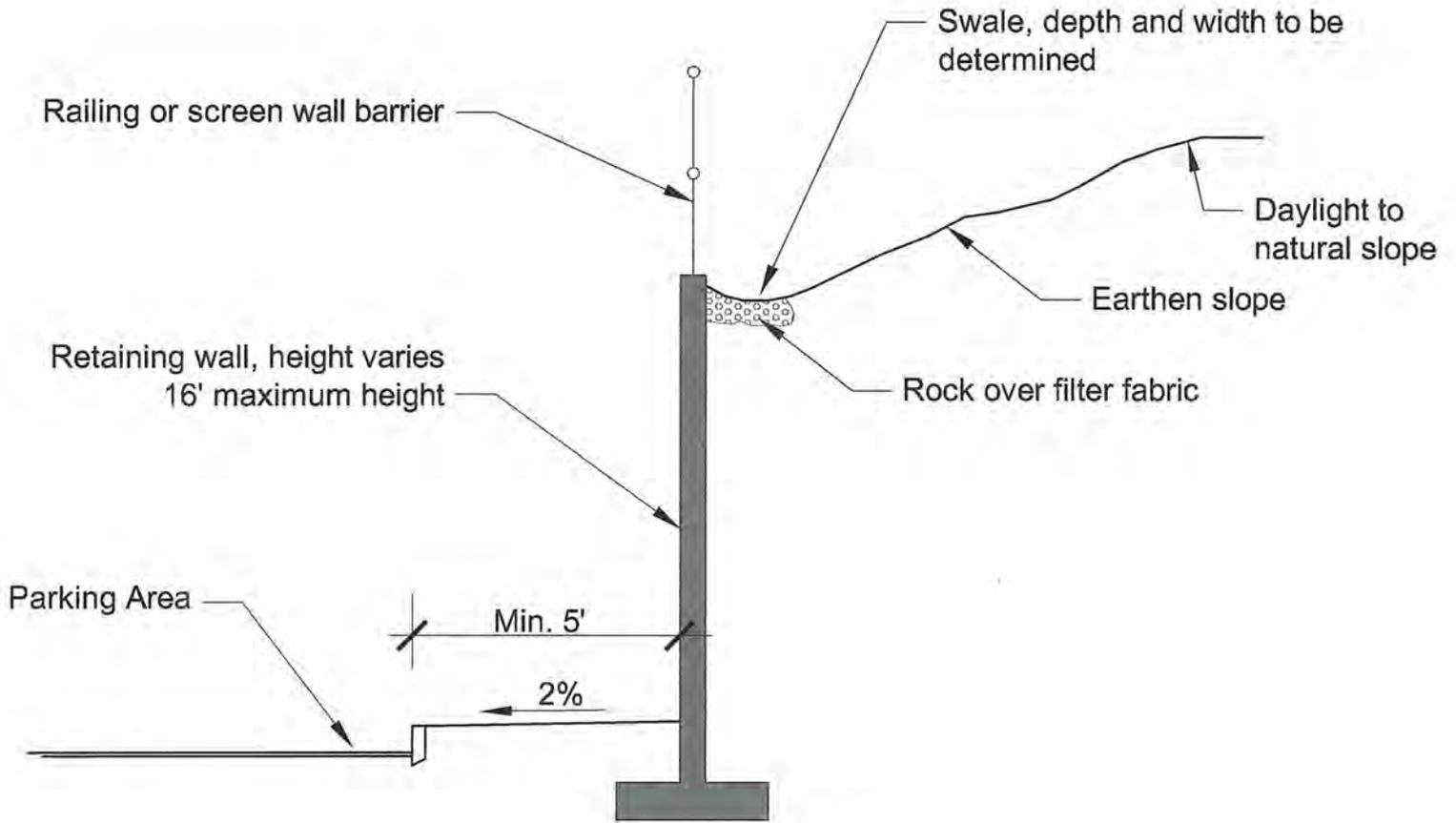


EXHIBIT DD-8: RETAINING WALL

E. PROJECT DESIGN CRITERIA

The purpose of these design guidelines is to provide an overall framework for development and to create a cohesive project at Oro Valley Town Centre. The guidelines will provide standards for architectural style, landscape standards, height, colors, exterior materials, a process for approval for all development projects and construction regulations. The Town's Design Standards, adopted March 2011, shall take precedence in situations where the PAD Land Use Proposal, the PAD Project Design Criteria, the PAD Exhibits, and/or the Illustrative Site Plans (in relation to Site Design Standards illustrated on the plans) are silent.

1. ARCHITECTURAL DESIGN CRITERIA

a. Statement of Intent:

The architectural style for Oro Valley Town Centre at Rooney Ranch is intended to contribute to and create a sense of place. The architectural flavor for this project will include specific elements that create a pleasing and attractive quality to the buildings. The character of the architecture is regional in form, derived from the regional historical styles. The intended project architectural character is illustrated by ~~the rendering~~ representative imagery of commercial, retail and office buildings, Exhibit EE-3. Building forms respond to and support the planning concepts, functional uses, environmental conditions and views toward the Catalina Mountains.

b. General Commercial Zone Design Criteria

The criteria discussed in this section apply to all architectural elements contained within the Oro Valley Town Centre Commercial Zone.

i. Design Standards

- Buildings will respond to their proposed use with a combination of massing, shapes and materials that will create an authentic, enjoyable place for shopping, working or relaxing.
- All buildings should have proportions and an overall scale that relates to the pedestrian. If the building height exceeds 18 feet, molding, trimming, and/or running relief work shall be applied to the façade between 15 and 20 feet above-grade to break up the building elevation. An over-head shade structure may be used to meet these criteria.
- Outdoor gathering spaces / common open spaces shall be provided throughout the site, similar in size scope and design to those depicted in Exhibit C-2. A minimum of 2% of the development shall consist of outdoor gathering spaces or common open spaces similar to those depicted in Exhibit C-2.
- ~~Building placement is such that it creates outdoor spaces where people may gather for activities~~
- ~~The base of buildings shall be accented by a transition in material, an applied molding, pedestal, and/or plinth.~~

- Buildings shall be placed close to the adjoining street and any breaks between buildings shall be wide enough to allow for pedestrian movement while at the same time restricting vehicular access. Where necessary, pedestrian sidewalk may be widened to allow for outdoor restaurant seating.
- Buildings are to use a multi-color palette to enhance the architectural detailing of the facades, i.e., reliefs, cornices, architraves, friezes, lintels, sills, trim, applied columns, pilasters and blind arcades.
- Finished building material must be applied to all exterior sides of buildings and structures ~~that face public streets~~. Each material will be used to express its characteristics in an appropriate manner with colors and textures compatible with the natural surroundings and other buildings and structures in the general vicinity.
- Flat roofs shall have a parapet that extends past the roofline and must hide all vent pipes and other mechanical systems protruding above the plane of the roof. Parapets must have an entablature consisting of a cornice, frieze and architrave. The cornice and architrave must be distinguishable from the frieze and the rest of the building by a change in material and/or color. Colors with a low light reflectivity value shall be used on flat roofs.
- Fenestrations should be recessed to allow a break in the building façade and provide articulation. All openings should be accented by trim, lintels, and/or sills, which should be accentuated by a different use of materials and/or color. Fenestrations should comprise the majority of the main entry elevation.
- Entryways should be recessed to break up the main building façade and should utilize archways ~~and-or~~ vaulted ceilings to provide further articulation.
- Where pedestrian access is planned, overhead shading should be provided. Acceptable shading strategies include overhead vegetation, awnings, trelliswork, arcades or a variation thereof. This will provide weather protection and further serve to articulate building facades and streetscape character.
- Roof lines will vary through elevation changes.
- Heights and massing should be varied in order to provide visual relief and to maintain views.
- Color selection is to reflect the rich and varied colors of the desert.

ii. Exterior Colors

- ~~Plans and specifications submitted to the Architectural Review Committee must include detail of the exterior color scheme including all exterior surfaces.~~ Exterior surfaces must be compatible with the other buildings in the neighborhood.
- ~~Any repainting or redecorating of exterior surfaces will also require submission of a color~~

~~scheme to the Architectural Review Committee for approval.~~

iii. Building Materials

- Finished building materials must be applied to all exterior sides of buildings and structures. Each material will be used to express its characteristics in an appropriate manner with colors and textures consistent with the architectural character of the project and expressed in Exhibits EE-1, 2 and 3 and compatible with the natural surroundings and other buildings and structures in the general vicinity.
- Permitted exterior finished materials include plastered unit masonry, adobe, slump, split or textured decorative block, and rough sawn wood. Other materials may be approved ~~by the Architectural Review Committee~~. Accent panels of wood or brick may be utilized ~~if approved by the Architectural Review Committee.~~
- ~~If C~~ construction materials, such as tilt-up concrete, smooth-faced concrete block, prefabricated steel panels, and other similar material ~~shall be avoided~~ are utilized, then, unless the exterior surface is to be covered with an architectural treatment, acceptable to the Architectural Review Committee.

iv. Roofs

- "Built-up" type roof covering materials shall not be visible from ~~view as determined by the Architectural Review Committee~~ Oracle Road.
- Generally acceptable roof covering materials shall be standing seam steel, concrete tile, or clay tile. ~~Other materials may be approved by the Architectural Review Committee.~~ Colors must conform to the overall natural desert color palette ~~and must be approved by the committee.~~
- Overhead screens, shade covers, patio roofs, and other similar structures shall be constructed of materials and color to match or complement the main roof.
- Colors and materials with a low light reflectivity value (not to exceed 50%) shall be used on flat roofs.
- The exterior visible portion of a skylight must be bronze or a similar dark color to blend in with the colors of the roof. The interior of the skylight may be white or a light color.
- All vent pipe stacks and any equipment protruding above the plane of the roof and visible from neighboring property must be painted and/or screened to match the roof ~~as approved by the Architectural Review Committee.~~

c. COMMERCIAL ZONE – SPECIFIC AREA CRITERIA

The criteria discussed in this section are specific to sub-areas with the Oro Valley Town Centre ~~and include the mini-department store area, the hotel area and the main street area~~ as shown on the map.

i. **Mini-Department Store and Hotel Area Areas 1 and 2 (Commercial)**

~~These two areas have~~ This area has been grouped together due to the relative similarity in size of the proposed buildings.

~~In addition to the general criteria outlined Section (E)(1)(b)(i) – General Commercial Zone Design Criteria, the following additional criteria apply to the Mini-Department Store and Hotel Areas:~~

- Facades and Exterior Walls - The buildings shall be designed in such a way that reduces the mass and impersonal appearance of the buildings and will provide visual interest consistent with the character, identity and scale of Oro Valley Town Centre. Long building walls shall be broken up with projections or ~~recessions~~ recessions with depths of at least three (3) percent of the façade length along all sides of the building.
- Detail Features - Provide architectural features that contribute to visual interest at the pedestrian scale and reduce the massive aesthetic effects by breaking up the building wall, front, side or rear with color, texture change, wall offsets, reveals or projecting ribs. Utilize pedestrian-scale features at ground level, such as planters and benches.
- Entryways - The building design shall provide design elements that provide users of the building orientation on accessibility and that add aesthetically pleasing character to buildings by providing clearly defined, highly visible building entrances.
- Pedestrian Connectivity – Hardscape design and pedestrian pathways are an integral component of the Commercial Area development. The movement of pedestrians throughout the development is intended to be comfortable and interesting. This will be done through the use of the following:
 - Pedestrian paths and connections that are generously landscaped with a canopy of shade trees planted in widened landscaped areas paralleling the walkway. Undergrowth, consisting of shrubs placed in alternating clusters and rows with strategically placed living ground covers, will be included where feasible.
 - Crosswalks will be enhanced by a landscape focal point that features an accent tree with shrubs and/or flowering ground cover.
 - Pedestrian inter-connectivity between all commercial areas creates an integrated feel to the overall commercial development.
- ~~For the mini-department store, OVZCR Chapter 16, Sections 16-103(4)(a-c) shall apply.~~

ii. **Mini-Department Store and Hotel Area 3 (Commercial)**

~~This~~ ese two areas ~~have~~ has been grouped together due to the relative similarity in size of the proposed buildings.

In addition to the general criteria outlined Section (E)(1)(b)(i) – General Commercial Zone Design Criteria, the following additional criteria apply to ~~the Mini-Department Store and Hotel Areas #3:~~

- Facades and Exterior Walls - The building shall be designed in such a way that reduces the mass and impersonal appearance of the building and will provide visual interest consistent with the character, identity and scale of Oro Valley Town Centre. Long building walls shall be broken up with projections or recessions with depths of at least three (3) percent of the façade length along all sides of the building.
- Detail Features - Provide architectural features that contribute to visual interest at the pedestrian scale and reduce the massive aesthetic effects by breaking up the building wall, front, side or rear with color, texture change, wall offsets, reveals or projecting ribs. Utilize pedestrian-scale features at ground level, such as planters and benches.
- Entryways - The building design shall provide design elements that provide users of the building orientation on accessibility and that add aesthetically pleasing character to buildings by providing clearly defined, highly visible building entrances.
- ~~For the mini-department store, OVZCR Chapter 16, Sections 16-103(4)(a-c) shall apply.~~

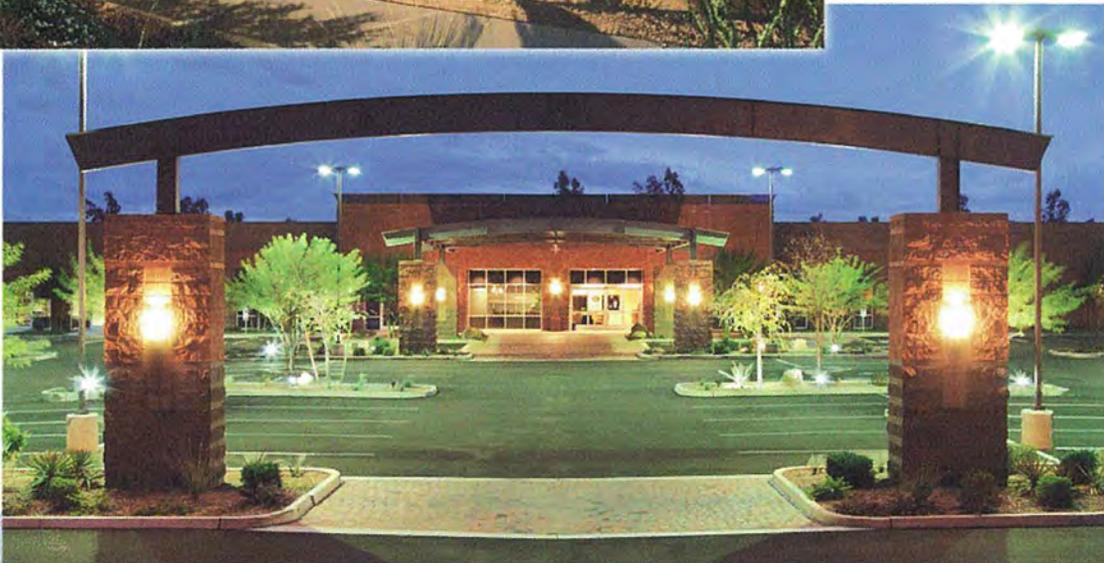
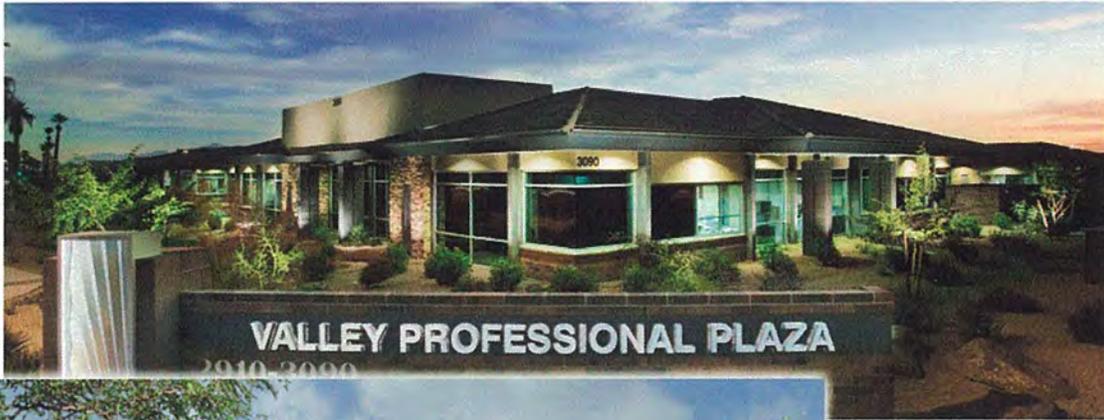
ii. Main Street Area

In addition to the general criteria outlined Section (E)(1)(b)(i) — General Commercial Zone Design Criteria, the following additional criteria are proposed to apply to the Main Street Area.

Continuity of Architectural Forms and Elements and Recognition of Experience/Sense of Place— The Statement of Intent and Overall Design Criteria (described earlier in Section E of this PAD) provide the specific architectural guidelines for this area; however, due to the presence of the main street area as a focal point within the development and due to the fact that its elements serve significantly in the creation of a sense of place and unique identity for Oro Valley Town Centre, its importance cannot be overstated. In order to convey a character synonymous with a traditional main street theme, the backbone of the development, this area depends heavily on architectural articulation, attention to scale, connectivity of architectural elements and buildings that stand close to the street for the establishment of a character synonymous with a traditional main street theme. The intent of the area is to provide the user of the space, whether they be moving through as a pedestrian or traveling through in a vehicle, with an experience founded upon the design principles of New Urbanism. As such, it is particularly important that the buildings in the main street employ as many of the design criteria outlined in this section as possible.

As a means of further guiding the development and creation of the main street experience, photographs, character vignettes and an architectural rendering have been included in this PAD as Exhibits EE 1, 2 and 3. These exhibits depict many key architectural elements, including the following:

- Arcades and other shading strategies to serve pedestrians (both on street level and second stories), such as awnings above window headers on the first floor, or canopies along with landscaping to provide shade
- Variety of roof types and lines
- Fenestrations and accent trim to provide building articulation
- Placement of buildings close to the adjoining street
- Variety of colors respectful of tones native to the desert environment





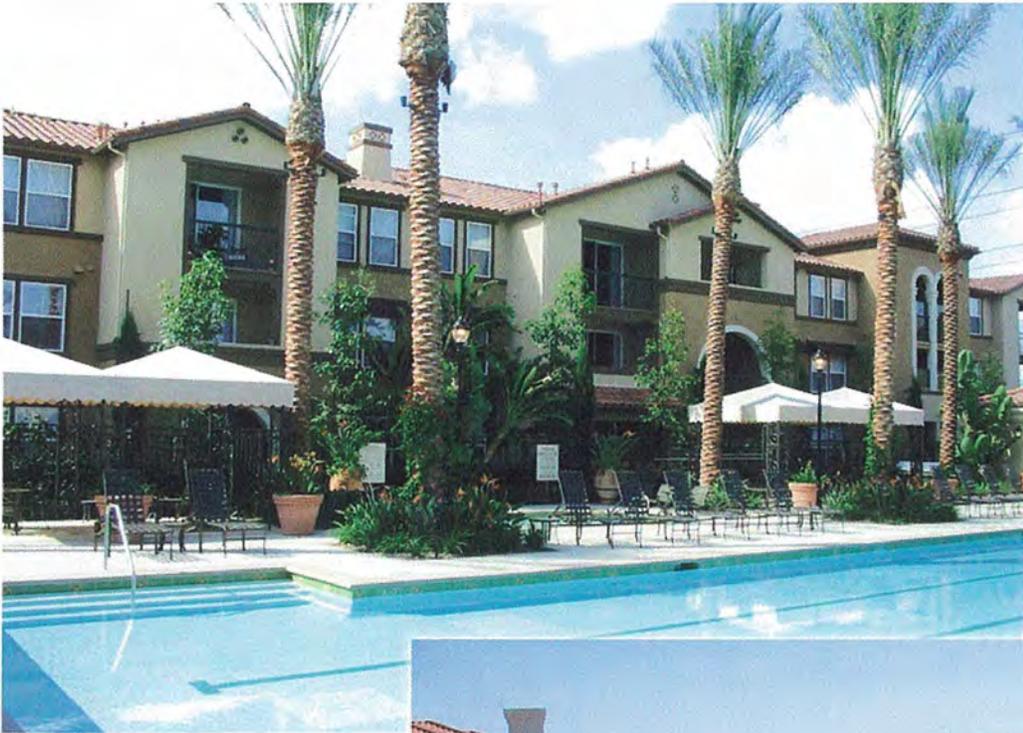














EACH BUILDING SHOULD HAVE DIFFERING THEMES AND STYLES

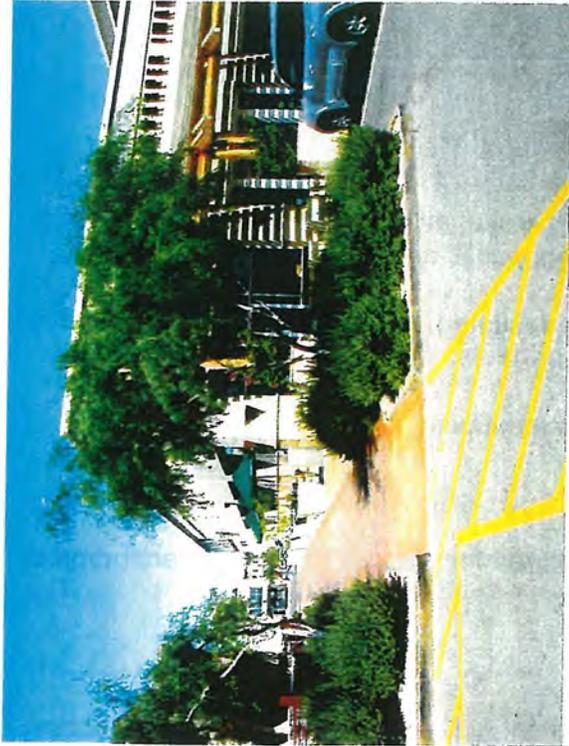


EACH BUILDING SHOULD HAVE DIFFERING HEIGHTS, COLORS AND FINISHES



EACH BUILDING SHOULD HAVE CANOPIES TO SHADE PEDESTRIANS

EXHIBIT EE-2 ARCHITECTURAL THEME AND DESIGN ELEMENTS



ALL PEDESTRIAN ZONES WILL HAVE A COMBINATION OF PLANTERS AND VEGETATION



SPECIALITY PLANTING WILL BE USED AT ALL PEDESTRIAN NODES



BENCHES, POTS, VEGETATION AND ENRICHED PAVING WILL BE USED AT PEDESTRIAN NODES

EXHIBIT EE-3 ARCHITECTURAL THEME AND DESIGN ELEMENTS

d. Residential Zone Design (Area 4)

i. Criteria

- Residential structures and community features shall be coordinated in architectural materials, details and quality. Community features include bus stops, recreational facilities and pedestrian access features.
- Colors used on any buildings in the residential area shall not exceed 50% reflectivity value.
- Building mass is probably the most prominent design feature of a project. The design of residential units should avoid long, unbroken building facades without the use of offsets as an integral part of the facade design.
- Units will be designed to have a low level profile and integrate into the natural terrain of the site to minimize views from Oracle Road. Residential units highly visible from Oracle Road shall not exceed 18 feet in height.
- ~~Garage design shall comply with Section 16-1 of the OVZCR.~~
- Chimneys shall be compatible in materials to the accompanying structure.

ii. Roofs

- Roofs shall be colored to blend with surrounding geology.
- A range of roof forms and roof pitch adds an appealing visual context to the community/streetscape.

e. Public Areas

i. Roadway Entries

- In the area where Pusch View Lane enters the site, an entry statement and sense of arrival should be created through landscaping, public art, and/or monumentation.
- The entry to the residential area must be designed to have a sense of arrival by incorporating monumentation, landscaping, or gates.
- Decorative paving shall be used at major intersections.

ii. Motor and Pedestrian Bridges

- DRB shall review pedestrian and motor bridges for consistency with overall project design at such time that the above bridges are required to be constructed in association with that phase of development.

iii. Pedestrian System

- The pedestrian system within the project shall include amenities such as benches, shade structures, and water fountains to encourage pedestrian use. Landscaping will also be an integral part of the pedestrian system to offer shade and to define the trail.
- Pedestrian crossings of roads shall adhere to the standards as established by the Manual on Uniform Traffic Control Devices (MUTCD).

f. Procedures

~~i. All buildings, roof types, designs, covering color and material, exterior building materials, exterior colors (color chips to be submitted) and other improvements erected within Oro Valley Town Centre must be approved by the Architectural Town of Oro Valley during the review process. Review Committee prior to submittal to Town of Oro Valley or the commencement of construction.~~

~~ii. Preliminary architectural designs for all buildings and structures must be reviewed and tentatively approved by the Architectural Review Committee prior to the preparation of final plans to be submitted to the Town.~~

~~iii. The Architectural Review Committee encourages building designs and the use of materials consistent with the architectural character of the project and expressed in Exhibits EE-1, 2 and 3. Architectural design should also be sensitive to and compatible with the natural desert environment.~~

~~iv. Developer shall control the Architectural Review Committee.~~

2. LANDSCAPE DESIGN CRITERIA

Landscape Design Guidelines shall be per Section 27.6 of the Oro Valley Zoning Code (including native plant salvage, landscaping, water harvesting, and irrigation standards) unless specifically conflicted elsewhere in the PAD, in which case the PAD shall supersede the Oro Valley Zoning Code.

a. Statement of Intent:

~~The landscape architecture of the project, and specifically the types and placement of plants, is a critical element in the creation of a sense of place. Through the use of different effects and strategies to create several themes throughout the project, plants will serve to provide this project with a unique sense of identity. For instance, the buffer yards around the perimeter of the site will, in large part, adhere to the plant list found in the newly proposed landscape section of the OVZCR. It is, however, in the interior portions of the project that a different palette is proposed for this project. The proposed plant palette contains species of plants, some of which are not indigenous to the Southwest or the Sonoran Desert; they are, however, recommended by the following books widely used by Landscape Architects in dry climates:~~

~~—————“Plants for Dry Climates,” by Warren Jones and Mary Rose Duffield~~

~~—————“Native Plants for Southern Landscapes,” by Judy Mielke~~

~~—————“Low Water Use Plants,” by Carol Shuler~~

In order to create a hierarchy of vehicular passages within the project, a particular tree species will be chosen to represent different areas of the project. For instance, the "main street" area entry will have its own tree species which lines the vehicular passage and serves to further differentiate the area from other portions of the site. Also, designed within the project are several courtyards or plazas intended to attract pedestrians for sitting, gathering, or for passing through to other areas of the project (see Exhibits EE-5 and 6). These areas will be enhanced through the use of shade trees, lush appearing shrubs and richly colored groundcovers. Turf will also be used in these areas. In essence, the plants will contribute to the creation of microclimates, which are especially desirable in heat of summer.

Project entries will also be enhanced through the use of vegetation. Each entry to the project will have a unique blend of plants and will have its own unique species of tree. See character sketch of entry monumentation and landscaping in Exhibit EE-4.

The landscaping of this project is not only functional, but is also a crucial element in the creation of a sense of place. It will be used to announce arrival at the site, will serve to help move people through the spaces and to serve to slow them down and cause them to sit and linger. It will be compatible with and enhance the architecture of the project, helping to provide definition of scale.

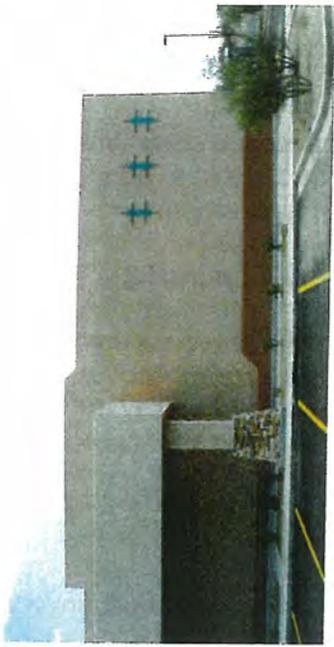
b. Guidelines:

- ~~i. Site Resource Inventory and Native Plant Preservation, Salvage and Mitigation Plans shall be prepared and submitted to the Town of Oro Valley in accordance with the standards set forth in Chapter 14 of the Oro Valley Zoning Code.~~
- ~~ii. All plant material is to be irrigated with an automatic underground drip irrigation system.~~
- ~~iii. Plant materials listed in Chapter 10 of the Oro Valley Zoning Code revised "Oracle Road District Regulations" (p. 10-36) are required in the subject district and area acceptable elsewhere as "native vegetation" except that palms may be permitted by the owner under approved conditions such as in a heavily maintained and irrigated courtyard as a feature. Allowable palms include: Mexican Fan Palm, Windmill Palm, Date Palm, Canary Island Date Palm, Mediterranean Fan Palm, Pindo Palm, Mexican Blue Palm and the Sage Palm.~~
- ~~iv. Turf may be used in courtyard, patio, oasis, pedestrian and specialty areas. Overall, the turf shall not exceed 15 percent of the total landscape area.~~
- ~~iiiv. Each parcel or lot within the overall site shall be landscaped similarly. Fifty percent of the proposed plant materials shall match adjacent landscape areas within the project.~~
- ~~iyvi. All buffer yard walls shall be a maximum of 35 inches in height except along La Reserve Drive where the wall shall be a minimum of 6 feet in height.~~
- ~~vii. The buffer yard walls shall be all the same color and material as selected by the Master Developer. The walls adjacent to and facing La Reserve Drive will conform to colors designated by the La Reserve Home Owner's Association architectural guidelines and covenants, thereby creating uniformity with the existing walls within La Reserve.~~

- ~~viii. Certain plants are specifically prohibited as they may be a fire hazard, an ecological nuisance, an aesthetic detriment, or produce noxious seed and pollen conditions. They are:
 - Conifers such as pines, cedars, cypress, or juniper (not indigenous in appearance).
 - Noxious pollen producers such as olive trees, except "Swan Hill" olives, mulberry, all varieties of citrus, and common Bermuda grass.
 - Non-native grasses which may take over a landscape or serve as fuel for fires.~~
- ~~viiix. General—It is the intent of the owner to further regulate landscape colors, materials, and placement so as to achieve a very native and consistent environment throughout the PAD area and the landscaping and color scheme present on La Reserve Drive.~~
- ~~viiix. All planting islands in the parking lot are to be a minimum of 5 feet wide.~~
- ~~ixxi. All roads in the development (See Exhibit AA-2 for example of cross-section of road) are to be landscaped on both sides of the road with trees, shrubs and groundcover. The main entry roads are to be landscaped in such a manner as to achieve a "tree-lined boulevard" effect. As such, tree spacing should be twenty-five feet on center. Landscaping shall not encroach into the clear zones on Pusch View Lane.~~
- ~~xii. Strive to preserve washes in their natural condition.~~
- ~~xiii. Provide landscaping to complement site architecture, highlight the built environment, define pedestrian circulation and announce building entrances.~~
- ~~xivii. Provide distinctive landscaping and hardscape at strategic key intersections and other focal points.~~
- ~~xviii. Place plant materials to maximize shade for pedestrians and to provide shade for buildings to promote energy efficiency. Shade trees or arcades or shade structures shall be provided at building entrances and along pedestrian ways throughout the project.~~
- ~~xixvi. Utilize plant materials to screen undesirable views and parking/loading areas.~~
- ~~xxvii. Water harvesting will be incorporated for pads and paved surfaces where possible above ground.~~
- ~~xxviii. Approved landscaping pursuant to landscape plan for each phase of development is to be installed and maintained prior to the issuance of a final certificate of occupancy, subject to the following:
 - A minimum 30-foot landscape buffer is required along Oracle Road.
 - All areas, other than those covered by buildings or paving for required parking, shall be landscaped or maintained as natural.
 - Landscaping islands in accordance with the Town's off-street parking ordinance shall~~

be provided in all parking areas.

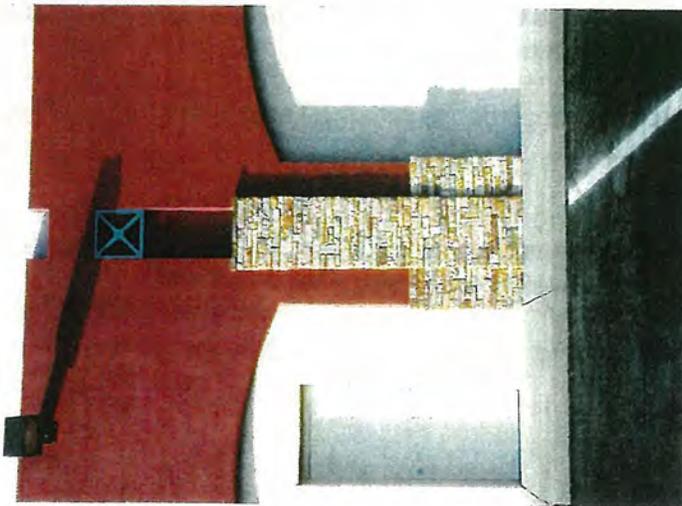
- Existing vegetation along Oracle Road shall be preserved to the greatest extent possible. A complete salvage plan per OVZCR Section 14-1 shall be prepared and submitted with each development plan or tentative plat.



SHADE STRUCTURES SHALL BE PROVIDED TO CREATE A PLEASANT WALKING ENVIRONMENT FOR THE PEDESTRIAN.



CORNER TOWERS CAN BE USED TO VARY THE ROOF LINE OF LARGE BUILDINGS.



BUILDING ELEVATIONS CAN BE BROKEN UP BY THE USE OF COLUMNS, BLIND ARCADES, AND ARCHITECTURAL DETAILING.



ARTICULATED THROUGH THE USE OF DIFFERENT COLORS, TEXTURES, AND MATERIALS.

EXHIBIT EE-4 ARCHITECTURAL THEME AND DESIGN ELEMENTS

Exhibit EE-6 Intentionally Deleted

Exhibit EE-7 Intentionally Deleted

Exhibit EE-8 Intentionally Deleted

Exhibit EE-9 Intentionally Deleted

EXHIBIT EE-10

ORO VALLEY TOWN CENTRE RECOMMENDED PLANT LIST

Per Addendum C of the Oro Valley Zoning Code

TREES:

Acacia abyssinica (Height: 15'-25')
Abyssinian Acacia

Acacia farnesiana (15'-25')
Sweet Acacia

Acacia smallii (15'-25')
Sweet Acacia

Acacia stenphylla (20'-30')
Shoestring Acacia

Acacia salicina (20'-30')
Willow Acacia

Acacia willardiana (15'-20')
Palo Blanco

**Albizia julibrissin* (15'-20')
Silk Tree

Brachychiton populneus (30'-35')
Bottle Tree

Cercidium floridum (25'-30')
Blue Palo Verde

**Cercidium "Hybrid"* (20'-25')
Desert Museum

Cercidium microphyllum (10'-15')
Little Leaf Palo Verde

Cercidium praecox (15'-20')
Palo Brea

Cercis canadensis mexicana (10'-15')
Mexican Redbud

Chilopsis linearis (20'-25')

Desert Willow

**Fraxinus greggii* (10'-12')
Little Leaf Ash

**Fraxinus velutina* (25'-30')
Arizona Ash

**Geijera parviflora* (15'-20')
Australian Willow

**Jacaranda mimosifolia* (30'-35')
Jacaranda

Lysiloma candida (10'-15')
Palo Blanco

Lysiloma thomberi (15'-20')
Fern of the Desert

Olea europaea "Swan Hill" (15'-25')
Swan Hill Olive

Olneya tesota (20'-30')
Ironwood

Pistacia chinensis (20'-30')
Chinese Pistache

Pithecellobium flexicaule (15'-20')
Texas Ebony

Pithecellobium mexicanum (20'-25')
Mexican Ebony

Pithecellobium pallens (20'-25')
Apes Earring

**Platanus wrightii* (30'-40')
Arizona Sycamore

Prosopis alba "Thornless" (20'-30')
White Mesquite

~~Prosopis chilensis (20'-30')~~
~~Prosopis glandulosa (25'-35')~~
Honey Mesquite
~~Prosopis pubescens (10'-15')~~
Fremont Screwbean

~~Prosopis velutina (20'-25')~~
Velvet Mesquite

~~*Prunus cerasifera "Atropurpurea" (10'-15')~~
Purple-Leaf Plum

~~*Quercus buckleyi "Red Rock" (25'-30')~~
Red Rock Oak

~~Quercus ilex (25'-30')~~
Holly Oak

~~*Quercus polymorpha (25'-30')~~
Monterrey Oak

~~Quercus suber (25'-30')~~
Cork Oak

~~Quercus virginiana "Heritage" (25'-30')~~
Heritage Oak

~~Rhus lancea (20'-25')~~
African Sumac

~~Sophora secundiflora (10'-15')~~
Texas Mountain Laurel

PALMS:

~~Washingtonia robusta~~
Mexican Fan Palm

~~Trachycarpus fortunei~~
Windmill Palm

~~Phoenix dactylifera~~
Date Palm

~~Phoenix canariensis~~

~~Chilean Mesquite~~

~~Canary Island Date Palm~~

~~Chamaerops humilis~~
Mediterranean Fan Palm

~~Butia capitata~~
Pindo Palm

~~Brahea armata~~
Mexican Blue Palm
~~Cycas revoluta~~
Sage Palm

SHRUBS AND ACCENTS:

~~Acacia berlandieri~~
Guahillo

~~Acacia constricta~~
Whitethorn Acacia

~~Acacia greggii~~
Gatsclaw Acacia

~~*Acacia schottii~~
Schott Acacia

~~*Agave chrysantha~~
Golden Flowered Agave

~~Agave colorata~~
Mescal Ceniza

~~*Agave deserti~~
Desert Agave

~~*Agave geminiflora~~
Twin-flowered Agave

~~*Agave havardiana~~
Harvard Agave

~~*Agave lechuguilla~~
Lechuguilla

**Agave murpheyi*
Murphy Agave

**Agave neomexicana*
New Mexico Agave

Agave ocahui
Ocahui Agave

Agave palmeri
Palmer's Agave

**Agave parrasana*
NGN

**Agave parryi*
Artichoke Agave

**Agave schidigera* "Durango Delight"
Durango Delight Agave

**Agave toumeyana*
Toumey's Agave

**Agave utahensis*
Utah Agave

Agave vilmoriana
Octopus Agave

Agave vitorriae-reginae
Queen Victoria's Agave

**Aloe dawei*
Dawe's Aloe

Aloe ferax
Cape Aloe

**Aloe striata*
Coral Aloe

**Aloe vera*
Medicinal Aloe

Ambrosia ambrosioides
Giant Bursage

Ambrosia deltoidea
Bursage

Anisacanthus thurberi

Desert Honeysuckle

**Aristida purpurea*
Purple Threeawn

Asclepias subulata
Desert Milkweed

**Asparagus densiflorus* "Myers"
Myers Asparagus

Atriplex canescens
Fourwing Saltbush

Atriplex lentiflormis
Quail Brush

**Bacharris* "Centennial"
Centennial Coyote Bush

**Bacharris pilularis*
Dwarf Coyote Bush

Baileya multiradiata
Desert Marigold

Bougainvillea spp.
Bougainvillea

**Bulbine frutescens*
Bulbine

Caesalipinia gilliesii
Yellow Bird-of-Paradise

Caesalipinia mexicana
Mexican Bird-of-Paradise

Caesalipinia pulcherrima
Red Bird-of-Paradise

Calliandra californica
Baja Fairy Duster

Calliandra eriophylla
Fairy Duster

Calylophus hartwegii
Calylophus

Carnegiea gigantea
Saguaro

Cassia-wislizeni
Shrubby-Cassia

Celtis-pallida
Desert Hackberry

Celtis-reticulata
Netleaf Hackberry

**Chrysactinia-mexicana*
Damianita

**Condalia-globosa*
Bitter Condalia

Gordia-parvifolia
Little-Leaf Cordia

**Cycas-revoluta*
Sago Palm
Dalea-bicolor
Indigo Bush

**Dalea-capitata*
Golden Dalea

Dalea-frutescens
Black Dalea

Dalea-greggii
Trailing Indigo Bush

Dalea-pulchra
Bush Dalea

Dalea-versicolor
Wislizenus Dalea

Dasyliirion-acrotriche
Green Desert Spoon

**Dasyliirion-longissima*
Toothless Spoon

Dasyliirion-wheeleri
Desert Spoon

Dodonaea-viscosa
Hopbush

Dyssodia-acerosa
Dyssodia

Echinocactus-grusonii
Golden Barrel Cactus

Echinocereus-engelmannii
Hedgehog

Encelia-californica
Brown-Eyed Susan

Encelia-farinosa
Brittle Bush

Ephedra-spp.
Mormon Tea

**Eremophila-species* "Valentine"
Valentine Shrub

**Ericameria-laricifolia*
Turpentine Bush

**Eriogonum-fasciculatum*
California Buckwheat

**Eschscholzia-californica*
California Poppy

**Eschscholzia-mexicana*
Mexican Poppy

Euphorbia-rigida
Gopher Plant

Feijoa-sellowiana
Pineapple Guava

Ferrocactus-wislizenii
Barrel Cactus

Fouquieria-splendens
Ocotillo

**Gaura-lindheimeri*
Gaura

Hesperaloe-funifera
Coahuilian Hesperaloe

Hesperaloe-parviflora
Red Yucca

**Hymenoxys-acaulis*

Angelita Daisy

Hyptis emeryi
Desert Lavender

Jatropha cardiophylla
Limberbush

Leucophyllum laevigatum
Chihuahuan Rain Sage

Justicia californica
Chuparosa

Justicia spicigera
Mexican Honeysuckle

Lantana spp.
Lantana

Larrea tridentata
Creosote Bush
Leucophyllum frutescens spp.
Texas Ranger

Leucophyllum laevigatum
Chihuahuan Rain Sage

**Lotus rigidus*
Deer Vetch

**Lycium pallidum*
Squawberry

Macfadyena unguis-cati
Cat's Claw Vine

Melampodium leucanthum
Blackfoot Daisy

Mimosa biuncifera
Catclaw Mimosa

Mimosa dysocarpa
Velvetped Mimosa

**Muhlenbergia capillaris* "Regal Mist"
Regal Mist

**Muhlenbergia lindheimeri* "Autumn Glow"
Autumn Glow

Myoporum parvifolium
Trailing Myoporum

Myrtus communis "Compacta"
Compact Myrtle

Nolina microcarpa
Bear Grass

Oenothera berlandieri
Mexican Evening Primrose

Oenothera stubei
Chihuahuan Primrose

Opuntia basilaris
Beaver Tail Cactus

Opuntia microdasys
Bunny Ears

Opuntia violaceae santa rita
Santa Rita Prickly Pear
Opuntia spp.
Cholla and Prickly Pear

Penstemon eatonii
Firecracker Penstemon

**Penstemon palmeri*
Palmer's Penstemon

Penstemon parryi
Parry's Penstemon

Penstemon pseudospectabilis
Canyon Penstemon

Penstemon superbus
Suberb Penstemon

**Plumbago auriculata*
Blue Cape Plumbago

**Plumbago scandens*
White Plumbago

Prunus caroliniana
Carolina Laurel Cherry

Psilostrophe cooperi
Paperflower

Punica granatum Pomegranate	Verbena gooddingii Goodding Verbena
Rhus ovata Sugarbush	Verbena peruviana Peruvian Verbena
Rosmarinus spp. Rosemary	*Verbena rigida Sandpaper Verbena
Ruellia californica Sonoran Desert Ruellia	Viguiera deltoidea Goldeneye
Ruellia peninsularis Baja Ruellia	Yucca baccata Banana Yucca
Salvia greggii Autumn Salvia	Yucca brevifolia Joshua Tree
Salvia clevelandii Chaparral Sage	Yucca elata Soaptree Yucca
Salvia leucantha Mexican Bush Sage *Salvia microphylla Red Bush Sage	*Yucca faxoniana Spanish Bayonet
Santolina chamaecyparissus Lavender Cotton	Yucca rigida Blue Yucca
Santolina virens Lavender Cotton	Yucca whipplei Our Lord's Candle
Simmondsia chinensis Jojoba	Zauschneria californica Hummingbird Trumpet Bush
*Spaeralcea ambigua Globemallow	Zinnia acerosa Desert Zinnia
*Stachys coccinea Texas Betony	Zizyphus obtrusifolia Grey Thorn
*Trixis californica Trixis	*Zexmenia hispida "Devil's River"
Vauquelinia californica Arizona Rosewood	*Denotes plant species that is not on the Oro Valley Approved Plant List.

F. SIGNS

1. Signs shall comply with the Oro Valley Zoning Code Revised. A comprehensive sign plan shall be developed for Oro Valley Town Centre and will comply with ~~Section 12-104~~Chapter 28 of the OVZCR. The comprehensive sign plan will be submitted prior to obtaining any sign permits for the property.

G. NOISE ABATEMENT

1. Noise abatement shall be addressed as outlined on the Oro Valley Zoning Code Revised with the following additional restrictions:
 - ~~a. There shall be no delivery or loading operations for commercial uses between 10:00 p.m. and 7:00 a.m.~~
 - a. There shall be no delivery or loading operations for commercial uses between 10:00 p.m. and 6:00 a.m.
 - b. No trash shall be removed for the commercial uses between 10:00 p.m. and 7:00 a.m.
 - c. Delivery trucks shall not be parked in close proximity to or within designated delivery or loading areas during non-delivery hours with motors and/or refrigeration/generators running, unless the area where trucks are parked is set back at least 300 feet from residential property. The setback does not apply if the main building is located between the truck parking and residential use or residentially zoned property to act as the screen.
 - d. Delivery trucks shall not be left idling between the hours of 6:00 p.m. and 7:00 a.m.
 - e. Any outdoor, amplified concerts or activities shall cease no later than 11:00 p.m.

H. LIGHTING

1. Lighting shall be in conformance with ~~the proposed Chapter 17~~[Section 27.5](#) Outdoor Lighting ~~section~~ of the Oro Valley Zoning Code Revised.

APPENDICES

APPENDIX 'A'



**LEGAL DESCRIPTION
ROONEY RANCH PARCEL H**

That portion of Section 7, Township 12 South, Range 14 East, Gila and Salt River Meridian, Pima County, Arizona, described as follows:

COMMENCING at the South Quarter (S 1/4) corner of said Section 7;

THENCE N 00°20'33" W, along the North-South midsection line, a distance of 979.48 feet to the **POINT OF BEGINNING**;

THENCE continue N 00°20'33" W, along said line, a distance of 1,558.44 feet to a point on the arc of a non-tangent curve concave to the Southeast, a radial line of said curve through said point having a bearing of N 43°24'23" W, said point being on the Southeasterly right-of-way line of State Route 77 (Oracle Road);

THENCE Southwesterly along said right-of-way line, along the arc of said curve, to the left, having a radius of 16,270.22 feet and a central angle of 05°08'59" for an arc distance of 1,462.38 feet to a point of tangency;

THENCE S 41°26'38" W, along said right-of-way line, a distance of 1,380.19 feet to a point of cusp of a non-tangent curve concave to the Southeast, a radial line of said curve through said point having a bearing of N 48°33'22" W, said point being on the North right-of-way line of the Rooney Channel, recorded in Docket 7415 at Page 158, Pima County Recorder's Office, Pima County, Arizona,

THENCE Northeasterly along said right-of-way line, along the arc of said curve, to the right, having a radius of 1,014.93 feet and a central angle of 27°30'00" for an arc distance of 487.13 feet to a non-tangent line;

THENCE N 63°44'26" E, along said right-of-way line, a distance of 202.15 feet;

THENCE N 68°55'55" E, along said right-of-way line, a distance of 564.00 feet to a point of curvature of a tangent curve concave to the South;

THENCE Easterly along said right-of-way line, along the arc of said curve, to the right, having a radius of 1,034.93 feet and a central angle of 47°38'20" for an arc distance of 860.50 feet to the **POINT OF BEGINNING**.

Containing 27.80 acres, more or less.

Prepared By:
THE WLB GROUP, INC.

Jack A. Buchanan, RLS
JAB:cjl



EXPIRES 3/31/2011
(INDICATES RENEWAL DATE)

**ROONEY RANCH
PARCELS H AND J**
SECTIONS 7 T. 12 S., R. 14 E., G.S.R.M.,
PIMA COUNTY, ARIZONA



EXPIRES 3/31/2011
(INDICATES RENEWAL DATE)

ORACLE ROAD

PARCEL-H

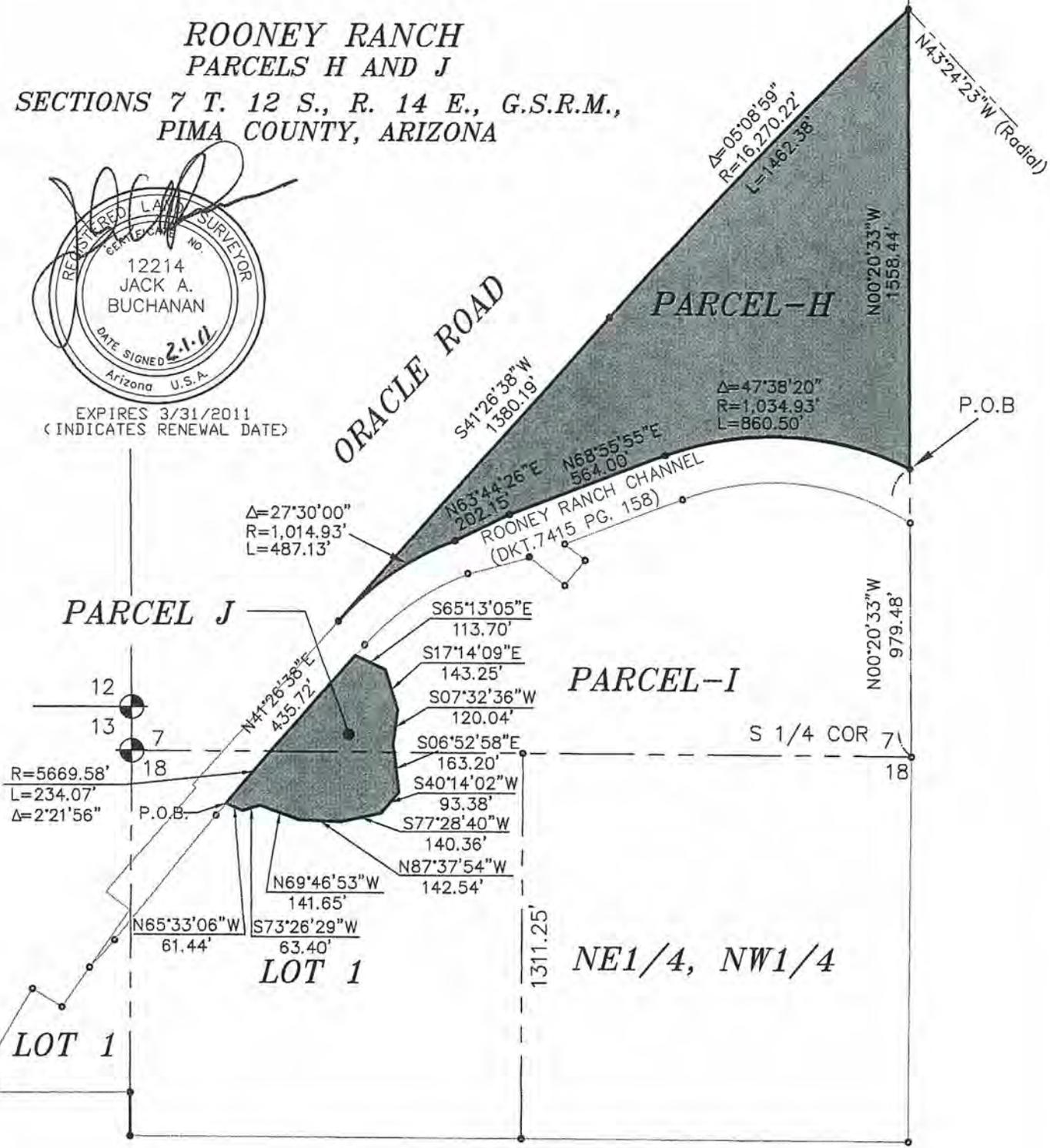
PARCEL J

PARCEL-I

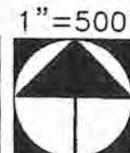
LOT 1

LOT 1

NE1/4, NW1/4



EL CONQUISTADOR RESORT
PATIO HOMES
BOOK 36 M&P PAGE 44





**LEGAL DESCRIPTION
ROONEY RANCH PARCEL I
(PARCEL RETAINED BY CANADA DEL ORO PARTNERS)**

Those portions of Sections 7 and 18, Township 12 South, Range 14 East, and that portion of Section 13, Township 12 South, Range 13 East, Gila and Salt River Meridian, Pima County, Arizona, described as follows:

COMMENCING at the Southwest corner of Lot 1 of said Section 18, said point being the **TRUE POINT OF BEGINNING**;

THENCE N 00°0'51" W, along the west line of said Lot 1 a distance of 148.47 feet to the southeast corner of Lot 1 of said Section 13;

THENCE S 89°48'34" W along the south line of said Lot 1 a distance of 468.43 feet to a point on the east right-of-way line of Oracle Road (State Highway 77);

THENCE N 23°08'24" E along said right-of-way line 17.45 feet;

THENCE N 65°39'07" W along said right-of-way line 50.31 feet to a point of curvature of a non-tangent curve concave to the southeast, a radial line through said point bears N 63°51'30" W;

THENCE northeasterly along the arc of said curve to the right, having a radius of 3719.72 feet, a central angle of 5°34'41", for an arc length of 362.13 feet;

THENCE S 58°25'16" E, 117.80 feet;

THENCE N 34°42'55" E, 164.39 feet to a point on the southerly right-of-way line of the Rooney Channel recorded in Docket 7415, Page 158, being a point of curvature of a non-tangent curve concave to the northwest, a radial line through said point bears S 44°21'30" E;

THENCE northeasterly along said right-of-way line and the arc of said curve to the left, having a radius of 1014.93 feet, a central angle of 7°03'51", for an arc length of 125.13 feet;

THENCE N 38°37'32" E, a distance of 544.19 feet to a point of curvature of a non-tangent curve concave to the southeast, a radial line through said point bears N 51°27'13" W;

THENCE northeasterly along said right-of-way line and the arc of said curve to the right, having a radius of 5669.58 feet, a central angle of 0°31'55", for an arc distance of 52.65 feet to a point of a non-tangent line;



THENCE S 65°33'06" E, a distance of 61.44 feet;

THENCE N 73°26'29" E, a distance of 63.40 feet;

THENCE S 69°46'53" E, a distance of 141.65 feet;

THENCE S 87°37'54" E, a distance of 142.54 feet;

THENCE N 77°28'40" E, a distance of 140.36 feet;

THENCE N 40°14'02" E, a distance of 93.38 feet;

THENCE N 06°52'58" W, a distance of 163.20 feet;

THENCE N 07°32'36" E, a distance of 120.04 feet;

THENCE N 17°14'09" W, a distance of 143.25 feet;

THENCE N 65°13'05" W, a distance of 113.70 feet to a point on the south right-of-way line of said Rooney Channel;

THENCE N 41°26'38" E, a distance of 48.10 feet to a point of curvature of a non-tangent curve concave to the southeast, a radial line through said point bears N 48°33'32" W;

THENCE northeasterly along said curve to the right, having a radius of 894.93 feet, through a central angle of 27°30'15", for an arc length of 429.60 feet to a non-tangent line;

THENCE N 74°37'28" E, a distance of 201.66 feet;

THENCE N 68°55'05" E, a distance of 11.18 feet;

THENCE S 51°04'05" E, a distance of 151.75 feet;

THENCE N 38°55'55" E, a distance of 110.00 feet;

THENCE N 51°04'05" W, a distance of 88.24 feet;

THENCE N 68°55'55" E, a distance of 425.49 feet to a point of curvature of a tangent curve, said point being on the south right-of-way line of said Rooney Channel;



THENCE easterly along the arc of said curve to the right, having a radius of 874.93 feet, through a central angle of 53°05'52", for an arc length of 810.83 feet to a point on the north-south mid-section line of said Section 7;

THENCE S 00°20'33" E, along said mid-section line a distance of 795.60 feet to the southeast corner of the Southwest Quarter (SW ¼) said Section 7: Said point being the northeast corner of the Northwest Quarter (NW ¼) of said Section 18;

THENCE S 00°23'10" W, along the east line of said Northwest Quarter (NW ¼) a distance of 1310.80 feet to the southeast corner of the Northeast Quarter of said Northwest Quarter (NE ¼, NW ¼);

THENCE N 89°47'48" W along south line of said Northeast Quarter of said Northwest Quarter (NE ¼, NW ¼) and the south line of said Lot 1 of said section, a distance of 2635.35 feet to the **POINT OF BEGINNING**.

Containing 108.88 acres, more or less.

Prepared By:
THE WLB GROUP, INC.

Jack A. Buchanan, RLS
JAB:cll



EXPIRES 3/31/2011
(INDICATES RENEWAL DATE)

ROONEY RANCH PARCEL I

(PROPERTY RETAINED BY CDO PARTNERS)

A PORTION OF SECTIONS 7 & 18 T. 12 S., R. 14 E., G.S.R.M.,

A PORTION OF SECTION 13 T. 12 S., R. 13 E., G.S.R.M.,

PIMA COUNTY, ARIZONA



EXPIRES 3/31/2011
(INDICATES RENEWAL DATE)

ORACLE ROAD
STATE HIGHWAY 77

ROONEY RANCH CHANNEL
(DKT. 7415 PG. 158)

PARCEL-I

S 1/4 COR 7

LOT 1

NE1/4, NW1/4

LOT 1

N00°20'33"W
795.60'

N00°23'10"W
1310.80'

1311.25'

N89°47'48"W

2635.35'

P.O.B

EL CONQUISTADOR RESORT
PATIO HOMES
BOOK 36 M&P PAGE 44



1" = 500'





**LEGAL DESCRIPTION
ROONEY RANCH PARCEL J**

That portion of the Southwest quarter (SW ¼) of Section 7, Township 12 South, Range 14 East, lying south of the south right-of-way line of the Rooney Channel, recorded in Docket 7415 at Page 158, Pima County Recorder's Office, and that portion of Lot 1 of Section 18, Township 12 South, Range 14 East, Gila and Salt River Meridian, Pima County, Arizona, described as follows:

Commencing at the southwest corner of Lot 1 of said Section 18;

THENCE N 00°00'51" W, along the west line of said Lot 1 a distance of 148.47 feet to the southeast corner of Lot 1 of said Section 13;

THENCE S 89°48'34" W, along the south line of said Lot 1, a distance of 468.43 feet to a point on the east right-of-way line of said Oracle Road (State Highway 77);

THENCE N 23°08'24" E, along said right-of-way line 17.45 feet;

THENCE N 65°39'07" W, along said right-of-way line 50.31 feet to a point of curvature of a non-tangent curve concave to the southeast, a radial line through said point bears N 63°51'30" W;

THENCE northeasterly along the arc of said curve to the right, having a radius of 3719.72 feet, a central angle of 5°34'41", for an arc length of 362.13 feet;

THENCE S 58°25'16" E, 117.80 feet;

THENCE N 34°42'55" E, 164.39 feet to a point on the southerly right-of-way of the Rooney Channel recorded in Docket 7415, Page 158, being a point of curvature of a non-tangent curve concave to the northwest, a radial line through said point bears S 44°21'30" E;

THENCE northeasterly along the arc of said curve said right-of-way line to the left, having a radius of 1014.93 feet, a central angle of 7°03'51", for an arc length of 125.13 feet;

THENCE N 38°37'32" E, along said right-of-way line a distance of 544.19 feet to a point of curvature of a non-tangent curve concave to the southeast, a radial line through said point bears N 51°27'13" W;



THENCE northeasterly along the arc of said curve said right-of-way line to the right, having a radius of 5669.58 feet, a central angle of 0°31'55", for an arc distance of 52.65 feet to the **TRUE POINT OF BEGINNING**;

THENCE continuing along the arc of said curve to the right, having a radius of 5669.58 feet, a central angle of 02°21'56", an arc distance of 234.07 feet to a point of a non-tangent line;

THENCE N 41°26'38" E a distance of 435.72 feet;

THENCE S 65°13'05" E a distance of 113.70 feet;

THENCE S 17°14'09" E a distance of 143.25 feet;

THENCE S 07°32'36" W a distance of 120.04 feet;

THENCE S 06°52'58" E a distance of 163.20 feet;

THENCE S 40°14'02" W a distance of 93.38 feet;

THENCE S 77°28'40" W a distance of 140.36 feet;

THENCE N 87°37'54" W a distance of 142.54 feet;

THENCE N 69°46'53" W a distance of 141.65 feet;

THENCE S 73°26'29" W a distance of 63.40 feet;

THENCE N 65°33'06" W a distance of 61.44 feet to the **TRUE POINT OF BEGINNING**;

Containing 196,934 square feet or 4.52 acres more or less.

Prepared By:
THE WLB GROUP, INC.

Jack A. Buchanan, RLS
JAB:cil

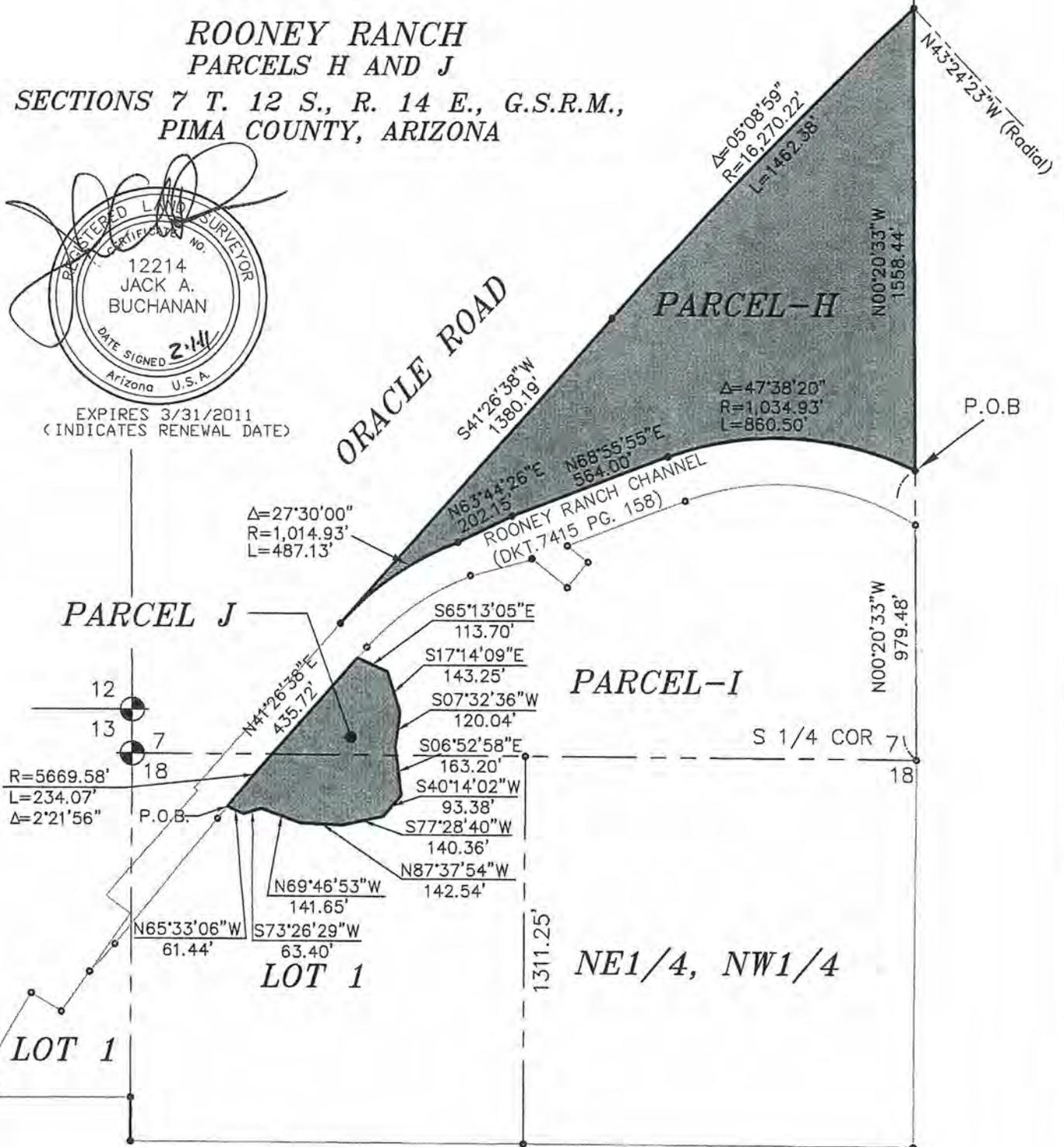


EXPIRES 3/31/2011
(INDICATES RENEWAL DATE)

ROONEY RANCH
PARCELS H AND J
 SECTIONS 7 T. 12 S., R. 14 E., G.S.R.M.,
 PIMA COUNTY, ARIZONA



EXPIRES 3/31/2011
 (INDICATES RENEWAL DATE)



EL CONQUISTADOR RESORT
 PATIO HOMES
 BOOK 36 M&P PAGE 44

1"=500'

The WLB Group, Inc.

APPENDIX 'B'

ORDINANCE NO. (O) 02- 33

AN ORDINANCE AMENDING THE TOWN OF ORO VALLEY ZONING MAP BY REZONING THE PROPERTY LOCATED ON THE EASTSIDE OF ORACLE ROAD AT THE TERMINUS OF FIRST AVENUE AND NORTH AND SOUTH OF ROONEY WASH WHICH WAS PREVIOUSLY ZONED R1-144 (SINGLE-FAMILY RESIDENTIAL) TO ORO VALLEY PLANNED AREA DEVELOPMENT (PAD) AND REPEALING ALL ORDINANCES IN CONFLICT HERewith

WHEREAS, that certain real property located on the eastside of Oracle Road at the terminus of First Avenue and north and south of Rooney Wash, containing 141.1 acres more or less and further described by the map attached to and made part of this Ordinance, is currently zoned R1-144 in the Town of Oro Valley; and

WHEREAS, an application requesting that the property be rezoned to Oro Valley Planned Area Development (PAD) has been filed with the Town; and

WHEREAS, the Planning and Zoning Commission, having considered said application and request at a duly noticed public hearing in accordance with State Statute and having made its recommendation to the Town Council; and

WHEREAS, the Oro Valley Town Council has considered the requested rezoning at a duly noticed public hearing and finds it is consistent with the Town's General Plan and Ordinance.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND TOWN COUNCIL OF THE TOWN OF ORO VALLEY:

SECTION 1: That certain real property located on the eastside of Oracle Road at the terminus of First Avenue and north and south of Rooney Wash and further described by the Tentative Development Plan and PAD document attached to and made part of this Ordinance is hereby rezoned to PAD, subject to those conditions, stipulations, plan for development and all other conditions of approval as specified in Exhibit "A" attached hereto.

SECTION 2: That all ordinances and parts of ordinances in conflict herewith be and the same are hereby repealed to the extent of such conflict.

SECTION 3: That this ordinance and the various parts thereof are hereby declared to be severable. If any section, sub-section, sentence, clause, word or phrase of this ordinance is, for any reason, held to be unconstitutional, such holdings shall not affect the validity of the remaining portion of this ordinance.

PASSED AND ADOPTED by the Mayor and Town Council of the Town of Oro Valley, Arizona, this 16th day of October, 2002.

Richard M. Johnson
Vice Mayor

for Paul H. Loomis, Mayor

ATTEST:

Kathryn E. Cuvelier
Kathryn E. Cuvelier, Town Clerk

PUBLISH: DAILY TERRITORIAL
November 4, 5, 6, & 7, 2002
POSTED: October 31 - November 30, 2002

APPROVED AS TO FORM:

Tobin Liddle for Dan Dudley
Dan L. Dudley, Town Attorney

EXHIBIT A

ORO VALLEY TOWN CENTRE
AS APPROVED BY TOWN COUNCIL
OCTOBER 16, 2002

OV9-01-05

1. The Plaza design shall be as agreed by staff and the applicant and presented to Town Council on October 16, 2002.
2. The residential area of the PAD shall be gated, single-family detached development with the following development standards:
 - Maximum number of units: 65
 - Minimum Lot Size: 15,000 square feet.
 - Average Lot Size: 20,000 square feet.
 - Maximum building height: 25 feet.
 - Single story homes shall be constructed towards Oracle Road and the El Conquistador Patio Homes and shall be limited to a maximum height of 18-feet.
3. A 100-foot setback from the El Conquistador Patio Homes shall be observed.
4. The following language shall be added to Section G of the PAD, Noise Abatement: "any outdoor, amplified concerts or activities shall cease no later than 11:00 p.m."

Engineering

5. OVZCR Section 3-104(B)(26)(1), show all floodplains that will be altered or filled.

Tentative Development Plan

6. Complete and correctly show all proposed drainage improvements.
7. Show all existing and proposed floodplains that have 100-year flows of 50-cfs or more.
8. Revise the grading limits to accurately depict the intended grading in Parcel I because of the cutoff channels along the ridges.
9. Add additional spot elevations on the west side of the parking lot between buildings A and E to show the intended drainage design.
10. Show the high points in the middle of the parking lots east of building H and J.
11. The drainage channel east of building N and O and the parking lot drainage design are unacceptable as it will cause additional grading, 6-feet of additional cut that will needlessly impact the ridges to the east. Revise this concept by directing the flow from the parking lot and building to drain to the west and utilize cutoff swales to divert the flow from the ridges similar to the designs for buildings R, T and U.
12. Remove the emergency access to the El Conquistador Patio Homes between lots 30 and 31.

13. Check all proposed driveway slopes to determine if there are any problem lots.
14. Ensure that the maximum driveway gradient does not exceed 14%.
15. The grading shall be limited to the cuts and fills as prescribed in the PAD. The developer shall be encouraged to further reduce said cuts and fills during grading and as an incentive may be permitted to reduce the front side and/or rear setbacks in order to achieve a reduction in cuts and fills as the case may dictate on lot by lot case as may be approved by the Planning and Zoning Administrator.
16. A 100-foot setback from the El Conquistador Patio Homes shall be observed.

Drainage Report

17. Show all water surface elevations on the drainage concept maps.
18. Determine and show the erosion hazard set back line in the unnamed wash.
19. Show all existing and proposed floodplains that have 100-year flows of 50-cfs or more on the drainage concept maps.
20. Provide calculations and details for sizing rip rap pads, scout holes and rock sizes in the final drainage report for this project.
21. A grading permit will not be issued for areas affected by the CLOMR/LOMR until the Town receives written acknowledgement from FEMA that the CLOMR application has been received and is complete. Revise page 2 of the drainage report accordingly.

Misc.

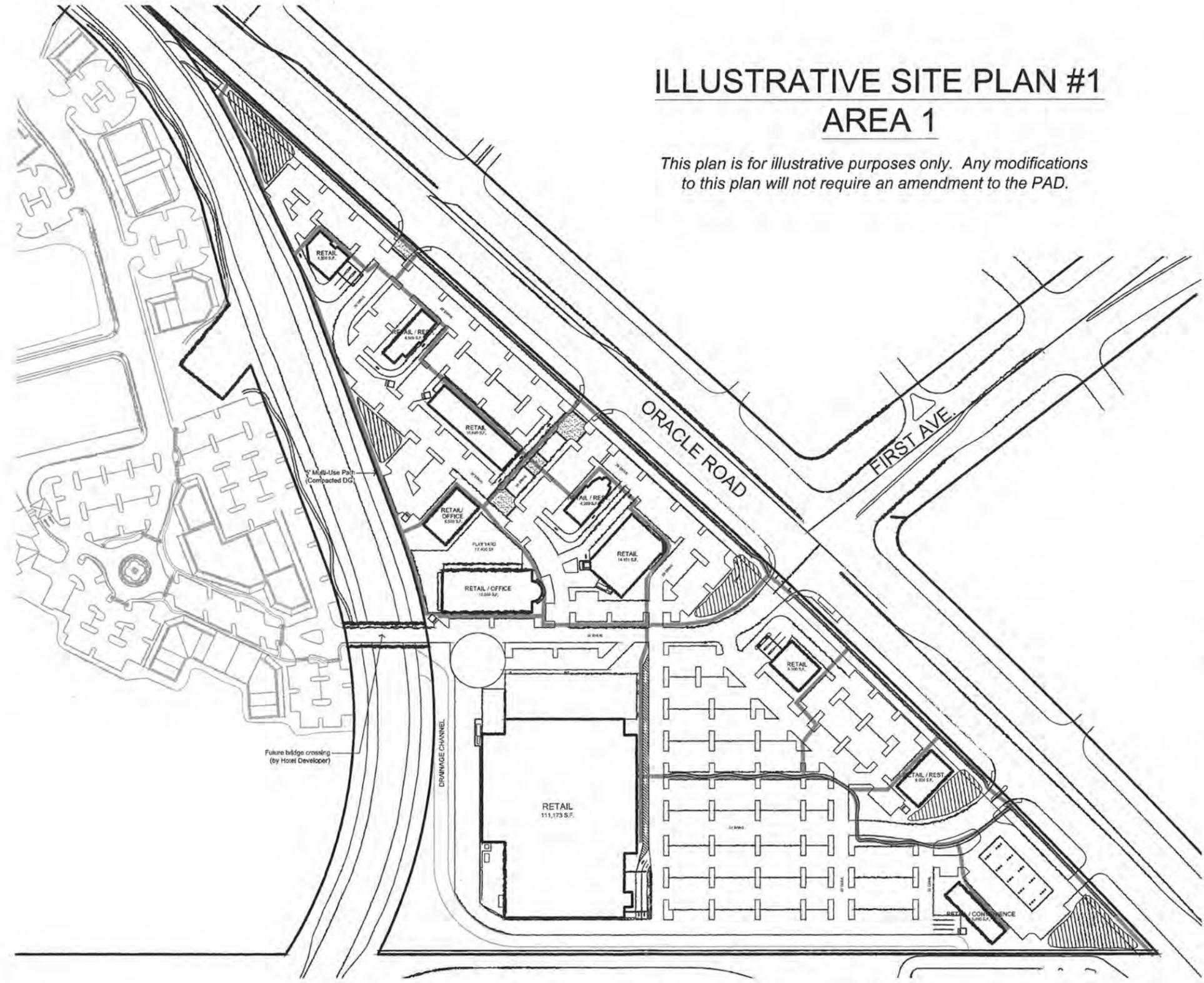
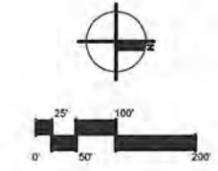
22. Resubmit 24 copies of the final PAD and electronic version with all graphics and maps.

APPENDIX 'C'

APPENDIX 'C-1'

ILLUSTRATIVE SITE PLAN #1 AREA 1

This plan is for illustrative purposes only. Any modifications to this plan will not require an amendment to the PAD.



SITE DATA

Site Area	:	1,212,055 S.F. (27.82 AC.)
Building Area	:	210,464 S.F.
F.A.R.	:	.17

- Landscape Open Space
- 5' Pedestrian Path

VICINITY MAP



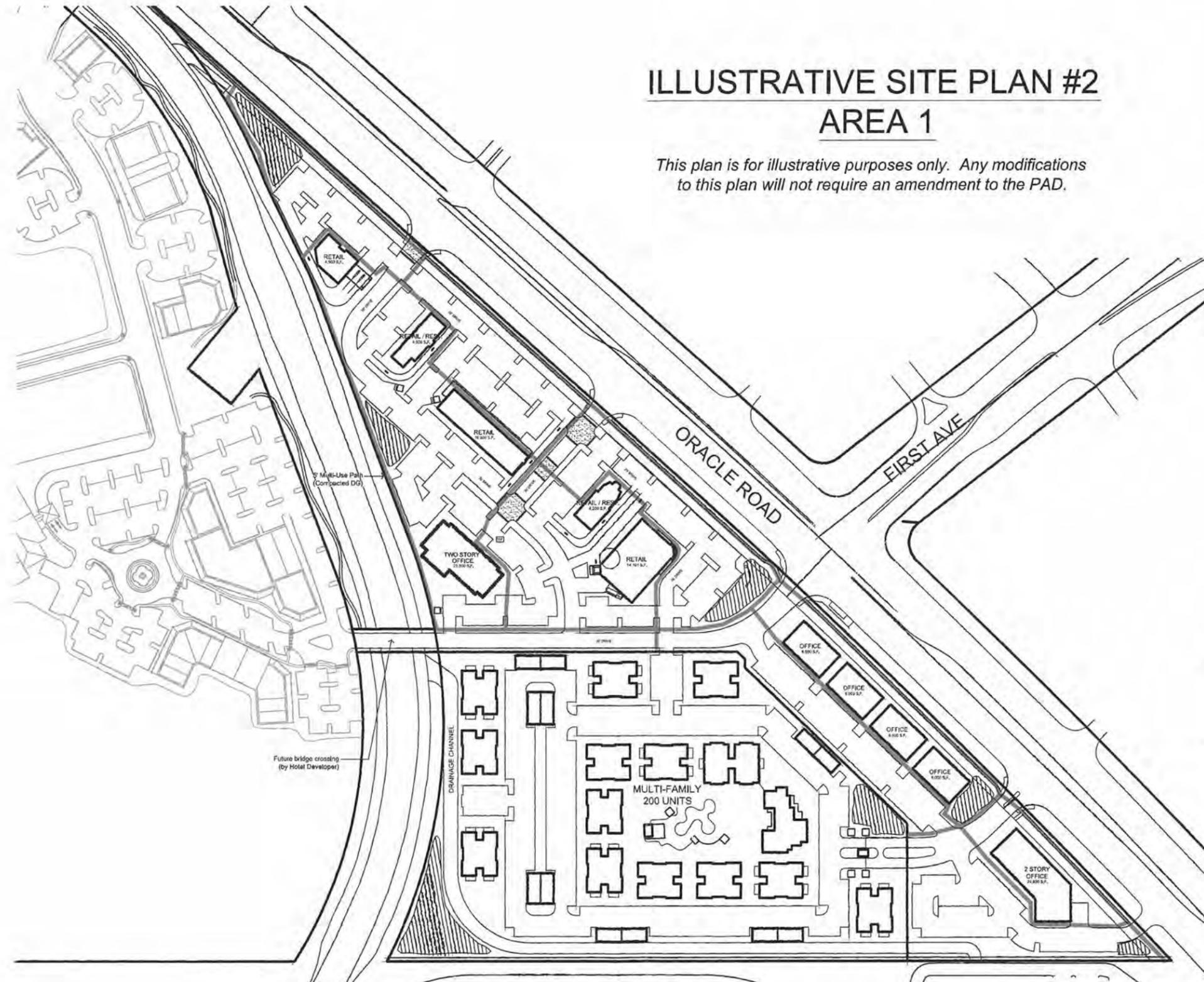
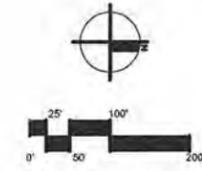
ORO VALLEY *Town Centre*

TOWN OF ORO VALLEY, ARIZONA



ILLUSTRATIVE SITE PLAN #2 AREA 1

This plan is for illustrative purposes only. Any modifications to this plan will not require an amendment to the PAD.

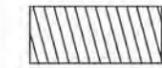


SITE DATA

Site Area : 687,805 S.F.
(NIC Multi-Family) (15.79 AC.)

Building Area : 110,301 S.F.

F.A.R. : .16

-  Landscape Open Space
-  5' Pedestrian Path

VICINITY MAP



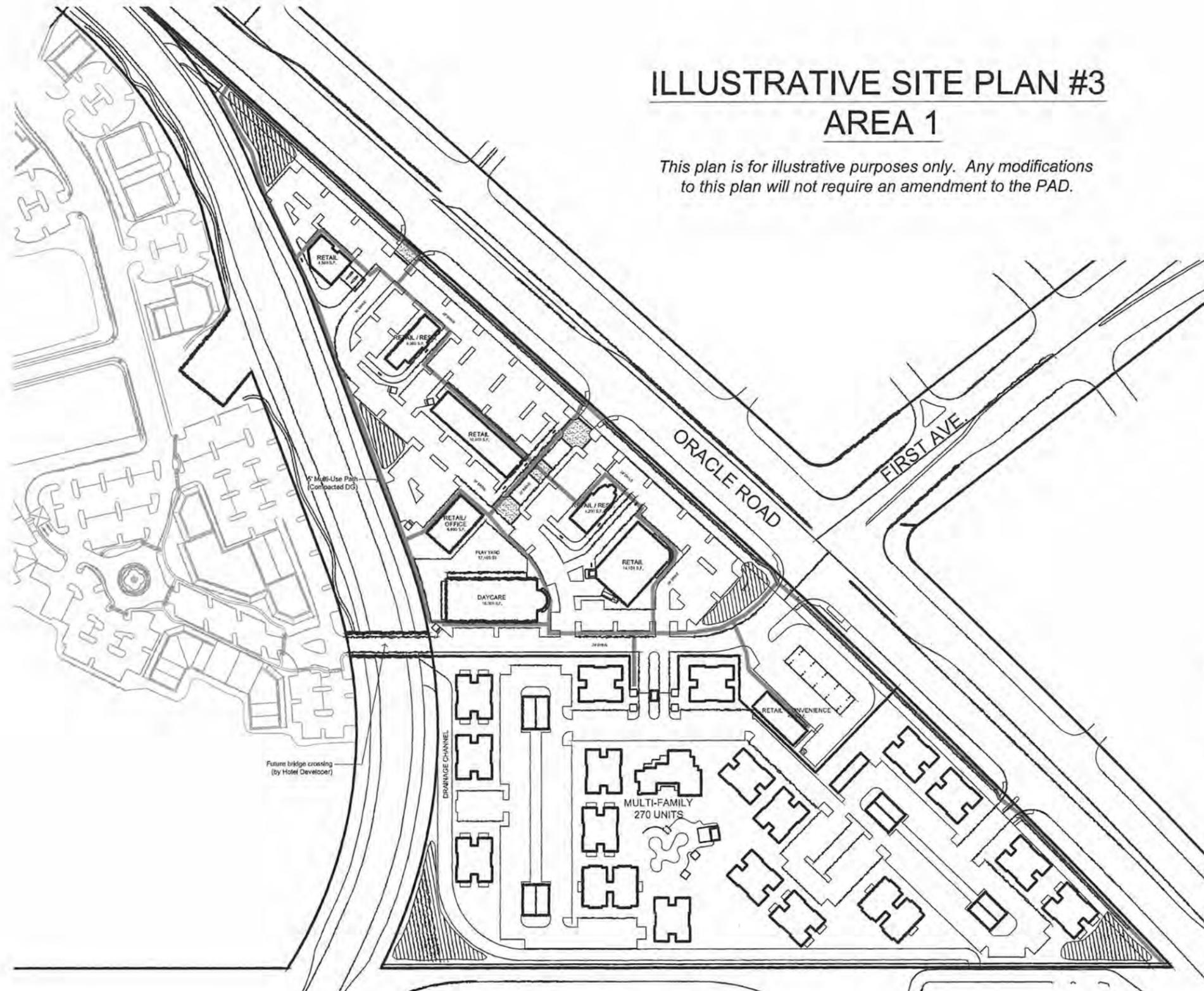
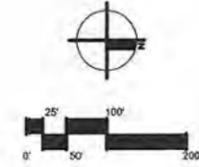
06.30.11
04152-ST41A-MF3



ORO VALLEY *Town Centre*
TOWN OF ORO VALLEY, ARIZONA

ILLUSTRATIVE SITE PLAN #3 AREA 1

This plan is for illustrative purposes only. Any modifications to this plan will not require an amendment to the PAD.

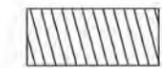


SITE DATA

Site Area : 539,753 S.F.
(NIC Multi-Family) (12.39 AC.)

Building Area : 63,701 S.F.

F.A.R. : .12

 Landscape
Open Space

 5' Pedestrian Path

VICINITY MAP



06.30.11
04152-ST41A-MF6

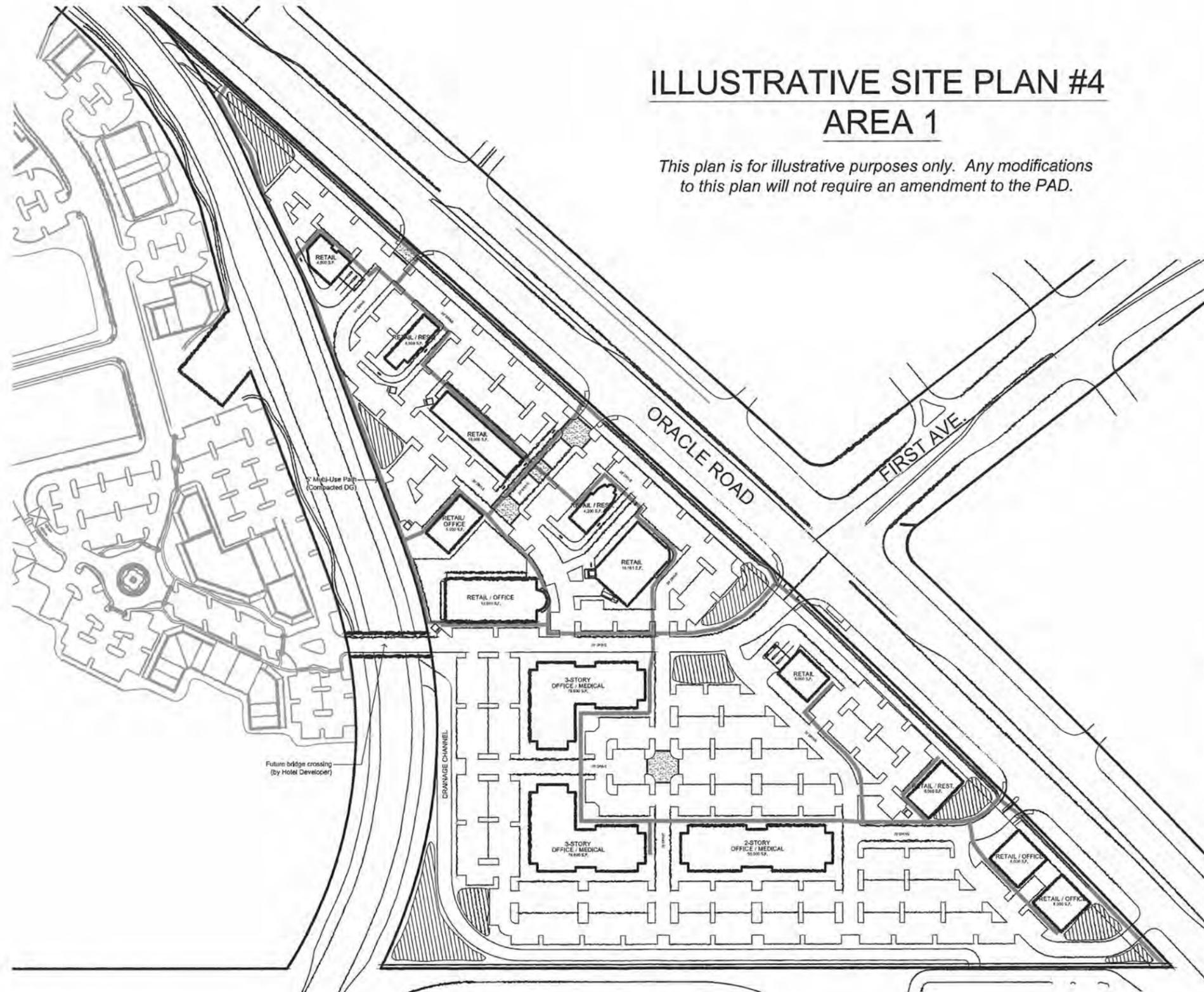
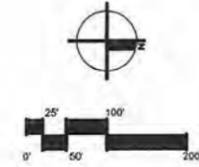


ORO VALLEY *Town Centre*
TOWN OF ORO VALLEY, ARIZONA



ILLUSTRATIVE SITE PLAN #4 AREA 1

This plan is for illustrative purposes only. Any modifications to this plan will not require an amendment to the PAD.



SITE DATA

Site Area	:	1,212,055 S.F. (27.82 AC.)
Building Area	:	288,301 S.F.
F.A.R.	:	.24

- Landscape Open Space
- 5' Pedestrian Path

VICINITY MAP



06.30.11
04152-ST41A-OFF



ORO VALLEY *Town Centre*

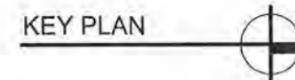
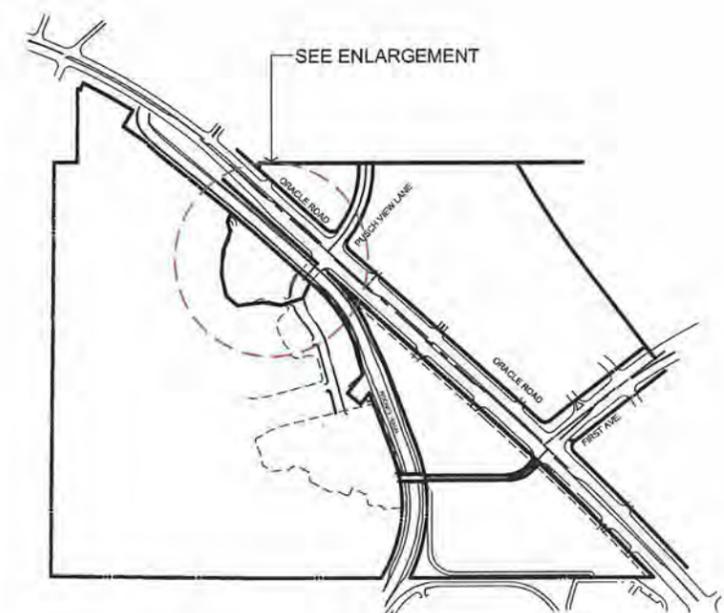
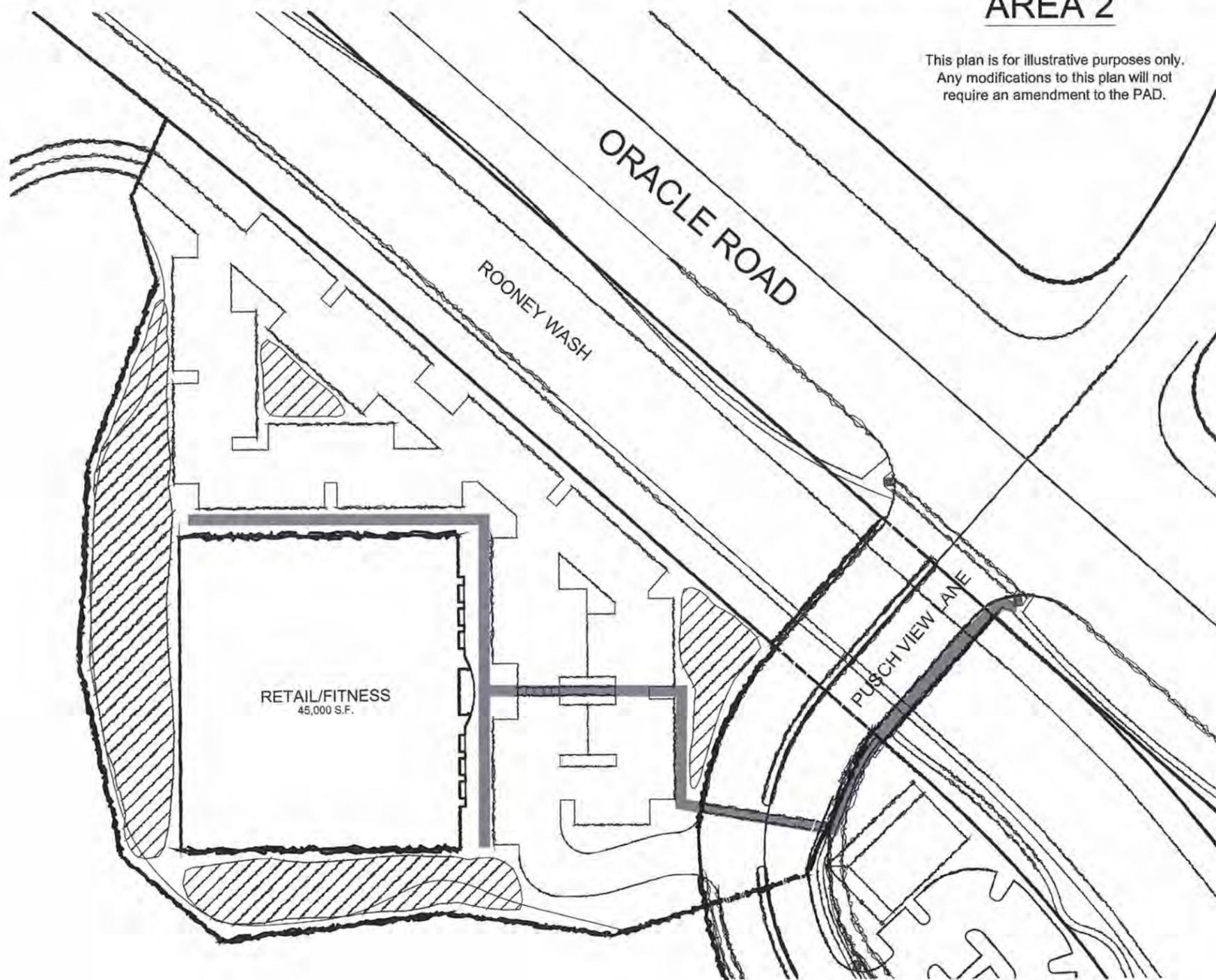
TOWN OF ORO VALLEY, ARIZONA



ILLUSTRATIVE SITE PLAN #1

AREA 2

This plan is for illustrative purposes only.
Any modifications to this plan will not
require an amendment to the PAD.



SITE DATA

Site Area	:	197,221 S.F. (4.5 AC.)
Building Area	:	45,000 S.F.
F.A.R.	:	.23

	Landscape Open Space
	5' Pedestrian Path

VICINITY MAP

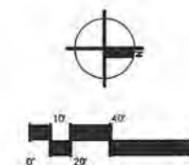


11-10-10
04152



ORO VALLEY *Town Centre*

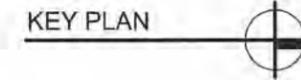
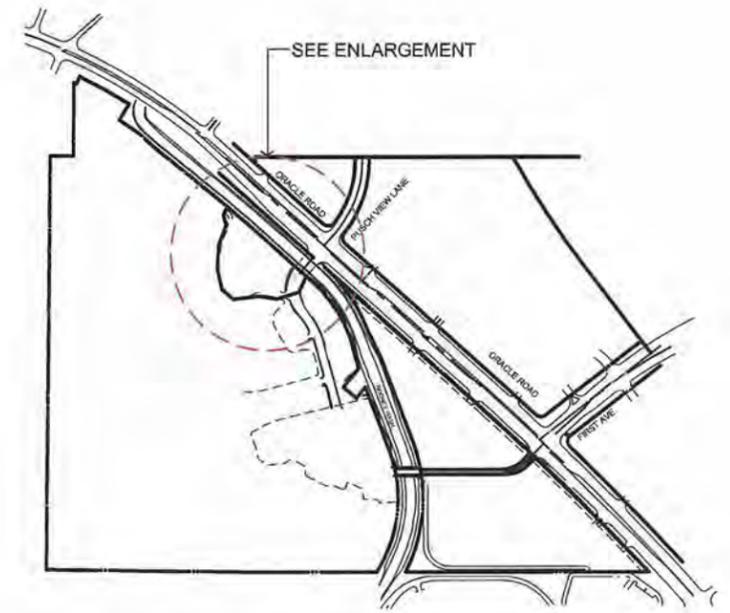
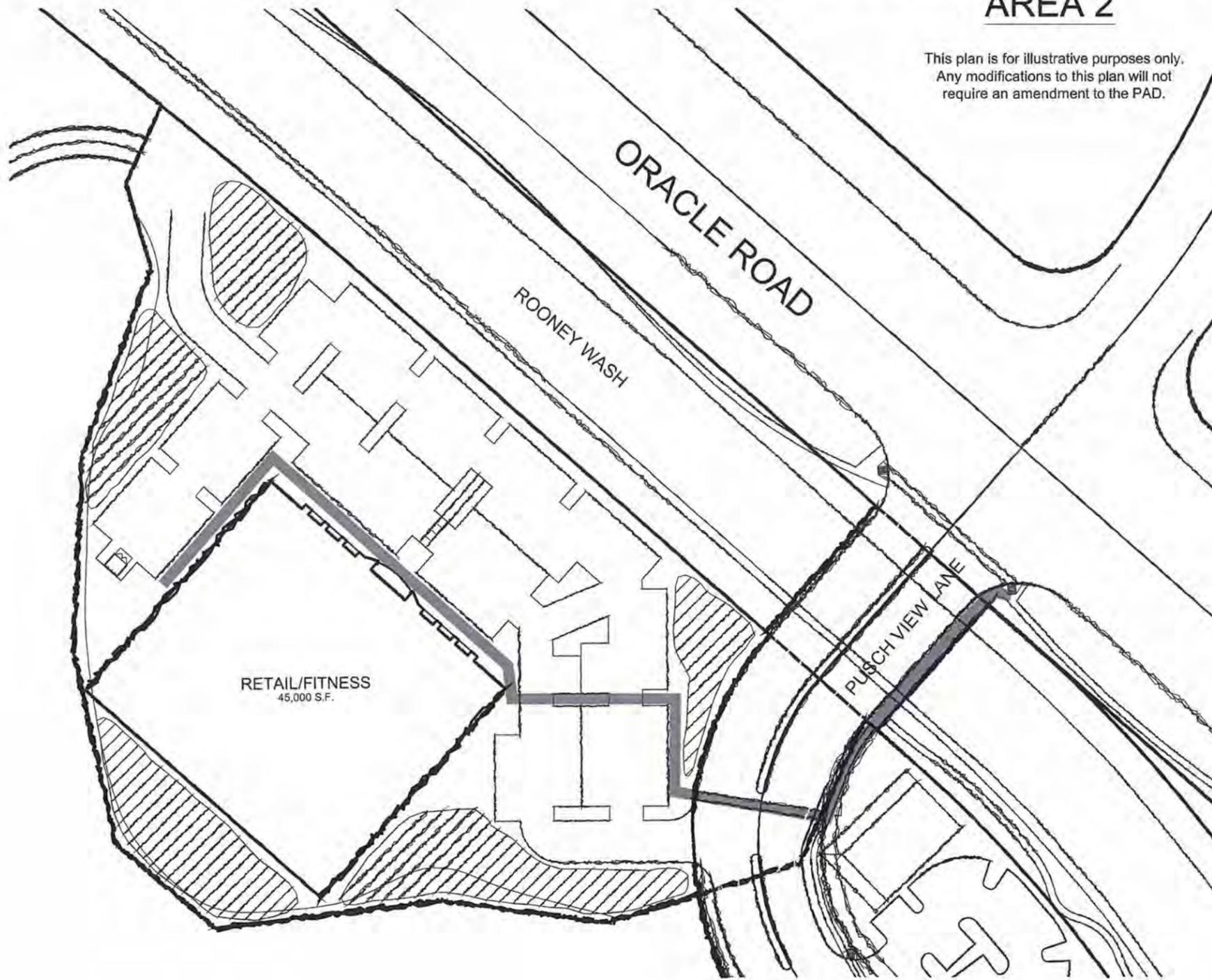
TOWN OF ORO VALLEY, ARIZONA



ILLUSTRATIVE SITE PLAN #2

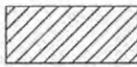
AREA 2

This plan is for illustrative purposes only.
Any modifications to this plan will not
require an amendment to the PAD.



SITE DATA

Site Area : 197,221 S.F.
(4.5 AC.)
Building Area : 45,000 S.F.
F.A.R. : .23

-  Landscape Open Space
-  5' Pedestrian Path

VICINITY MAP

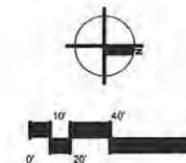


11-10-10
04152



ORO VALLEY *Town Centre*

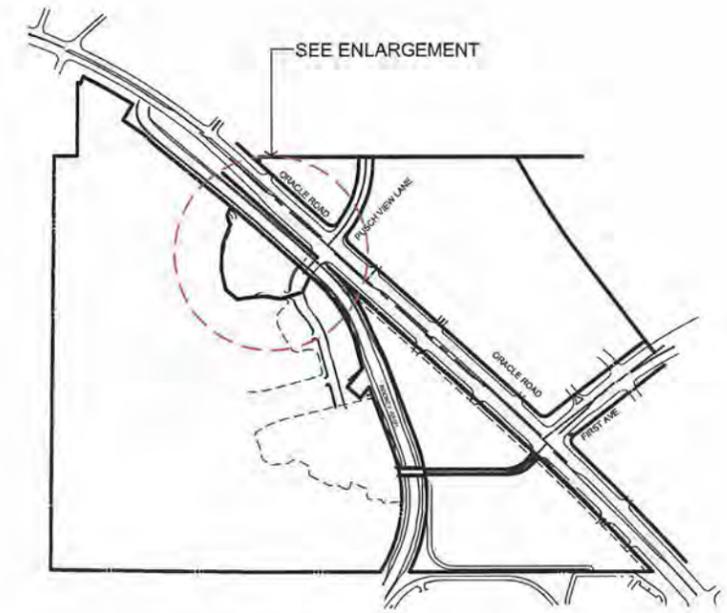
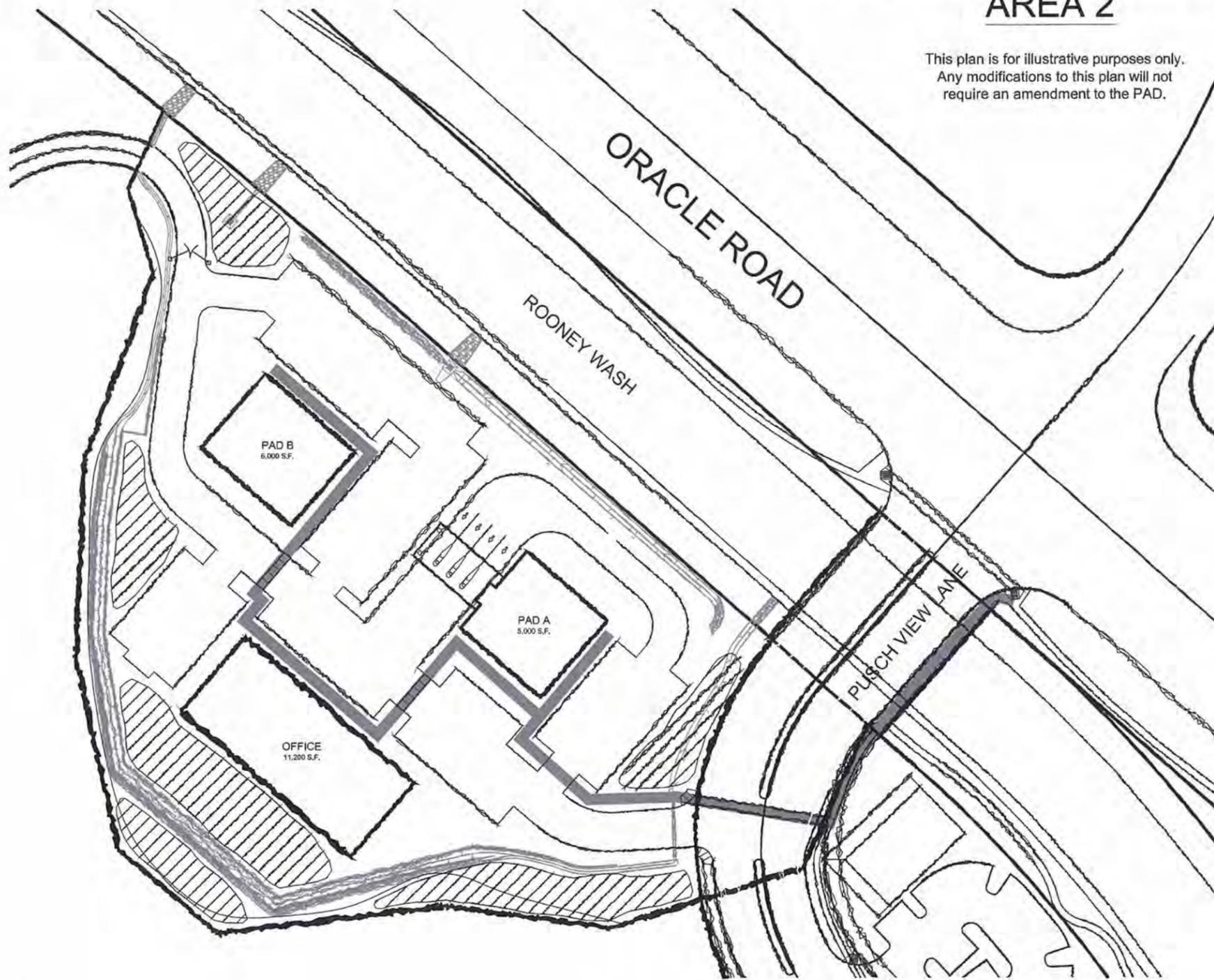
TOWN OF ORO VALLEY, ARIZONA



ILLUSTRATIVE SITE PLAN #3

AREA 2

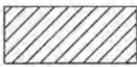
This plan is for illustrative purposes only.
Any modifications to this plan will not
require an amendment to the PAD.



KEY PLAN

SITE DATA

Site Area	:	197,221 S.F. (4.5 AC.)
Building Area	:	22,200 S.F.
F.A.R.	:	.11

	Landscape Open Space
	5' Pedestrian Path

VICINITY MAP

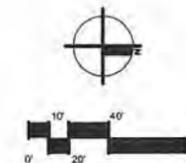


11-10-10
04152



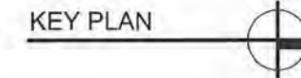
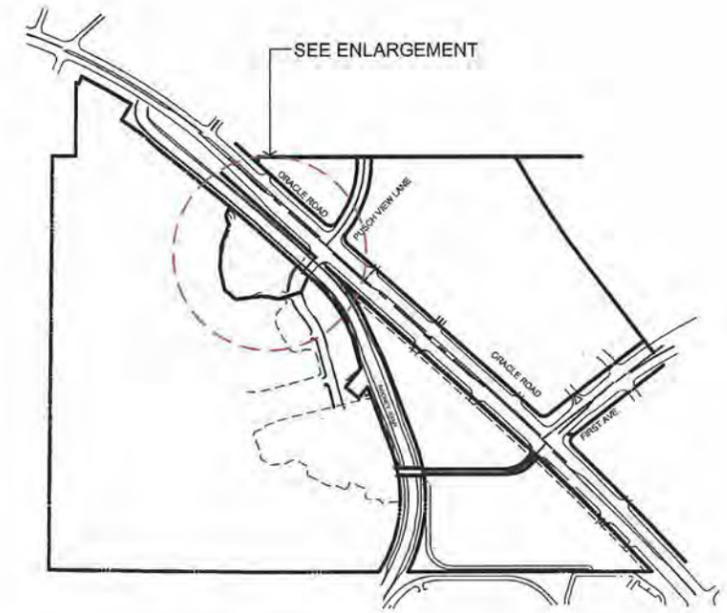
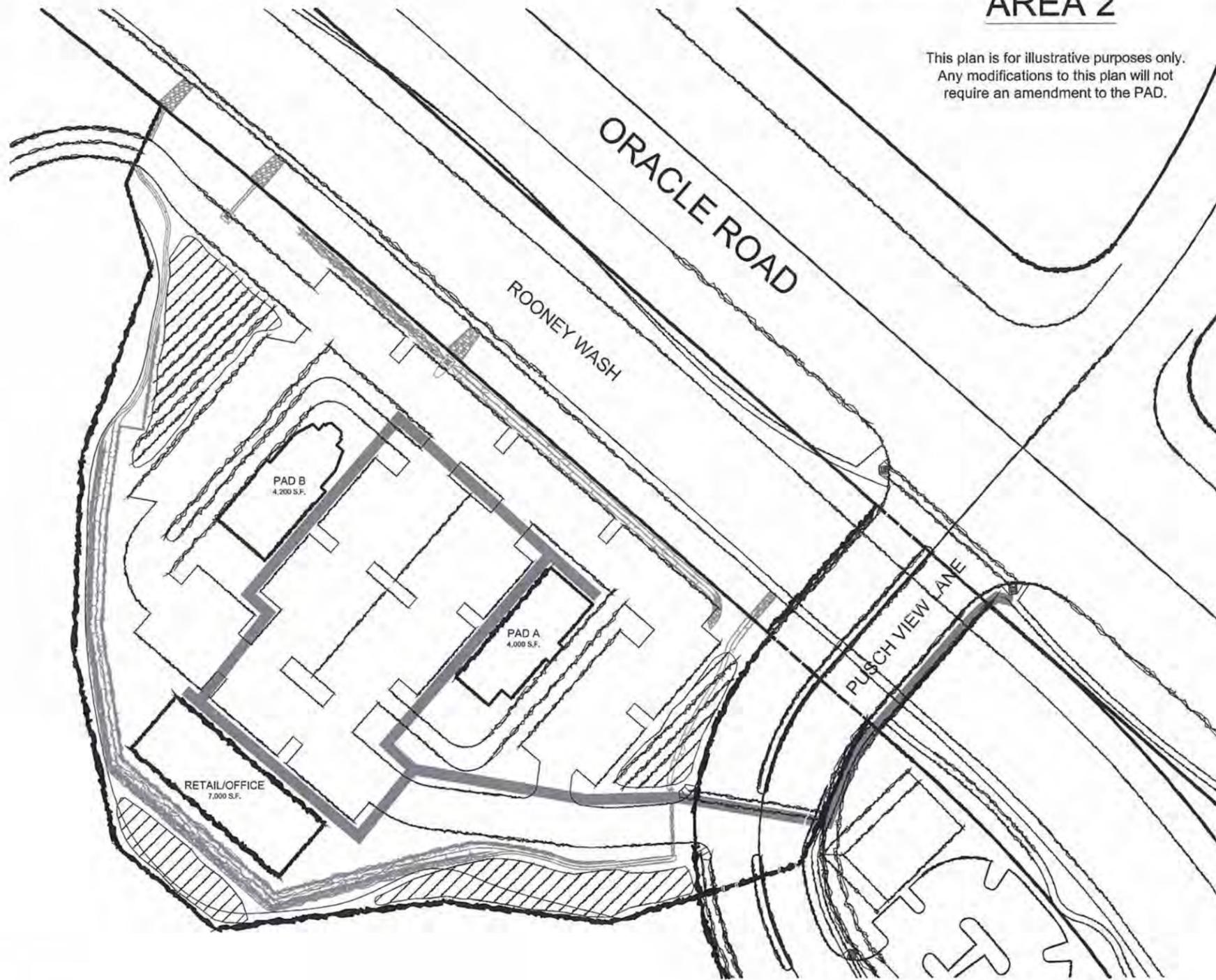
ORO VALLEY *Town Centre*

TOWN OF ORO VALLEY, ARIZONA



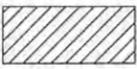
ILLUSTRATIVE SITE PLAN #4 AREA 2

This plan is for illustrative purposes only.
Any modifications to this plan will not
require an amendment to the PAD.



SITE DATA

Site Area	:	197,221 S.F. (4.5 AC.)
Building Area	:	15,200 S.F.
F.A.R.	:	.08

	Landscape Open Space
	5' Pedestrian Path

VICINITY MAP

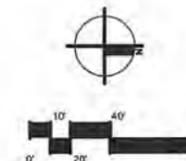


11-10-10
04152

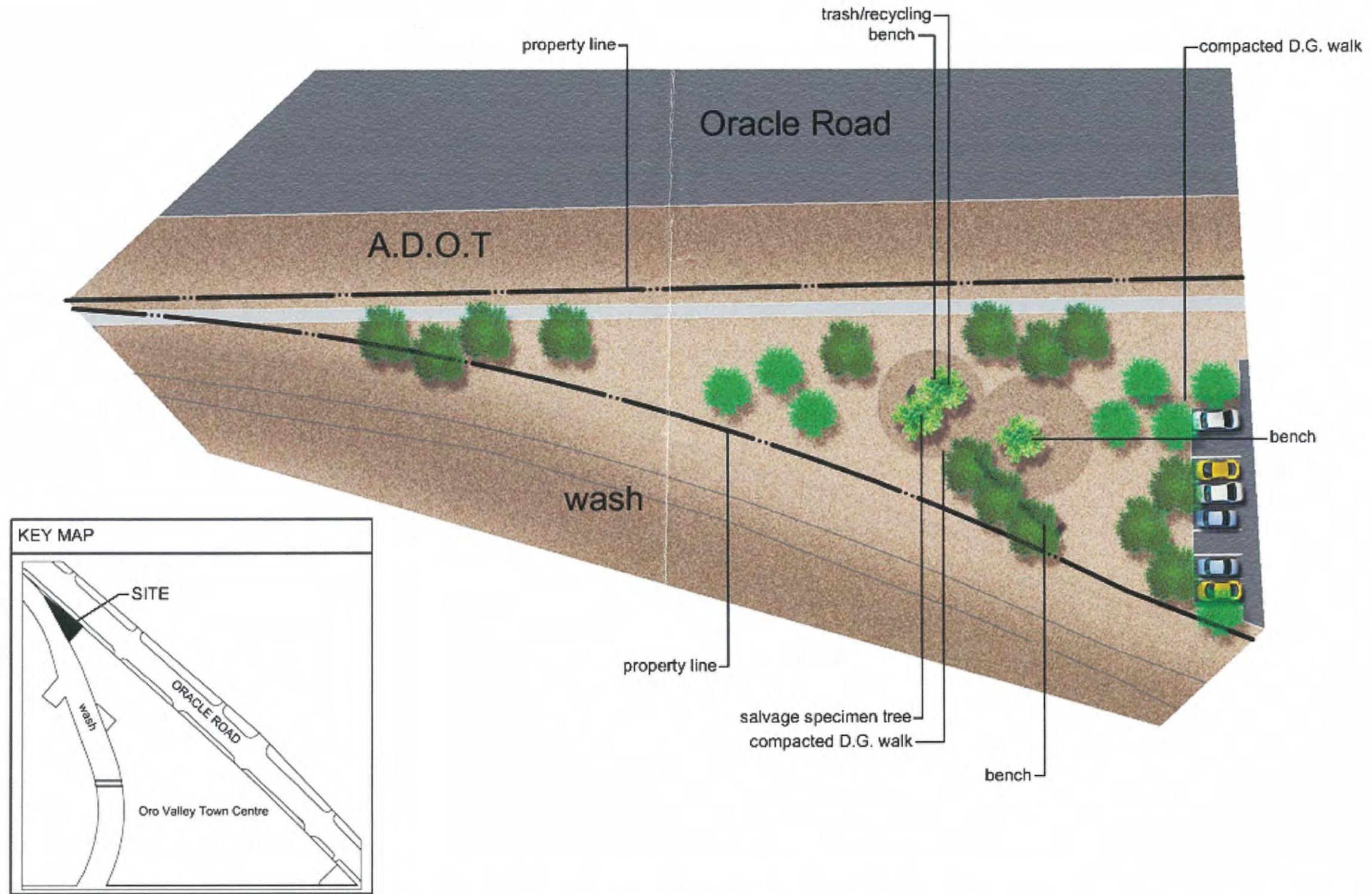


ORO VALLEY *Town Centre*

TOWN OF ORO VALLEY, ARIZONA



APPENDIX 'C-2'

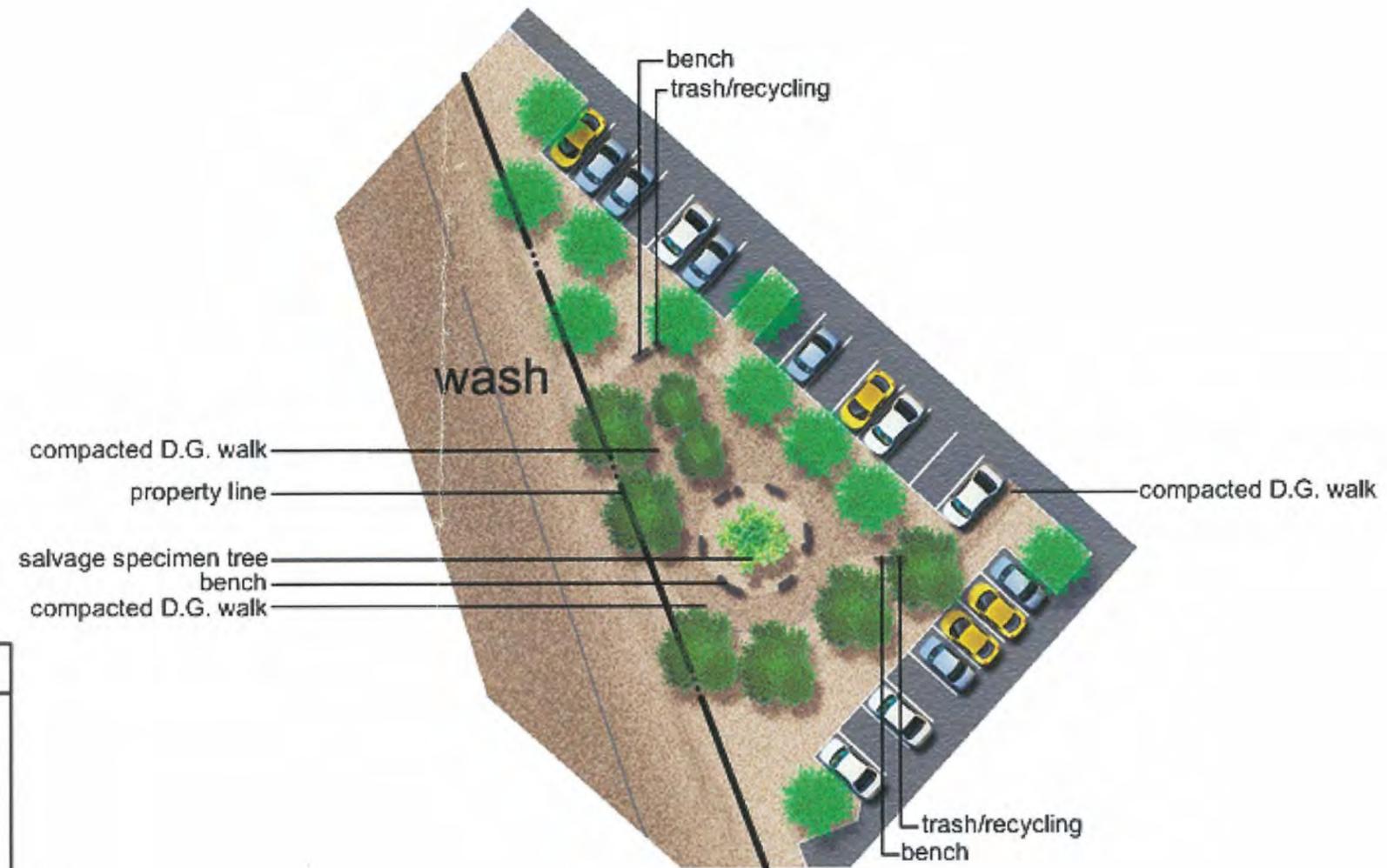
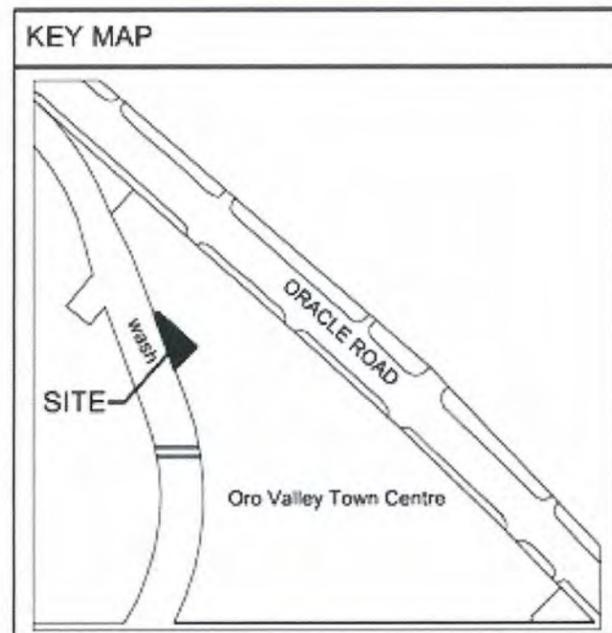


COMMON OPEN SPACE EXHIBIT 20,189 sq.ft.



ORO VALLEY *Town Centre*
TOWN OF ORO VALLEY, ARIZONA



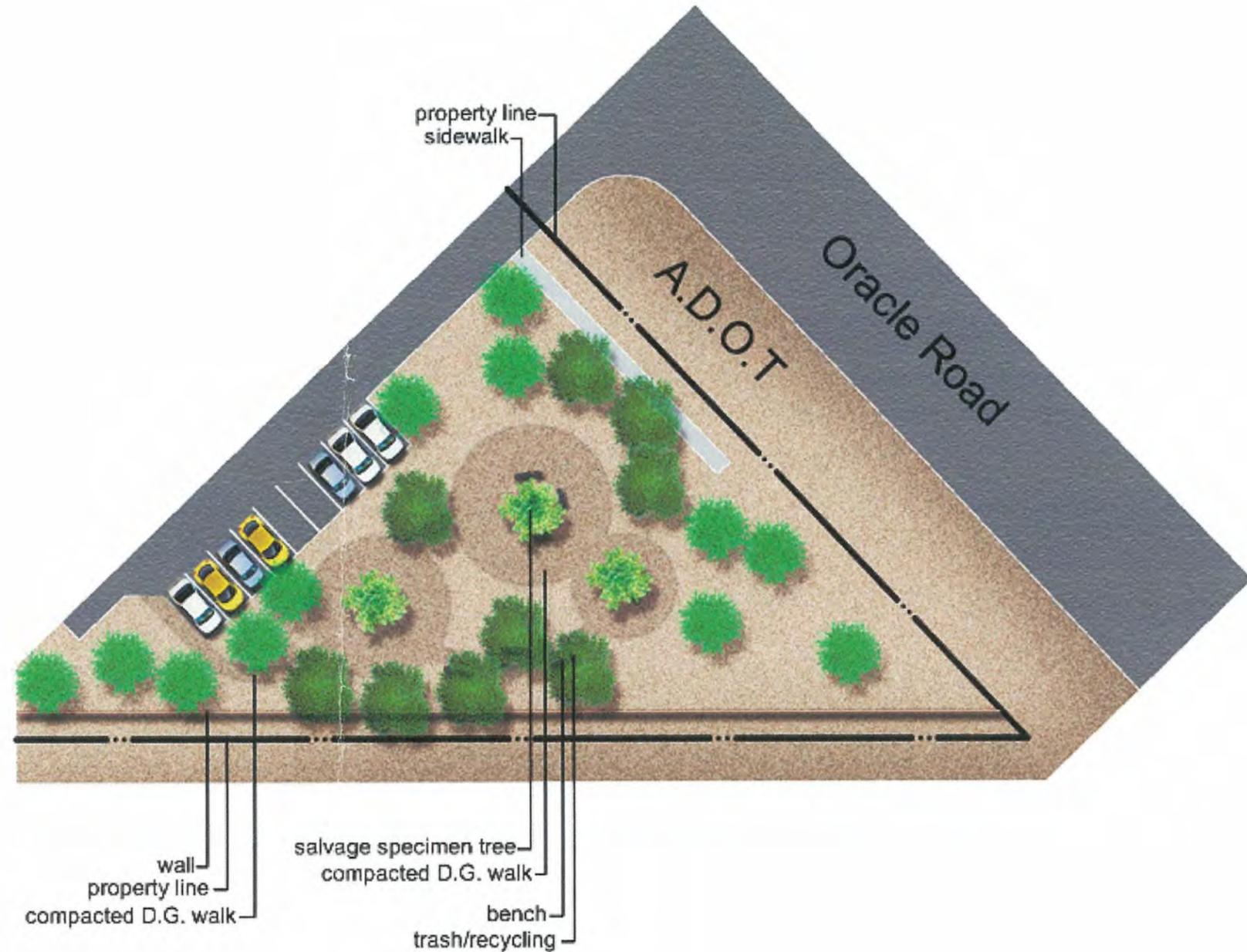
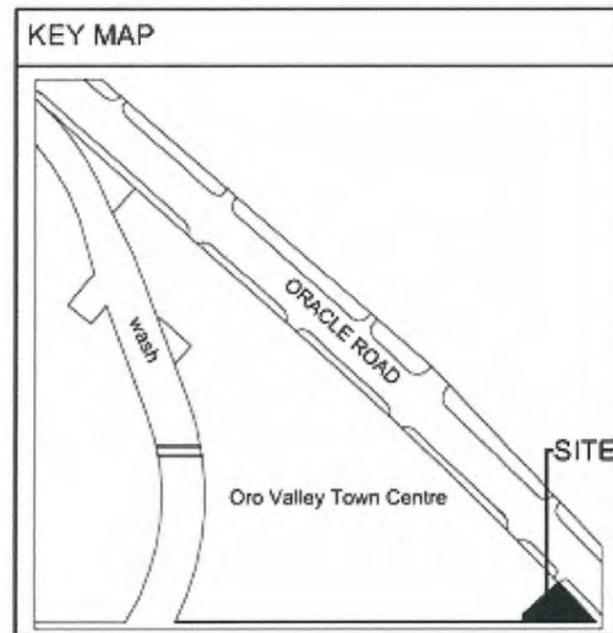


COMMON OPEN SPACE EXHIBIT 8,030 sq.ft.



ORO VALLEY *Town Centre*
TOWN OF ORO VALLEY, ARIZONA





COMMON OPEN SPACE EXHIBIT 15,278 sq.ft.



ORO VALLEY *Town Centre*
TOWN OF ORO VALLEY, ARIZONA



APPENDIX 'D'



Federal Emergency Management Agency

Washington, D.C. 20472

MAR 3 1 2003

LETTER OF MAP AMENDMENT
218-70-R

Community: Town of Oro Valley, AZ
Community No.: 040109
Map Panel Affected: 04019C1039K
Map Effective Date: February 8, 1999

IN REPLY REFER TO CASE NO. 03-09-0206A

We reviewed a request dated November 21, 2002, for a Letter of Map Amendment. Using the information submitted and the effective National Flood Insurance Program (NFIP) map, we determined the property described below is not in a Special Flood Hazard Area (SFHA), the area that would be inundated by the flood having a 1-percent chance of being equaled or exceeded in any given year (base flood).

Property Description: Town Center at Rooney Ranch, Portions of Sections 7 and 18, Township 12 South, Range 14 East, and Section 13, Township 12 South, Range 13 East, Gila and Salt River Base and Meridian, as described in the Quit Claim Deed recorded as Sequence No. 8807880, on Docket 08310, Pages 1082 through 1086, in the Office of the Recorder, Pima County, Arizona

Flooding Source: Rooney Wash

The legal descriptions of the portions mentioned above are as follows:

Rooney Ranch Parcel H:

COMMENCING at the south quarter corner of Section 7; thence N 00°20'38" W, 979.43 feet to the POINT OF BEGINNING; thence N 00°20'38" W, 1557.04 feet to the southeasterly right of way line of Oracle Road; thence 1460.87 feet along a curve to the left having a radius of 16,270.22 feet; thence S 41°25'55" W, 1380.92 feet to a point on the north right of way line of the Rooney Channel; thence northeasterly 487.13 feet along a curve to the right having a radius of 1014.93 feet; thence N 63°14'24" E, 201.66 feet; thence N 68°55'55" E, 564.00 feet; thence 860.80 feet along a curve to the right having a radius of 1034.93 feet to the POINT OF BEGINNING

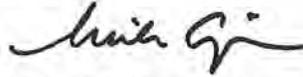
Rooney Ranch Parcel I:

BEGINNING at the north quarter corner of Section 18; thence S 00°23'26" W, 1310.75 feet; thence N 89°47'46" W, 2635.54 feet; thence N 00°00'51" W, 148.47 feet; thence S 89°48'34" W, 468.43 feet to the east right of way line of Oracle Road; thence N 23°08'24" E, 17.45 feet; thence N 65°39'07" W, 50.31 feet; thence 362.13 feet along a curve to the right having a radius of 3719.72 feet; thence S 58°25'16" E, 117.80 feet; thence N 35°43'26" E, 163.65 feet to a point on the southerly right of way line of the Rooney Channel; thence 125.13 feet along a curve to the left having a radius of 1014.93 feet; thence N 38°37'32" E, 544.34 feet; thence 286.72 feet along a curve to the right having a radius of 5669.58 feet; thence N 41°26'38" E, 483.62 feet; thence 429.54 feet along a curve to the right having a radius of 894.93 feet; thence N 74°37'28" E, 201.66 feet; thence N 68°55'05" E, 11.18 feet; thence S 51°04'05" E, 151.75 feet; thence N 38°55'55" E, 110.00 feet; thence N 51°04'05" W, 88.24 feet; thence N 68°55'55" E, 425.49 feet; thence 811.15 feet along a curve to the right having a radius of 874.93 feet; thence S 00°20'38" E, 795.51 feet to the POINT OF BEGINNING

This letter amends the above-referenced NFIP map to remove the property from the SFHA. The property is now in Zone X (shaded), an area of moderate flooding outside the SFHA.

free, at 1-877-FEMA MAP (1-877-336-2627) or by facsimile at (703) 960-9125.

Sincerely,

A handwritten signature in black ink, appearing to read "Michael Grimm".

Michael Grimm, Acting Chief
Hazards Study Branch
Federal Insurance and Mitigation Administration

Enclosure

cc: Community Map Repository

APPENDIX E



WestLand Resources, Inc.
Engineering and Environmental Consultants

October 26, 2010

Mr. Jay Mitchell
Canyon Del Oro Partners
4765 East 91st Street, Suite 200
Tulsa, Oklahoma 74137

**Re: CACTUS FERRUGINOUS PYGMY-OWL SURVEY AT THE
ROONEY RANCH II PROPERTY, SPRING 2010
WESTLAND PROJECT NO. 1305.05 343 343**

Dear Mr. Mitchell:

At your request, WestLand Resources, Inc. (WestLand) conducted three complete surveys for the cactus ferruginous pygmy-owl (CFPO; *Glaucidium brasilianum cactorum*) during the spring 2010 survey season at your Rooney Ranch II property located near 1st Avenue and Oracle Road within the city limits of Oro Valley, Pima County, Arizona¹ (Figure 1). The survey area included four non-contiguous parcels totaling approximately 142 acres. The surveys were completed under Arizona Game and Fish Department License Number SP749638 using protocols adopted in 2000 by the U.S. Fish and Wildlife Service (USFWS). Because the CFPO was not listed under the Endangered Species Act when the surveys were conducted, a USFWS permit was not required, although WestLand still holds USFWS Permit TE834782. No CFPO were detected during these surveys. A summary of the current survey status of your property is provided below, followed by a more detailed discussion of survey methods and field observations.

CFPO SURVEY SUMMARY

- ◆ CFPO surveys completed on the property by WestLand according to USFWS project clearance protocol annually from 2009 through 2010.
 - ◆ No CFPO detected during our survey efforts.
 - ◆ The CFPO is not currently federally listed and survey is not required for federal permits. The USFWS survey protocol recommends two consecutive years of CFPO survey prior to vegetation-clearing activity, and annual coverage until clearing is complete. Rooney Ranch II property currently meets this recommendation through the end of 2010.
-

The USFWS survey protocol recommends three CFPO surveys in two consecutive years with no CFPO detections prior to commencing vegetation clearing. The survey season is January 1st to June 30th, with at least one survey conducted between February 15th and April 15th and at least 15 days between each survey. Survey results are valid through the end of the calendar year. If vegetation clearing is not

¹ Township 12 South, Range 13 East, portion of Section 13; Township 12S, Range 14East, portion of Section 7 & 18
Q:\CFPO\2010\Reports\1305.05 Rooney Ranch II CFPO report 10.doc

completed by January 1st, the protocol recommends three more surveys before further land clearing of suitable habitat (USFWS Private Landowner Guidance, March 2000).

Survey was conducted in accordance with the USFWS' CFPO project clearance survey protocol except as discussed below. The maximum distance between call stations is 400 meters (0.25 mile). At each call station, a 2-minute initial listening period is followed by at least 10 minutes of 30-second CFPO vocalization broadcasts followed by 90-second listening periods. The final broadcast is followed by a 3-minute listening period. The total time spent at each station is at least 15 minutes. If background noise is high, stations are placed at 150-meter (500-foot) intervals and at least 20 minutes is spent calling and listening. Survey periods are restricted to one hour before to two hours after sunrise and one hour before to one hour after sunset, except during the five nights centered on the full moon, when calling also may be conducted as long as the moon is visible.

The survey area includes three parcels totaling approximately 13 acres at the t-intersection of Lambert Lane and 1st Avenue, separated by the high-traffic roads, and a fourth parcel of approximately 129 acres less than 0.5 mile to the south, at the intersection of 1st Avenue and Oracle Road. The parcels represent some of the only remaining open lands that are developable in the immediate vicinity, except to the north of the northern parcels.

The three surveys were conducted on the subject property according to accepted protocol on April 9 and 16; May 19 and 21; and June 23. Twelve calling stations provided complete coverage of the parcels during each survey. Weather conditions during the survey sessions were within the range considered acceptable by USFWS for CFPO survey.

The surveys conformed to the requirement of at least 15 days between surveys, but no survey was completed between February 15 and April 15. However, WestLand contacted the USFWS and obtained confirmation that they would consider the surveys acceptable for coverage in 2009 should the project require Endangered Species Act consultation. The email correspondence to this effect is attached.

No CFPO were detected during the survey efforts.

Other information recorded during the survey is found on the field data forms that will be provided to the USFWS pursuant to our federal survey permit conditions.

The delisting of the CFPO took effect on May 15, 2006 and it remains delisted at the time of this report. A petition to list the CFPO as a threatened or endangered species was submitted to the USFWS on March 20, 2007. In June 2008, the USFWS published its 90-day finding that listing of the CFPO may be warranted and announced the initiation of a 12-month status review of CFPO. However, there have been delays in the USFWS publishing their decision, and no date for publishing has been announced. Their status review is considering the western population of CFPO, which extends from Sinaloa, Mexico to Southern Arizona.

At the conclusion of their status review, the USFWS will make one of the following three determinations regarding CFPO:

- Listing under the ESA is not warranted, in which case no further action will be taken.

Mr. Jay Mitchell
October 26, 2010
Page 3

- Listing under the ESA is warranted and the USFWS proceeds to publish a proposal to list the species as threatened or endangered and with or without critical habitat.
- Listing under the ESA is warranted, but is precluded by other, higher priority activities.

Because the CFPO is not federally protected by the Endangered Species Act (ESA), federal actions on a project cannot require CFPO survey pursuant to the ESA. However, the following status for your project could be pertinent in the event the CFPO is listed in the near future. The area has been surveyed in both 2009 and 2010, and meets the USFWS protocol recommendation for survey in the two years immediately prior to initiation of vegetation clearing, should the project be initiated in 2010. The surveys conducted this year provide coverage through the end of 2010. Once the project is initiated, the USFWS protocol recommends surveys are conducted annually until vegetation clearing has been completed.

We appreciate the opportunity to complete this survey on your behalf. If you have any questions or we can be of additional assistance, please contact Jim Tress or me at (520) 206-9585.

Sincerely,
WestLand Resources, Inc.



Scott D. Hart
Project Manager

SDH:ad

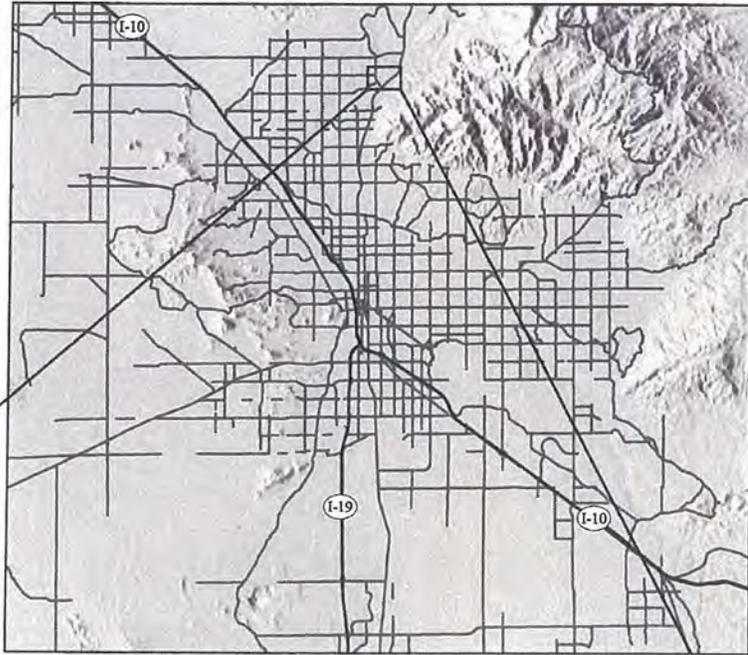
Enclosure: Figure 1, Project Map

ARIZONA

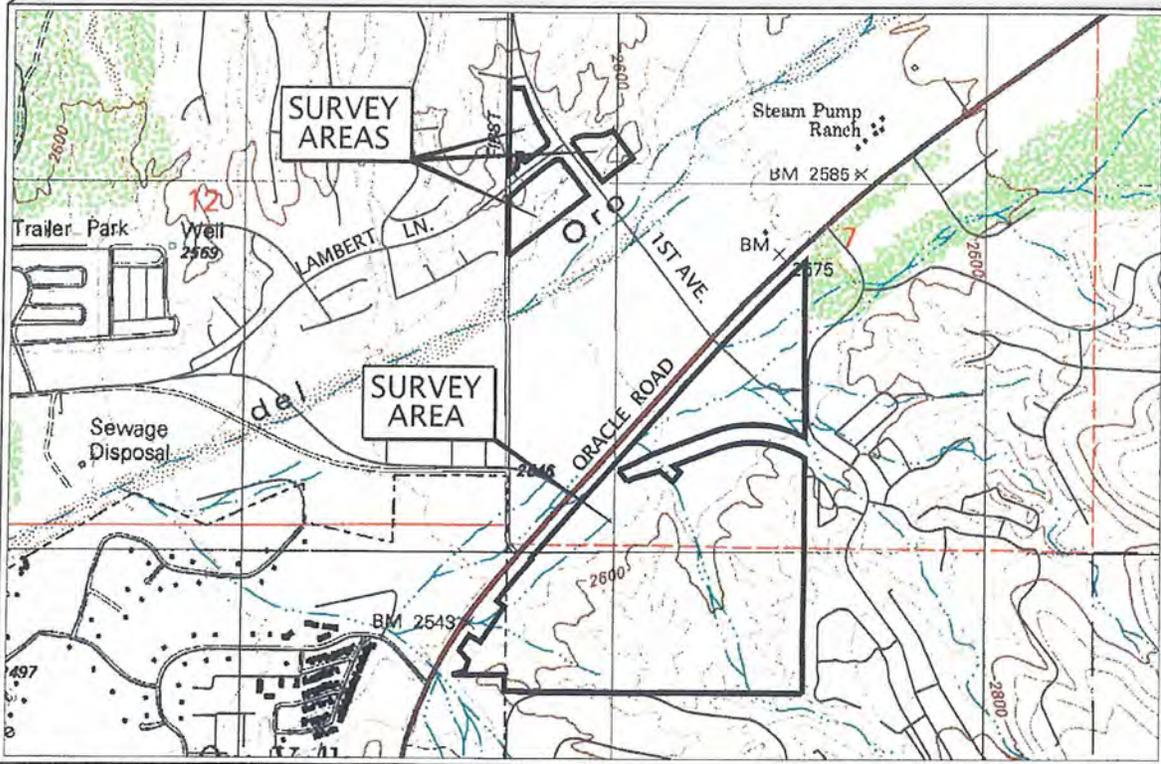
TUCSON METROPOLITAN AREA



PROJECT
LOCATION



Approximate Scale 1" = 10 Miles



T.12S.,R.13E., Portion Section 13,
T.12S.,R.14E., Portion Section 7 & 18, Pima County, Arizona,
Oro Valley USGS 7.5' Quadrangle.

CANYON DEL ORO PARTNERS Rooney Ranch II

2010 Cactus Ferruginous Pygmy-Owl Survey

Figure 1

WestLand Resources Inc.
Engineering and Environmental Consultants
2343 E. Broadway Blvd., Suite 202
Tucson, Az 85719 (520) 206-8588

0' 800' 1600'
APPROX. SCALE: 1" = 1600'

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APPENDIX 'F'

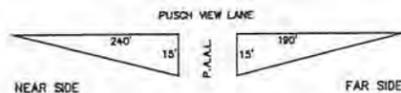
GENERAL NOTES:

- A. GROSS AREA OF THIS DEVELOPMENT IS 141.15 ACRES.
 B. EXISTING ZONING IS R1-144.
 PROPOSED ZONING IS ORO VALLEY TOWN CENTRE PLANNED AREA DEVELOPMENT.
 C. GROSS FLOOR AREA IS AS FOLLOWS:
- | | |
|----------|--------------|
| BLDG. A: | 13,000 S.F. |
| BLDG. B: | 6,500 S.F. |
| BLDG. C: | 6,000 S.F. |
| BLDG. D: | 27,100 S.F. |
| BLDG. E: | 86,500 S.F. |
| BLDG. F: | 51,000 S.F. |
| BLDG. G: | 7,200 S.F. |
| BLDG. H: | 55,800 S.F. |
| BLDG. I: | 10,600 S.F. |
| BLDG. J: | 11,100 S.F. |
| BLDG. K: | 12,400 S.F. |
| BLDG. L: | 5,000 S.F. |
| BLDG. M: | 41,500 S.F. |
| BLDG. N: | 29,000 S.F. |
| BLDG. O: | 150,000 S.F. |
| BLDG. P: | 6,700 S.F. |
| BLDG. Q: | 15,000 S.F. |
| BLDG. R: | 8,000 S.F. |
| BLDG. S: | 3,500 S.F. |
| BLDG. T: | 7,300 S.F. |
| BLDG. U: | 29,700 S.F. |
| TOTAL: | 566,700 S.F. |

- D. FLOOR AREA RATIO FOR COMMERCIAL AREA IS 0.29 NET (0.11 GROSS).
 F. THE RESIDENTIAL GROSS DENSITY IS 0.8 DWELLING UNITS PER ACRE.
 G. THERE ARE 57 RESIDENTIAL DWELLINGS WITHIN THE RESIDENTIAL PORTION OF THE SITE.
 THERE ARE NO RESIDENCES WITHIN THE COMMERCIAL PORTION OF THE SITE.
 H. BUILDING HEIGHTS WILL BE IN ACCORDANCE WITH THE ORO VALLEY TOWN CENTRE P.A.D.
 I. TOTAL NUMBER OF PARKING SPACES PROVIDED (NON-RESIDENTIAL) IS 1,633.
 THE AMOUNT OF RESIDENTIAL OFF-STREET PARKING WILL BE IN ACCORDANCE WITH
 ORO VALLEY ZONING CODE REVISED.
 J. APPROXIMATELY 72 ACRES OF NATURAL OPEN SPACE WILL REMAIN UNDISTURBED.
 K. FLOODPLAINS AND DRAINAGE WILL NOT BE ALTERED, DISTURBED OR OBSTRUCTED WITHOUT
 THE APPROVAL OF THE ORO VALLEY TOWN COUNCIL. REFER TO THE PRELIMINARY
 DRAINAGE REPORT FOR LOCATION OF FLOODPLAINS TO BE ALTERED AND FOR AN OVERALL
 DRAINAGE STRATEGY FOR THIS PROJECT.
 L. THIS PROJECT WILL BE SERVED BY ORO VALLEY WATER UTILITY WHICH HAS BEEN DESIGNATED AS
 HAVING AN ASSURED 100-YEAR WATER SUPPLY BY THE DIRECTOR OF WATER RESOURCES.
 M. FOR DETAILS ABOUT LOCATION AND GENERAL TYPES OF LANDSCAPING, REFER TO
 SECTION II-E: 'PROJECT DESIGN CRITERIA' OF THE ORO VALLEY TOWN CENTRE P.A.D. DOCUMENT.
 N. FOR DETAILS ABOUT PROJECT PHASING, REFER TO SECTION II-B: 'COMMUNITY GOALS AND POLICIES'
 OF THE ORO VALLEY TOWN CENTRE P.A.D. DOCUMENT.
 O. FOR DETAILS ABOUT BUILDING HEIGHTS, REFER TO SECTION II-D: 'PLANNED AREA DEVELOPMENT PROPOSAL'
 OF THE ORO VALLEY TOWN CENTRE P.A.D. DOCUMENT.

LEGEND

- EXISTING 5' CONTOUR
- EXISTING 1' CONTOUR
- GRADING LIMITS
- EXISTING PAVEMENT AND CURB
- EXISTING WATERLINE AND VALVE
- EXISTING SEWER LINE AND MANHOLE
- NEW WATERLINE AND VALVE
- NEW SEWER LINE AND MANHOLE
- DEVELOPMENT BOUNDARY
- EASEMENT LINE
- 100-YEAR FLOOD PLAIN LIMIT
- BICYCLE PARKING FACILITIES
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- FINISHED FLOOR ELEVATION
- WATERSHED
- FLOW DIRECTION
- DRAINAGE CONCENTRATION POINT
- CHANNEL
- CHANNEL SECTION
- 100-YEAR FLOOD LIMITS
- MINNING'S/HEC-RAS CROSS SECTION
- CULVERT
- ROCK LINED SCOUR HOLE
- BANK PROTECTION
- NUMBER OF PARKING SPACES
- FIRST FLUSH BASIN



SIGHT VISIBILITY TRIANGLE DETAIL
N.T.S.

**TENTATIVE DEVELOPMENT PLAN FOR
 ORO VALLEY TOWN CENTRE
 PLANNED AREA DEVELOPMENT**

PORTIONS OF SECTION 13, TOWNSHIP 12 SOUTH, RANGE 13 EAST
 AND SECTIONS 7 AND 18, TOWNSHIP 12 SOUTH, RANGE 14 EAST,
 GILA AND SALT RIVER MERIDIAN,
 TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA
 ORO VALLEY CASE NUMBER OV9-01-05
 SUBMITTED: 04.29.2002

REVISED: 6.7&28, 7.16, 9.13, 12.13.2002, 7.10 & 12.5.2003



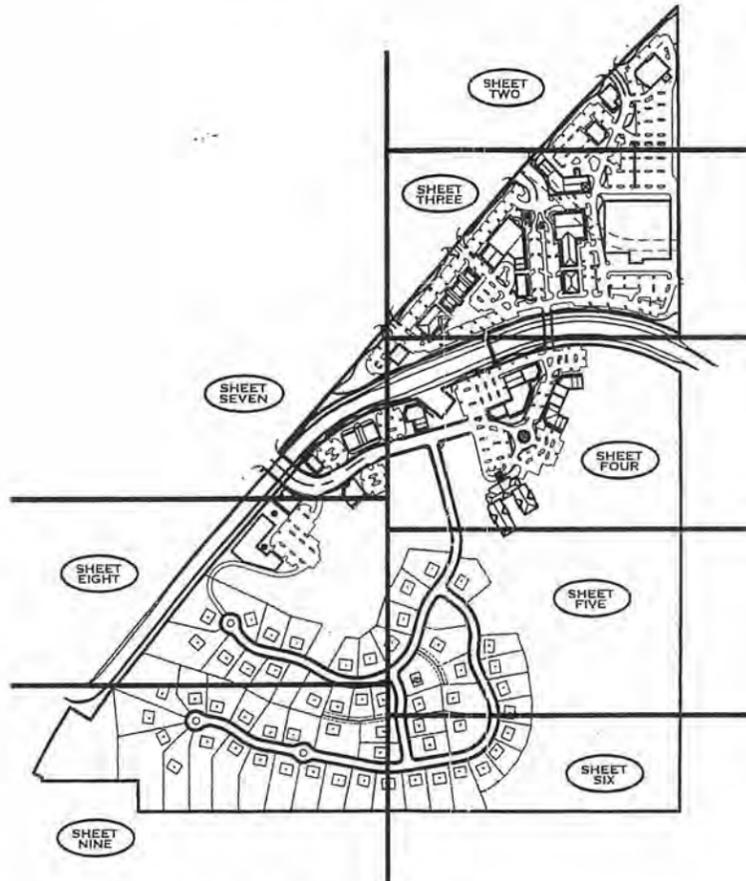
THIS PROJECT



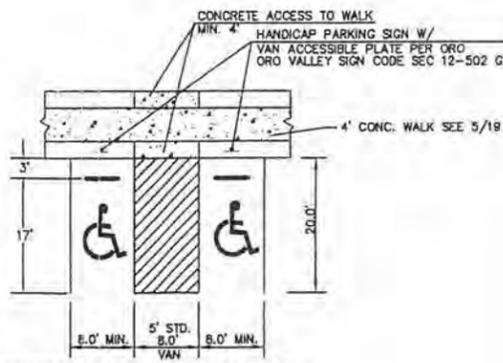
SCALE: 3" = 1 MILE

LOCATION MAP

PORTIONS OF SECTION 13, TOWNSHIP 12 SOUTH, RANGE 13 EAST,
 AND SECTIONS 7 AND 18, TOWNSHIP 12 SOUTH, RANGE 14 EAST,
 G. & S.R.M., TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA
 SCALE: 3" = 1 MILE



PROJECT LAYOUT
SCALE: 1" = 400'



**HANDICAP PARKING ADJACENT
 TO PEDESTRIAN AISLE**
N.T.S.

OWNER/APPLICANT
 CANADA DEL ORO PARTNERS
 401 SOUTH BOSTON AVENUE
 SUITE 2400
 TULSA, OKLAHOMA 74103-4010
 918.582.4300

PROJECT PLANNERS & ENGINEERS
 THE WLB GROUP, INC.
 4444 EAST BROADWAY BOULEVARD
 TUCSON, ARIZONA 85711
 520.881.7480

TABLE OF 100-YEAR POST-DEVELOPED PEAK DISCHARGES

CONC. POINT	DRAINAGE AREA (AC)	Q100 (cfs)	TOTAL Q100 (cfs)
1	1.24	9.8	9.8
1.1	6.77	53.4	53.4
1.2	7.13	56.2	56.2
1.4	1.01	8	8
1.5	0.92	7.3	7.3
1.6	1.24	9.8	9.8
1.7	1.83	14.4	14.4
1.8	1.42	11.2	11.2
1.9	2.26	17.8	17.8
1.9A	0.32	2.80	2.80
1.9B	0.32	2.80	2.80
1.9C	0.32	2.80	2.80
1.10	2.83	22.3	22.3
2	2.88	22.3	22.3
2.1	1.95	15.4	15.4
2.2	3.82	31.8	31.8
2.3	1.22	9.6	9.6
3	25.56	143.9	143.9
3.1	2.37	18.7	18.7
3.2	2.43	19.5	19.5
3.3	24.86	139.5	139.5
3.4	2.58	20.3	20.3
3.5	9.02	51.6	51.6
3.6	6.60	44.9	44.9
3.7	3.06	16.9	16.9
4	1.35	10.6	10.6
5	1.10	8.7	8.7
6	6.80	46.3	46.3
7	2.57	17.5	17.5
7.1	0.41	2.8	2.8
8	5.20	29.7	29.7
9	1.56	9.8	9.8
9.1	6.84	45.2	45.2
10	2.48	15.5	15.5
11	7.10	44.5	44.5
11.1	4.87	33.1	33.1
11.2	2.50	14.3	14.3
1.1E	29.30	213	213
1.2E	2.10	16	16
1.3E	14.90	116	116
3.1E	11.38	20	20
7.1E	174.12	1123.1	1123.1
15E	883.80	3480	3480

*Total Q100 from all upstream watersheds.

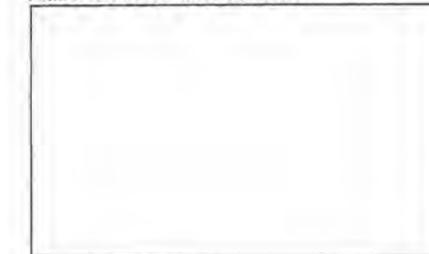
TABLE OF 100-YEAR PRE-DEVELOPED PEAK DISCHARGES GREATER THAN OR EQUAL TO 50 CFS

CONCENTRATION POINT	Q100 (cfs)
1E	9.8
1.1E	53.4
1.3E	116
2E	70
3E	92
3.1E	50
7E	1495
7.1E	1125
12E	97
13E	57
14E	113
15E	4752
15.1E	2480
16E	54

TABLE OF PRE-DEVELOPED 100-YEAR WATER SURFACE ELEVATIONS FROM HEC-RAS ANALYSIS

CONC. POINT	WATER SURFACE ELEVATION (ft)	CHANNEL BOTTOM (ft)	WATER DEPTH (ft)
1.1-1	2571.65'	14.1	2584.71'
1.1-2	2570.40	14.2	2577.76'
1.1-3	2568.05'	14.3	2562.07'
1.1-4	2563.11'	14.4	2548.83'
1.1-5	2560.54'	15A	2581.04'
1.3-1	2571.42'	15B	2576.30'
1.3-2	2568.66'	15C	2576.91'
1.3-3	2566.82'	15D	2571.94'
2.1	2562.28'	15E	2572.43'
2.2	2563.08'	15F	2568.76'
3.1	2638.03'	15G	2571.35'
3.2	2621.01'	15H	2568.78'
3.3	2611.05'	15I	2565.42'
3.4	2604.35'	15J	2561.24'
3.5	2596.06'	15K	2558.13'
7.1	2570.71'	15L	2555.94'
7.2	2577.04'	15M	2552.62'
7.3	2583.13'	15N	2554.25'
7.4	2590.28'	15O	2551.10'
7.5	2598.61'	15P	2548.53'
7.6	2602.64'	15Q	2548.25'
7.7	2609.46'	15R	2547.62'
7.8	2617.46'	15S	2544.49'
12.1	2546.13'	15T	2543.27'
12.2	2545.86'	15U	2540.61'
13.1	2544.86'	16.1	2547.23'

PIMA COUNTY ADDRESSING



I, KATHRYN E. CUEJER, CMC, TOWN CLERK, TOWN OF ORO VALLEY, ARIZONA, HEREBY CERTIFY THAT THIS IS THE TRUE AND CORRECT DEVELOPMENT PLAN AS APPROVED BY THE ORO VALLEY MAYOR AND TOWN COUNCIL ON _____

KATHRYN E. CUEJER, CMC TOWN CLERK DATE _____

HOME DEPOT

ALBERTSON'S

LA RESERVE DRIVE / ORACLE ROAD
WESTBOUND INTERSECTION GEOMETRY:
TWO LEFT TURN LANES (200' STORAGE)
ONE RIGHT TURN LANE (100' STORAGE)

BANK OF AMERICA

PEDESTRIAN
ACCESS
POINT
DESERT POINT
LEISURE CARE
RETIREMENT
COMMUNITY

FIRST AVENUE
(200' R.O.W.)

ORACLE ROAD (200' R.O.W.)

LA RESERVE DRIVE

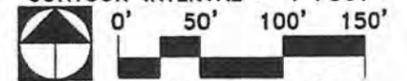
SEE SHEET THREE

TENTATIVE DEVELOPMENT PLAN FOR
ORO VALLEY TOWN CENTRE
PLANNED AREA DEVELOPMENT

PORTIONS OF SECTION 13, TOWNSHIP 12 SOUTH, RANGE 13 EAST
AND SECTIONS 7 AND 18, TOWNSHIP 12 SOUTH, RANGE 14 EAST,
GILA AND SALT RIVER MERIDIAN,
TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA
ORO VALLEY CASE NUMBER OV9-01-05
SUBMITTED: 04.29.2002

REVISED: 6.7, 6.28, 7.16, 9.13, 12.13.2002, 7.10 & 12.5.2003

CONTOUR INTERVAL = 1 FOOT



WLB No. 181057-A-007

SHEET TWO OF TEN

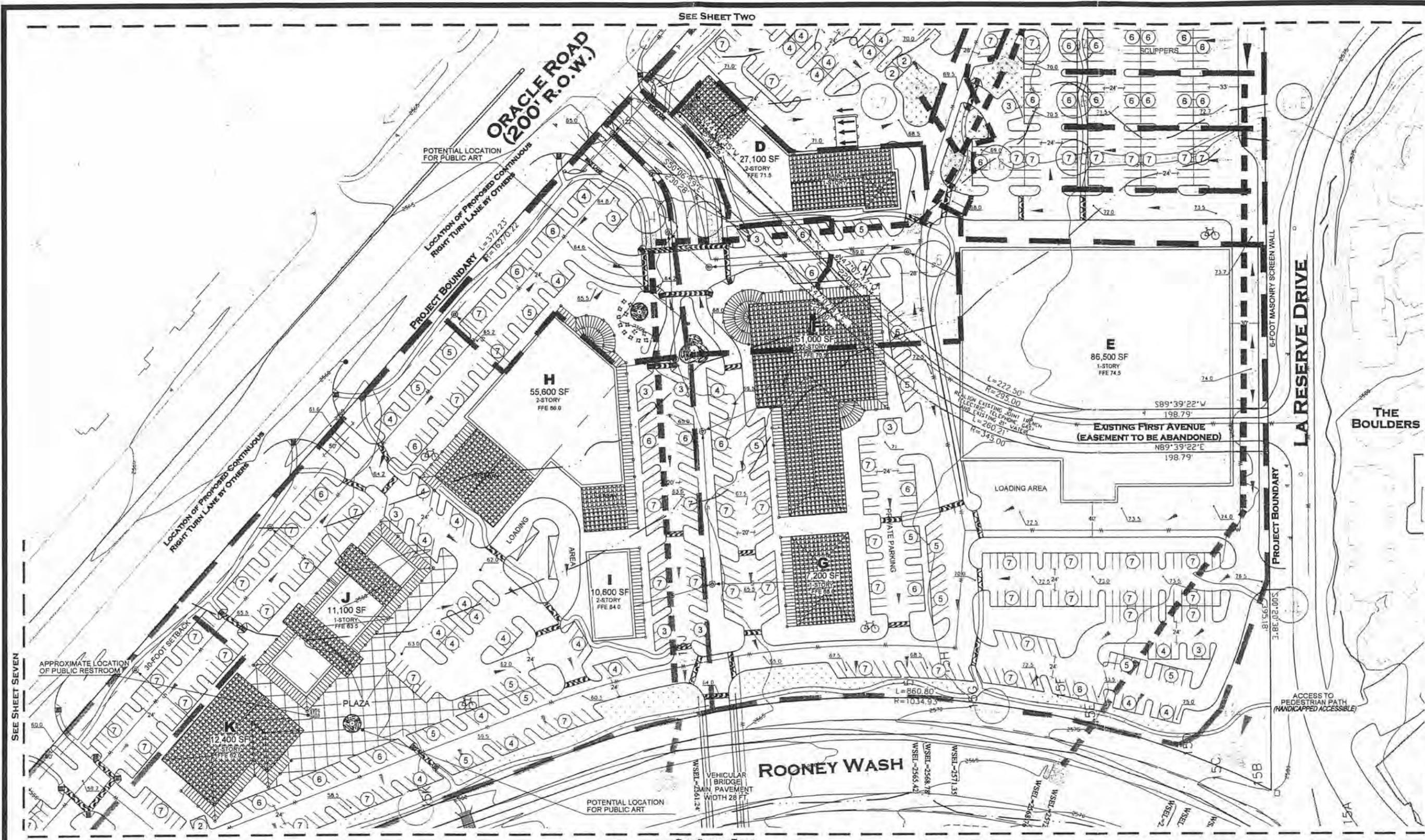
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SEE SHEET TWO

SEE SHEET FOUR

**TENTATIVE DEVELOPMENT PLAN FOR
ORO VALLEY TOWN CENTRE
PLANNED AREA DEVELOPMENT**

PORTIONS OF SECTION 13, TOWNSHIP 12 SOUTH, RANGE 13 EAST
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CONTOUR INTERVAL = 1 FOOT
0' 50' 100' 150'

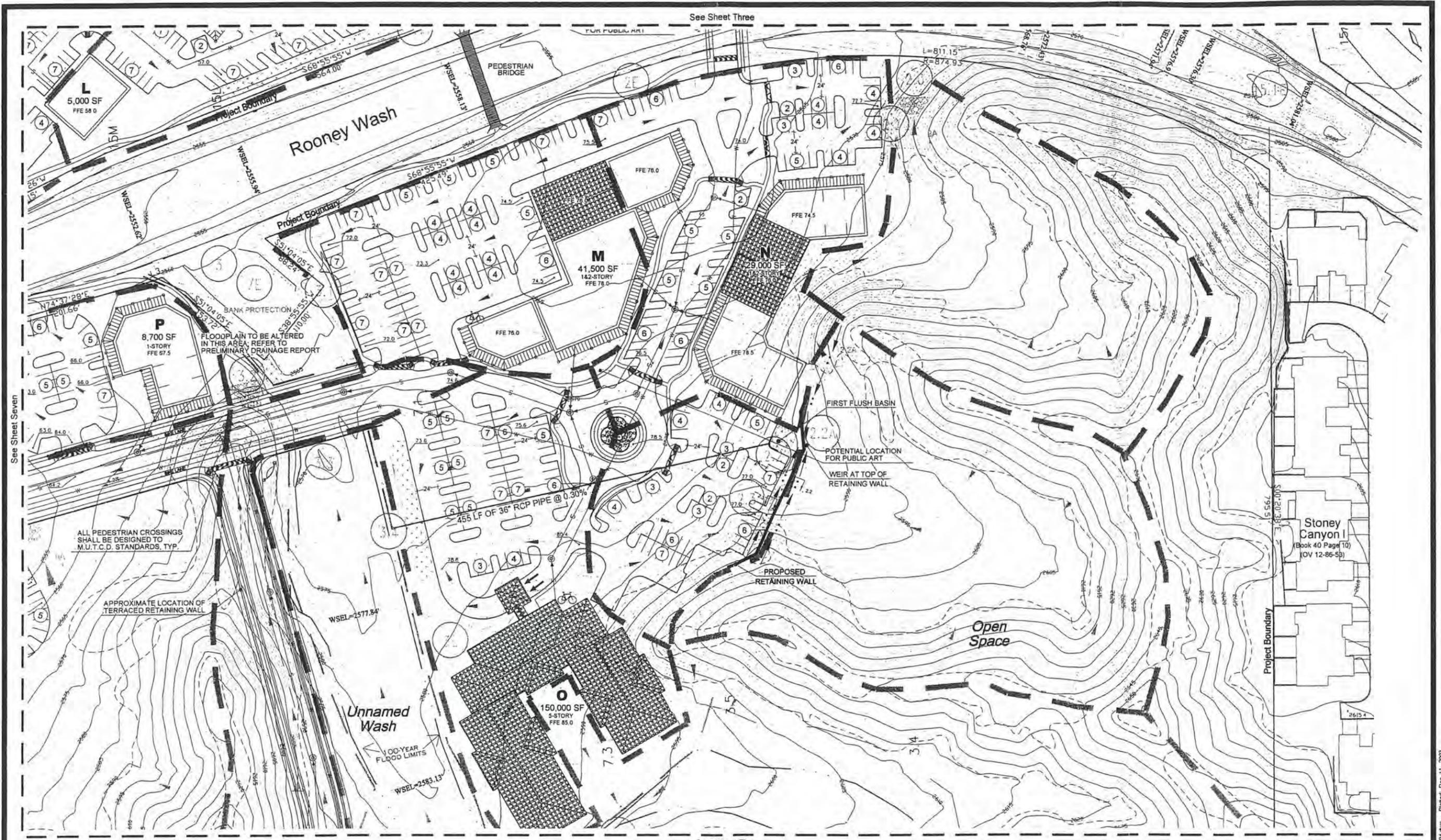
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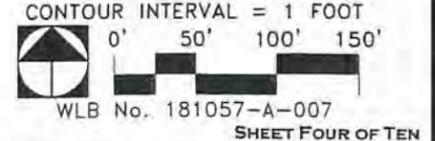
See Sheet Three

See Sheet Seven

See Sheet Five

TENTATIVE DEVELOPMENT PLAN FOR
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 PLANNED AREA DEVELOPMENT

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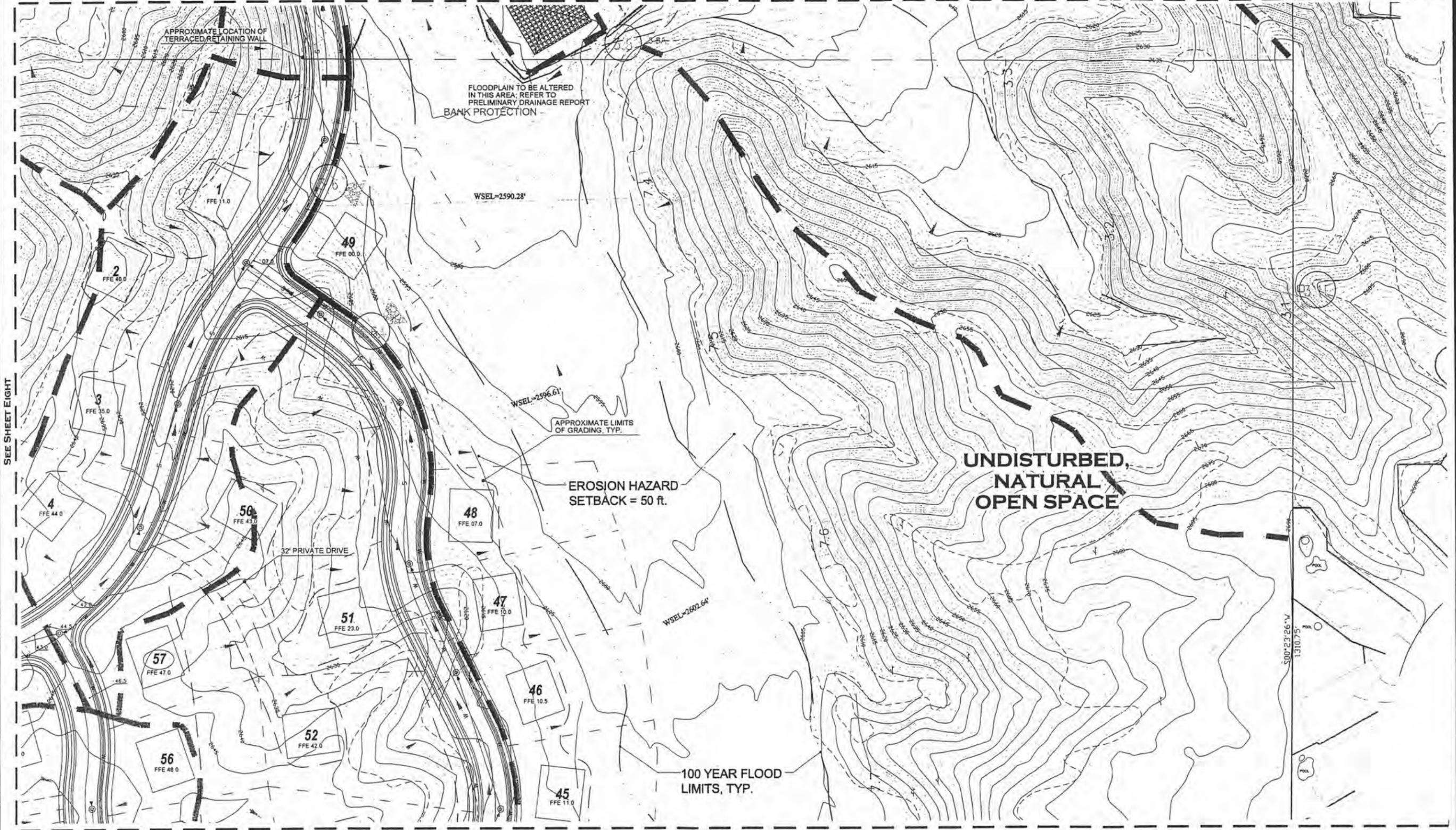
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SEE SHEET FOUR



SEE SHEET EIGHT

SEE SHEET SIX

TENTATIVE DEVELOPMENT PLAN FOR
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 PLANNED AREA DEVELOPMENT

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SHEET FIVE OF TEN

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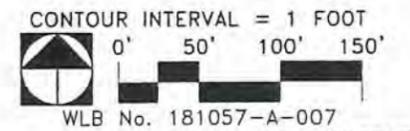
SEE SHEET FIVE



TENTATIVE DEVELOPMENT PLAN FOR
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SHEET SIX OF TEN



SEE SHEET EIGHT

SEE SHEET FOUR

TENTATIVE DEVELOPMENT PLAN FOR
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SEE SHEET SEVEN



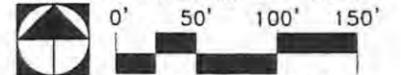
SEE SHEET NINE

TENTATIVE DEVELOPMENT PLAN FOR
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 PLANNED AREA DEVELOPMENT

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SUBMITTED: 04.29.2002
 REVISED: 6.7, 6.28, 7.16, 9.13, 12.13.2002, 7.10 & 12.5.2003

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SHEET EIGHT OF TEN

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SEE SHEET FIVE

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SEE SHEET EIGHT



SEE SHEET SIX

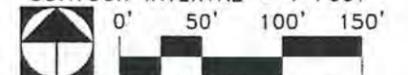
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WLB No. 181057-A-007

SHEET NINE OF TEN

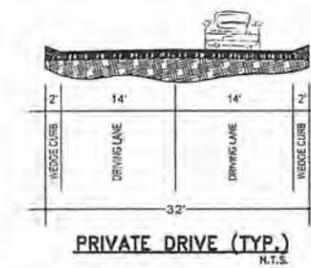
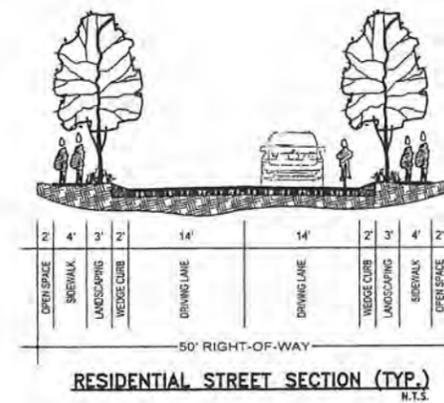
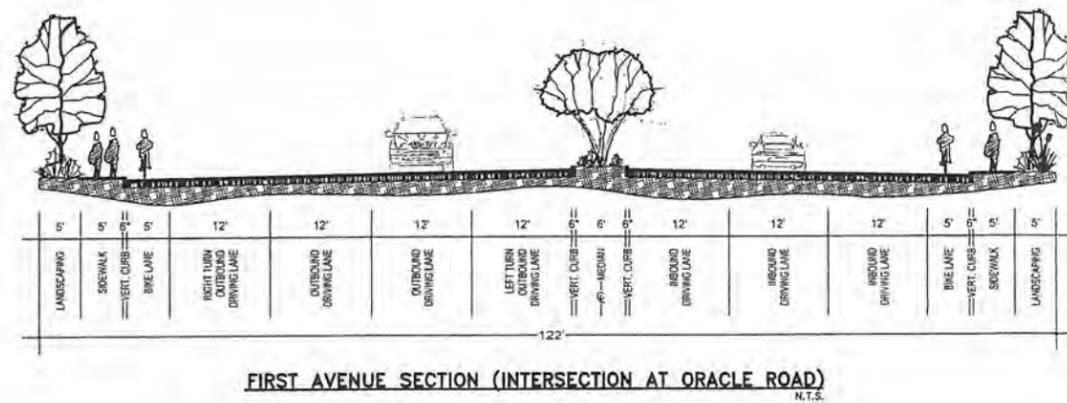
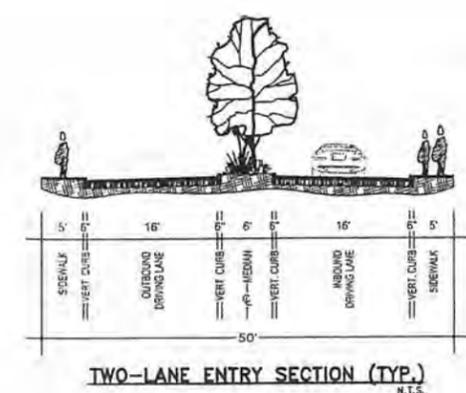
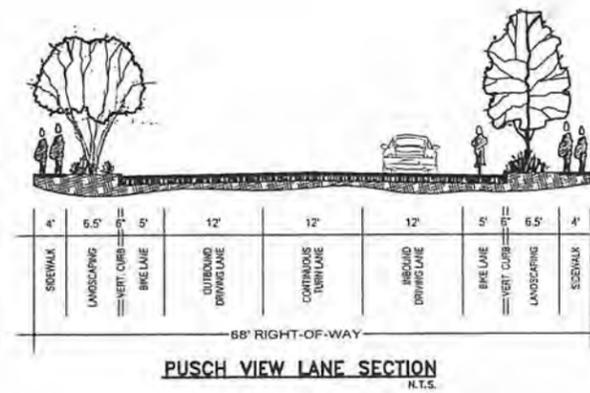
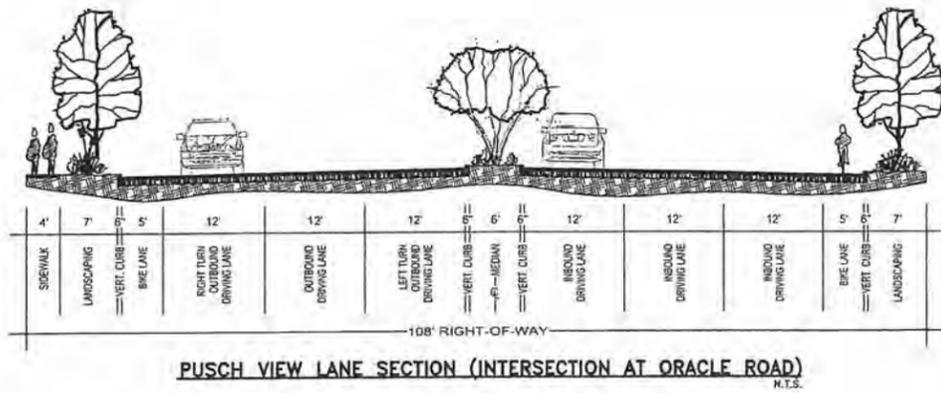
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TENTATIVE DEVELOPMENT PLAN FOR
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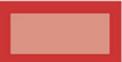
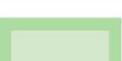
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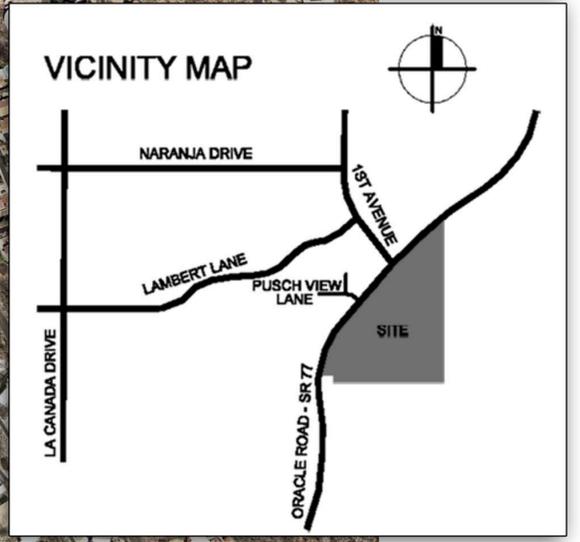
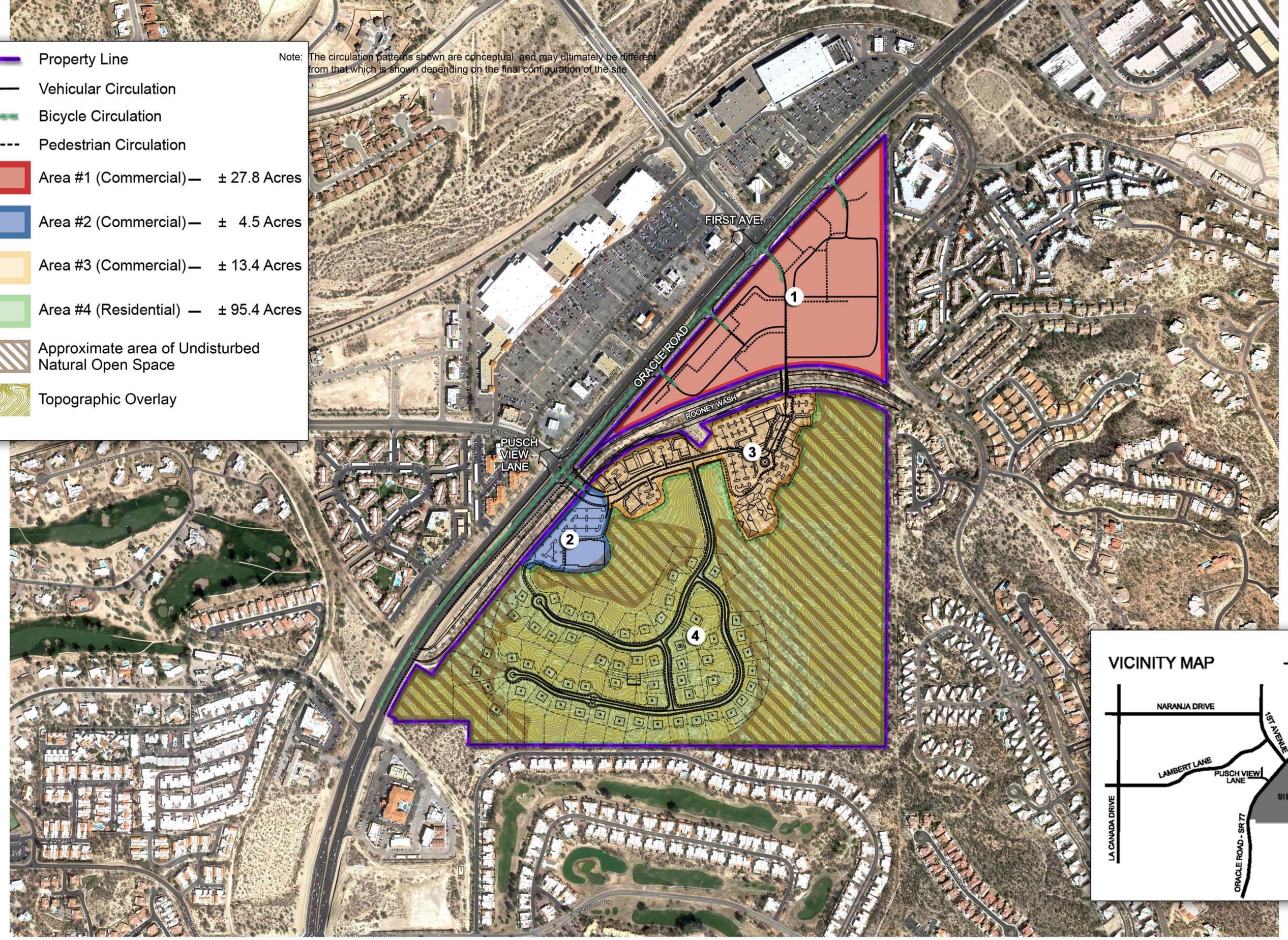
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Note: The circulation patterns shown are conceptual, and may ultimately be different from that which is shown depending on the final configuration of the site.

-  Property Line
-  Vehicular Circulation
-  Bicycle Circulation
-  Pedestrian Circulation
- 1**  Area #1 (Commercial) — ± 27.8 Acres
- 2**  Area #2 (Commercial) — ± 4.5 Acres
- 3**  Area #3 (Commercial) — ± 13.4 Acres
- 4**  Area #4 (Residential) — ± 95.4 Acres
-  Approximate area of Undisturbed Natural Open Space
-  Topographic Overlay



ORO VALLEY *Towne Center*
 ORACLE ROAD & FIRST AVENUE
 TOWN OF ORO VALLEY, ARIZONA

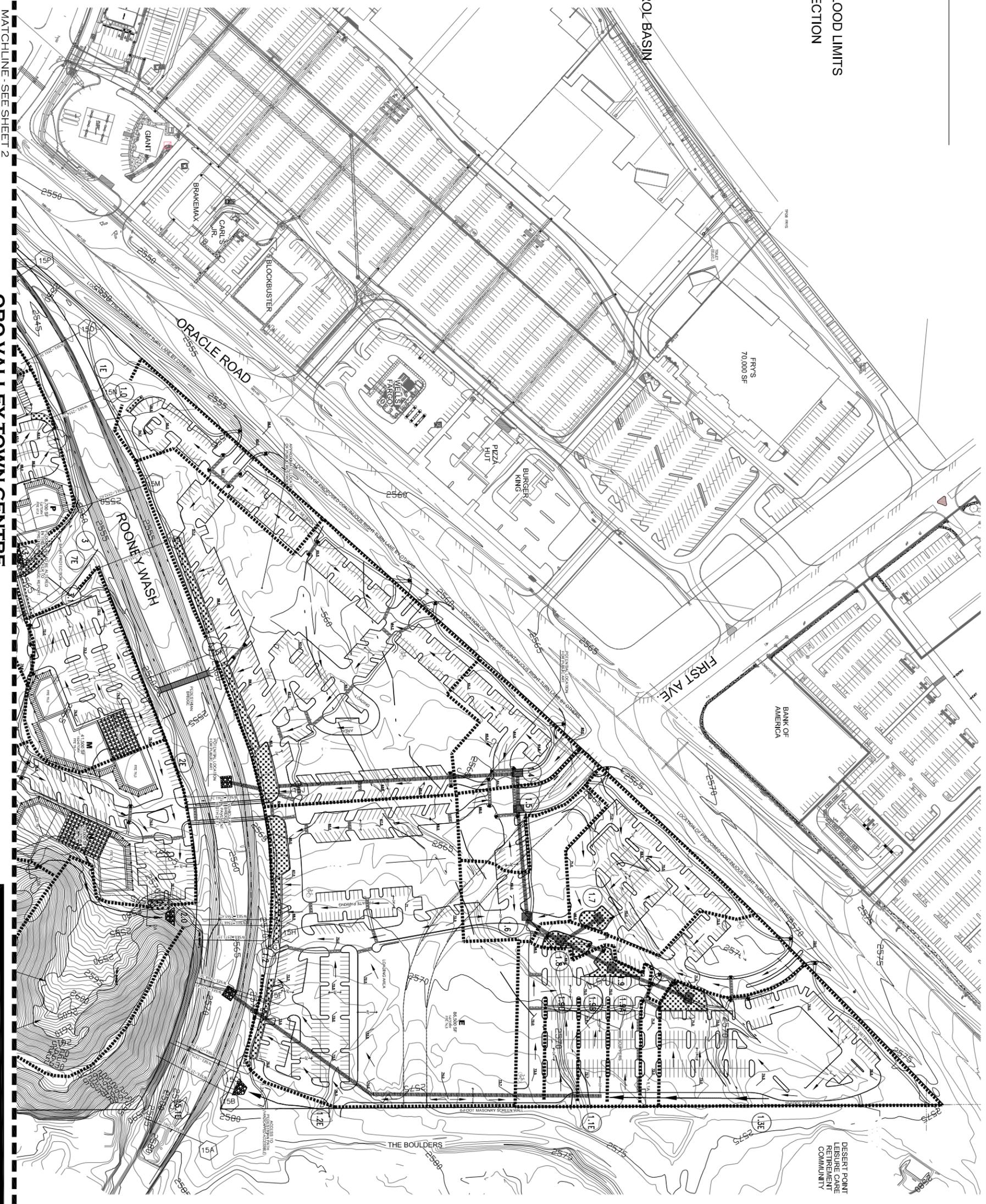
Tentative Development Plan (TDP)



LEGEND

- WATERSHED BOUNDARY
- FLOW DIRECTION
- ① CONCENTRATION POINT
- CHANNEL
- 100-YEAR POST-DEVELOPED FLOOD LIMITS
- MANNING'S/HEC-RAS CROSS SECTION
- PIPE
- ROCK LINED SCOUR HOLE
- BANK PROTECTION
- CATCH BASIN
- SIDEWALK SCUPPERS
- CHANNEL CROSS SECTION
- STORMWATER QUALITY CONTROL BASIN
- RIP RAP PAD
- SPOT GRADE

SECTION	DATE	WATER SURFACE ELEVATION
1.1-1	2571.85	14.1
1.1-2	2570.40	14.2
1.1-3	2568.85	14.3
1.1-4	2563.11	14.4
1.1-5	2560.54	15A
1.1-6	2571.42	15B
1.1-7	2568.88	15C
1.1-8	2568.82	15D
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1.7	2598.06	15K
1.8	2570.71	15L
1.9	2571.84	15M
2.0	2583.13	15N
2.1	2594.25	15O
2.2	2594.25	15P
2.3	2596.81	15Q
2.4	2602.84	15R
2.5	2609.46	15S
2.6	2617.46	15T
2.7	2548.13	15U
2.8	2545.86	15V
2.9	2544.86	15W
3.0	2544.86	15X



0' 100' 200' 300'

SHEET 1 OF 2

WBNO. 1811057-R011

ORO VALLEY TOWN CENTRE

EXHIBIT DD-1

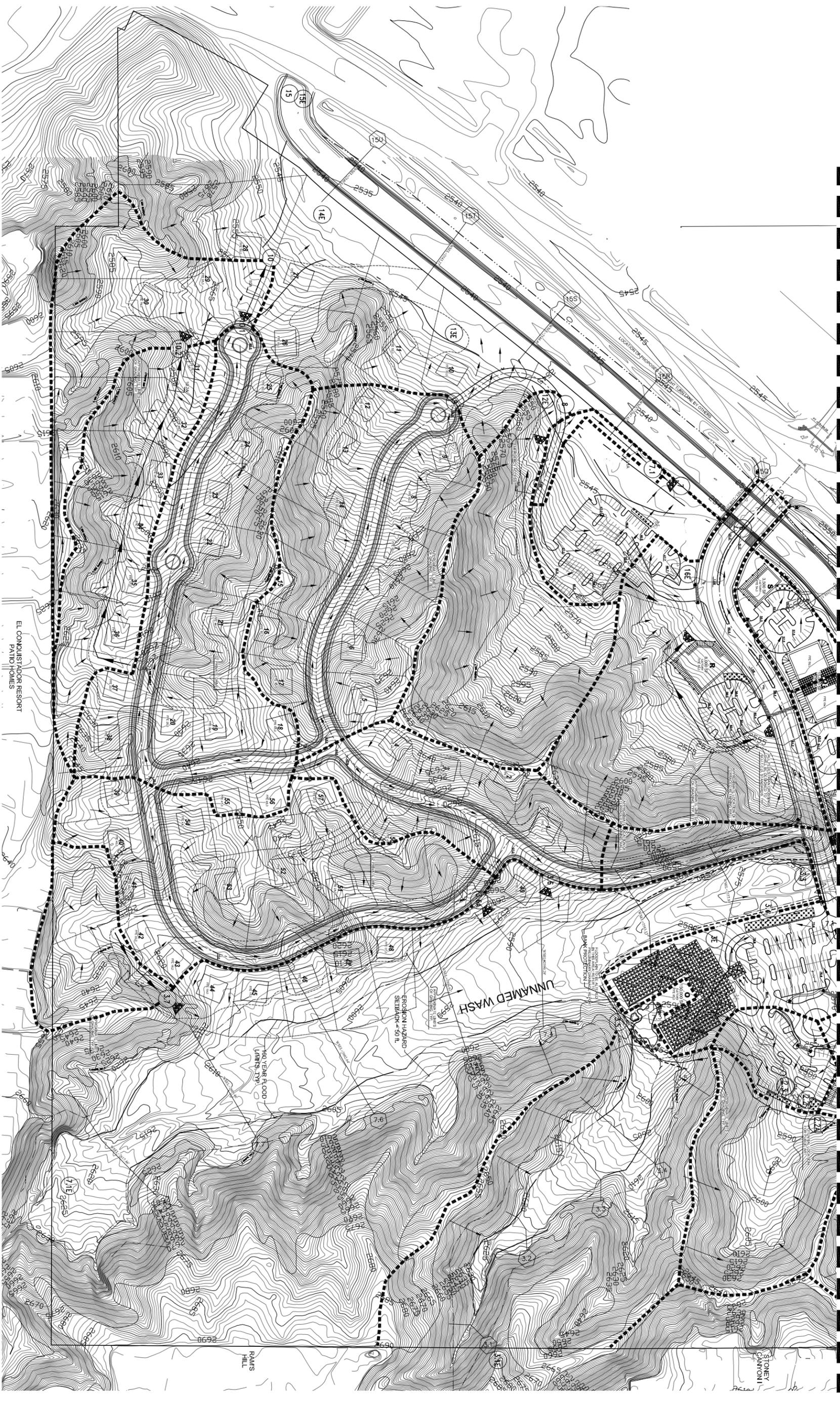
CONCEPTUAL GRADING PLAN

The WLB Group

WLB

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Las Vegas and Victor Valley, CA
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Tucson, Arizona (520) 881-7480

MATCHLINE - SEE SHEET 1



0' 100' 200' 300'

SHEET 2 OF 2
WLB NO. 181057-R011

ORO VALLEY TOWN CENTRE EXHIBIT DD-1 CONCEPTUAL GRADING PLAN

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Tucson, Arizona (520) 881-7480

Planning & Zoning Commission Recommended
Conditions of Approval
Oro Valley Town Centre PAD Amendment (OV911-03)
August 2, 2011

Planning Conditions

1. Pedestrian cross connections from the east side of Development Area #1 to La Reserve shall be provided.
2. Page BB-1: Community Goal and Policy #1 shall contain language indicating that the design, uses, and focus of the development should consider the creation of a discernable center.
3. Page BB-1: Community Goal and Policy #6, "through the use of sensitive grading plans and re-vegetations, create and treat cut slopes such that they will appear not to have been disturbed" shall be retained. Mitigated to an acceptable standard consistent with current Town standards effective at the time of development.
4. Page BB-8: Add language indicating that substantial modifications to the Illustrative Site Plans that substantially deviate from the development concepts in terms of land use mix, development density or intensity, as determined by the Planning and Zoning Administrator, shall be subject to Town Council approval.
5. Page EE-6: As the project will be developed subject to market demand, the PAD shall contain language encouraging and preserving the opportunity for a vertically mixed use development, including the opportunity for a New Urbanist Main Street component to be defined by the PAD.
- (6. A condition related to the number of convenience uses should be created based on direction received from Council at the Study Session.)
- (7. A more detailed definition of multiple use or mixed use should be included in the PAD.)

Engineering Conditions

1. The associated Traffic Impact Analysis (TIA) must be revised and approved as a condition of PAD Amendment approval at Mayor & Council.
2. The Developer must obtain Town of Oro Valley and ADOT approval of a site specific Traffic Impact Analysis prior to future Conceptual Site Plan Approval.
3. This development shall be responsible to design and pay for any improvements to the public road network as determined to be required by future TIA(s) at the time of development.
4. If modifications to Oracle Road are required as stipulated in the TIA, approval by the Arizona Department of Transportation (ADOT) will be required prior to approval of this TIA.

Oro Valley Apartment Occupancy Rates
 August, 2011 phone survey

Apartment Name	Number of Units	Occupancy Rate %
Boulder Canyon at La Reserve	240	91.00
Catalina Crossing	97	87.00
Golf Villas at Oro Valley	281	95.00
La Reserve Villas	240	95.00
Oro Vista Apts	138	89.00
Pusch Ridge Apts	144	94.00
Rock Ridge Apts	319	94.00
Saddle Ridge	248	92.00
Sundown Village Apts	330	93.00
The Overlook at Pusch Ridge	424	95.50
Averages	246	92.6

TOWN OF ORO VALLEY

PLANNING & ZONING COMMISSION

MEETING DATE: August 2, 2011

TO: PLANNING & ZONING COMMISSION

FROM: David A. Williams, AICP, Planning Division Manager

SUBJECT: Public Hearing: Planned Area Development (PAD) Amendment for the Oro Valley Town Centre at Rooney Ranch, located on the east side of Oracle Road and First Avenue, (OV911-003).

SUMMARY

The proposed Planned Area Development (PAD) amendment is primarily focused on the 27.8-acre (Area #1 on Exhibit CC-1 in the attached PAD redline) and 4.5-acre commercial portions of property (Area #2 on Exhibit CC-1) within the Oro Valley Town Centre PAD, located on the east side of Oracle Road between First Avenue and the Rooney Wash. The other areas of the PAD, including the hotel/office/retail site (Area #3 on Exhibit CC-1) and the residential portion (Area #4 on Exhibit CC-1), lie to the south of the commercial property, between the Rooney Wash and Pusch View Lane and are not proposed to be changed by the PAD amendment. The Oro Valley Town Centre PAD is approximately 141 acres in size and is currently undeveloped.

The PAD amendment request entails numerous minor and substantive changes to the PAD which affect the overall land use mix by permitting ground level multi-family residential, additional conditional uses, and PAD development standards. Many of the proposed amendments are relatively minor in nature and serve to update and modernize the PAD to be consistent with current conditions and Town regulations, including the Landscape Conservation code and Design Standards. The focus of this report is on the more substantive issues, including the proposed land use mix and development standards.

BACKGROUND

Amendment Request

The applicant's stated objective is to allow greater flexibility in designing the commercial phase of the Oro Valley Town Centre. The vision for the commercial portion of the current PAD is to create a "discernable [town] center" (Goal 1) and "*commercial core, which is effectively new, exciting, and different to the extent that it offers a distinctive and excellent alternative to other business, retail, and residential areas in the Northern Tucson metropolitan region*" (Goal 7). The amendment request would change the focus of the PAD to a more traditional suburban shopping center with enhanced pedestrian connectivity. The applicant states that the PAD requires an amendment to allow more flexibility to attract potential businesses while still maintaining high development standards as embodied in the existing PAD.

Site Conditions

- Total PAD area is 141 acres; primary commercial portion (Area #1) is 27.6 acres; Area #2 is 4.5 acres
- Zoning is Oro Valley Town Centre PAD
- The entire property is currently vacant
- Approved uses include retail, restaurants, hotel and single family residential

Approvals to Date

- The PAD was approved by Town Council on October 16, 2002 (Ordinance 02-33)

TOWN OF ORO VALLEY

PLANNING & ZONING COMMISSION STAFF REPORT

Page 2 of 8

- The approved Tentative Development Plan (TDP) or site plan is included as Appendix F in the attached redlined PAD.

Surrounding Land Uses

Direction	Zoning	Land Use
North	La Reserve PAD	Desert Pointe Retirement Community
South	El Conquistador PAD	Single Family Residential
East	La Reserve PAD	(NE)-Commercial and Multi-Family Residential (SE)-Single Family Residential
West	Rooney Ranch PAD	(NW)-Commercial/Retail (SW)-Office and Multi-Family Residential

General Plan Conformance

The General Plan designates Area #1 (commercial portion) of the PAD as Neighborhood Commercial/Office. This designation denotes commercial and office areas located with good arterial access that are close to residential areas. Uses may include grocery stores, drugstores, and offices that tend to serve the surrounding neighborhood and are integrated with those neighborhoods. Further, this property is designated as a "Growth Area" in the General Plan, which, pursuant to State Statute, is an area that is, "particularly suitable for planned multi-modal transportation and infrastructure expansion and improvements designed to support a planned concentration of a variety of uses, such as residential, office, commercial, tourism and industrial uses".

The following General Plan policies are notable for this proposal:

Policy 1.3.3, "The Town shall encourage the establishment of new commercial uses in areas so designated on the land use map near new residential neighborhoods with the type, scale and potential for buffering to be taken into account"

The proposed amendment will allow a greater variety of commercial uses. The office or multi-family uses would be placed in accordance with the Illustrative Site Plans (see Appendix CC-1 in the PAD) adjacent to La Reserve.

Policy 1.3.4, "The Town shall encourage clustering of commercial developments at specific nodes or villages that are planned with strict aesthetic and design guidelines. The Town shall discourage strip commercial developments and free-standing pads"

While the development will adhere to the Town's Design Standards and landscape code, the commercial development will be based largely on free-standing pads. The "main street" node envisioned in the current PAD is no longer proposed.

Policy 3.1, "To ensure long-term financial and economic sustainability for the Town of Oro Valley"

The applicant states that they have not found a viable market for this the currently approved mixed use main street type of development and that the additional development flexibility requested will allow them to respond to existing market demand. This is contrasted with the Town's long-term goal of ensuring economic sustainability through the development of unique, regionally-significant mixed-use activity centers.

ANALYSIS OF PROPOSED PAD AMENDMENTS

Amendment Overview

The proposed PAD amendments involve a range of items that are focused on the 27.8 acre commercial area (Area #1) located north of the Rooney Wash and 4.5-acre Area #2 located south of the Rooney Wash. Staff has worked with the applicant and neighbors to identify areas of concern and the applicant has integrated PAD standards that address many of these issues, including a modified request for additional building height, landscape standards, and Design Standards.

Substantive Issues

The substantive items, including those relating to building heights, convenience uses, and the multi-family are summarized below. Please refer to the attached comparison table of existing PAD standards and the proposed amendments (Attachment #3).

Below is a summary of the substantive items followed by existing PAD requirements and staff commentary:

1. Convenience Uses: The applicant is requesting to delete the limitation on the number of convenience uses and the requirement that the applicant obtain Mayor and Council approval for fast food, drive-through or drive-in restaurants, gas stations, or car washes. Further, the applicant proposes to include the requirement for a Conditional Use Permit (CUP) for convenience uses per the Town Zoning Code.

Existing PAD requirement: The PAD allows up to three (3) convenience uses and limits the type of uses unless Mayor and Council approval is granted. Convenience uses are exempted from the CUP requirements of the Zoning Code.

Staff Response: As a trade off for expanded list of conditional uses, the amendment proposes the use of the CUP process to allow the Town to closely examine each proposal and limit convenience uses if they are deemed incompatible or have significant negative impacts.

2. Multi-Family Residential: The applicant is requesting potential for multi-family residential development to be located towards the rear of Area #1 as depicted on two (2) of the four (4) Illustrative Site Plans

Existing PAD requirement: The PAD currently allows vertically integrated residential development (e.g. second floor residential units above first floor office or retail).

Staff Response: Staff recommends a multi-family residential unit cap of 275 units rather than the 15.5 acres originally proposed by the applicant. This suggestion has been accepted by the applicant and integrated into the PAD.

3. Building Height: The applicant requests a maximum building height of 40 feet for C-1, C-2, and C-N commercial uses exclusive of architectural elements which can extend an additional 5 feet, provided that the architecture provides visual relief to avoid building massing concerns. Further, the applicant proposes that office uses shall not exceed 50 feet inclusive of architectural elements. See Massing Study Photo Simulations (Attachment #4) for a visualization of how the office buildings would appear (at 60 feet tall as originally proposed).

TOWN OF ORO VALLEY

PLANNING & ZONING COMMISSION STAFF REPORT

Page 4 of 8

Existing PAD requirement: The PAD currently allows commercial and office uses (C-1, C-2, and C-N) to 35 feet with an additional 10 feet for architectural elements.

Staff Response: The applicant's request allows an additional 5 feet for commercial/retail buildings and 10 feet for office buildings, as shown on the following table. Please note that the additional allowance for architectural elements is permitted by right in the PAD:

Description	Proposed Amendment	Existing PAD requirement
Commercial Buildings	40' (+5' architectural elements)	35' (+10 architectural elements)
Office Buildings	50' (including arch. elements)	35' (+10 architectural elements)

Staff supports a three (3) story limitation for office buildings and recommends that the increased building height be limited to the rear (southwest) portion of the property and shall not be located along the Oracle Road frontage.

4. First Avenue Extension: The applicant proposes to close the First Avenue to La Reserve Drive road extension concurrent with the development of the commercial area.

Existing PAD requirement: The First Avenue extension is a private easement that has always been contemplated to be closed to through traffic with the development of the Town Centre.

Staff Response: Staff supports multi-modal connectivity, including pedestrian, bicycle and vehicular connections with adjacent neighborhoods.

5. Main Street Area: The applicant proposes to delete the Main Street Area (PAD Pages AA-1 and EE-6 and Appendix F Sheet 3) from the PAD in favor of a "multiple use development" with enhanced pedestrian connectivity. The applicant indicates that the main street design is not economically viable.

Existing PAD requirement: The PAD goal of to "create a high quality and discernable Oro Valley Town Centre mixed use development" including an 'old 'main street' theme which features on street parking, buildings located close to the street, office and apartments above the retail uses with sit down restaurants focused around a village commons area" and designed with "principles of New Urbanism", or traditional town planning.

Staff Response: This somewhat changes the character of the PAD from an "Oro Valley Town Centre" to more traditional suburban retail/office/multi-family residential development. Staff supports an approach that allows near-term development of suburban scale uses as shown on the Illustrative Site Plans while preserving the long-term opportunity to develop discernable Town center in later phases or perhaps toward the rear of the property along the Rooney Wash. featuring a main street concept. The name of the PAD, "Oro Valley Town Centre", should likely be changed.

6. Maximum Floor Area Ratio (FAR): The applicant is requesting an FAR limitation of .4 for Development Areas #1 and #2 (PAD Page CC-2).

Existing PAD requirement: The PAD states that the FAR, based on the net commercial acreage for Area #1, is approximately .29, but does not state a specific limitation (PAD Page BB-2). The Oracle Road Scenic Corridor Overlay District (ORSCOD) permits FAR of .25.

TOWN OF ORO VALLEY

PLANNING & ZONING COMMISSION STAFF REPORT

Page 5 of 8

Staff Response: The Illustrative Site Plans (Appendix C-1) portray FARs ranging from .12 to .24. Staff is supportive of development concepts that provide for compact, contiguous, higher-density development on the site so long as they are aesthetically pleasing and their massing and scale are appropriate for the context.

7. Future PAD Modifications The applicant proposes to add the provision, “any modifications to this plan will not require an amendment to the PAD” (PAD Page BB-8 and on each Illustrative Site Plan)

Existing PAD requirement: Any amendment to the approved Tentative Development Plan require a PAD amendment.

Staff Response: Staff recommends that substantial modifications to the Illustrative Site Plans that substantially deviate from the development concepts in terms of land use mix, development density or intensity, as determined by the Planning and Zoning Administrator, shall be subject to Town Council approval and that these criteria be added to Section B.10.b (Page BB-8). A condition has been added to Exhibit “A” to reflect this requirement.

Minor Issues

The following are other areas of the proposal that have been integrated into the PAD amendment as a result of negotiations with staff and neighbors. These areas include:

- Reduction of the requested office building height increase to 50' (from 60') with no additional architectural element allowance, as well as restrict buildings from locating on Oracle Road.
- Use of the Town's current landscape requirements (Section 27.6 of the Zoning Code), including water harvesting requirements. The existing recommended plant list in the PAD is not reflective of the Town's current water conservation policies and would result in a landscape inconsistent with surrounding properties as well as increase irrigation and maintenance costs, and may result in inadvertent view obstruction (e.g. Mexican Fan Palms have a mature height of 100'). The approved PAD plant list, Exhibit EE-10, has been deleted.
- Use of the Town's recently adopted Design Standards for site planning, architecture, and public art. This will result in a project design and architecture that is consistent with the Town's Design Standards.
- Provision of a multiple use trail along the north side of the Rooney Wash. Staff believes the area fronting the wash could provide an opportunity for the development of businesses and residential uses, perhaps vertically integrated, that could serve as a significant activity center with enhanced pedestrian connectivity and the scenic amenity of the wash as a backdrop. This area could potentially provide a focal point, or “discernable Oro Valley Town Centre” (PAD Page AA-1) envisioned in the adopted PAD.
- The applicant has changed the term mixed use to “multiple use” to describe the development concept in order to reflect that the request is for suburban development with defined pedestrian connectivity rather than vertical and horizontal mixed use.
- An outdoor gathering space/common open space requirement of 2% of the development area has been added to Page EE-1 of the PAD. These outdoor gathering spaces may include plazas, courtyards, “village commons” and other common areas. This requirement is consistent with Town Zoning Code requirement for commercial developments.

TOWN OF ORO VALLEY

PLANNING & ZONING COMMISSION STAFF REPORT

Page 6 of 8

- The applicant initially proposed to delete the requirement that there shall be no delivery or loading operations for commercial uses between 10:00 p.m. and 7:00 a.m. (PAD Page GG-1), but has added it back in as “between 10:00 p.m. and **6:00 a.m.**”). Staff does not object to the proposed amendment as it is consistent with delivery restrictions for other developments.
- The PAD currently requires a minimum of 25% of Commercial Areas #1 and #2 to be landscaped (PAD Page CC-2, Development Criteria #4). The applicant requests that this be reduced to 15%, which is reasonable given the limitation on Floor Area Ratio (FAR) and the applicant’s agreement to follow the Oro Valley Landscape Conservation code which contains far more robust landscape design, native plant preservation, and water harvesting requirements than the existing PAD.
- The existing requirement for a 6 foot high wall along the full length of the east property line of Development Area #3 (the hotel/office site) is proposed to be removed. Staff supports this as Area #3 is adjacent to sloped natural open space and is not adjacent to La Reserve.

Engineering Comments

Traffic Analysis

This development’s primarily vehicular access to the public road network is through intersection and driveway connection points on Oracle Road. As a part of the original PAD documentation, the existing First Avenue extension between Oracle Road and La Reserve Drive is located within a temporary access easement that is set to be terminated upon development of the Oro Valley Town Centre project. The revised PAD document maintains this original commitment with the La Reserve Community Association to remove this temporary section of First Avenue. Therefore, traffic generated by the PAD will not have direct access to the neighboring La Reserve community.

Internal circulation patterns have been represented on the Revised PAD’s Tentative Development Plan. These traffic patterns are schematic only at this level of documentation. The actual analysis of internal circulation will be determined at the time of development. However, any external improvements to the public road network that are identified as required within the approved Traffic Impact Analysis (TIA) will become a condition of approval of the revised PAD. These improvements shall be constructed at the time of project development.

The developer will be responsible to build all required mitigation measures at no cost to the Town or general public.

PUBLIC NOTICE AND COMMENT

This project has been noticed in accordance with Town procedures, which includes the following:

- Notification of all property owners within 1,000 feet
- Homeowners Association mailing
- Notice in The Daily Territorial newspaper
- Post at Town Hall and on website

In addition, a neighborhood meeting was held on April 14, 2011. Approximately 45 residents and interested parties attended the meeting. A number of issues were discussed, including the following:

- Planned closure of First Avenue to La Reserve Drive extension

TOWN OF ORO VALLEY

PLANNING & ZONING COMMISSION STAFF REPORT

Page 7 of 8

- Market demand for additional commercial development in the area
- The type and character of proposed commercial development (e.g. convenience drive-thru uses)
- Proposed building heights and view and lighting impacts
- Status of the “main street” concept

The summary notes from the meeting and the Public Outreach Report (POP) are attached for your reference (see Attachment #5 and #6).

The La Reserve HOA Board has submitted a letter of support (see Attachment #7). One interested resident has submitted a letter, which is attached for your reference (see Attachment #8).

CONCLUSION/RECOMMENDATION

The degree of General Plan conformance is varied. The proposed amendments promote economic development goals but there is a lesser degree of conformance with land use policies. As discussed, the proposed amendments will alter the land use mix in relation to multi-family residential and convenience uses and will provide the developer with greater flexibility in terms of permitted uses, building heights and other PAD standards. The existing PAD is unique in several regards, including the main street element and the focus on New Urbanist design and architecture. The proposed amendment modifies this vision to a more mainstream commercial development.

If the proposed amendments are adopted, the developer asserts that they would have a greater ability to react to current market demands for convenience and multi-family uses while maintaining an architecturally attractive and contextually sensitive development as originally envisioned.

Staff supports the granting of additional development flexibility as portrayed in the Illustrative Site Plans contained in Appendix C-1 in the attached redlined PAD but recommends a number of conditions of approval in Exhibit “A”. Staff notes the potential for public-private partnerships that could implement the construction of a Town Center that could include a main street and civic, educational, cultural, and arts facilities. All other administrative and clean up items are supported.

SUGGESTED MOTION

The Planning & Zoning Commission may wish to consider one of the following suggested motions:

I move to [approve, approve with conditions, OR deny], request for approval of the Oro Valley Town Centre at Rooney Ranch PAD amendments as shown in Exhibit “A”.

ATTACHMENTS

1. PAD Amendment Redline
2. Exhibit “A” Conditions of Approval
3. Amendment Summary Table
4. Aerial Massing Photo Simulations (4 sheets)
5. Summary of Neighborhood Issues

TOWN OF ORO VALLEY

PLANNING & ZONING COMMISSION STAFF REPORT

Page 8 of 8

6. Public Outreach Report
7. La Reserve HOA Board Letter
8. Bill Adler letter

cc: Brad Anderson, Kitchell Construction, banderson@kitchell.com
Keri Silvyn, Lewis and Roca, Ksilvyn@lrlaw.com
Blake Hastings, CDO Partners

Project Manager: Matt Michels, AICP, OV Senior Planner

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Oro Valley Town Centre PAD Substantive Commercial Amendments Summary Table

NOTE: For a complete list of all proposed amendments refer to redlined PAD

Description	Existing PAD Requirement	Proposed Amendment
<p>Convenience Uses</p> <p>Convenience Use Standards</p>	<p>A maximum of 3 convenience uses in Areas 1 & 2 and 3 convenience uses in Area 3</p> <p>No fast food, drive through or drive in restaurants, gas stations, or car washes allowed unless specifically permitted by Mayor and Council</p> <p>No CUP is required</p>	<p>No limit on number or types of convenience uses</p> <p>All convenience uses shall be subject to the convenience use regulations of the Zoning Code, including the Conditional Use Permit requirement</p>
Multi-Family Residential	Permitted on second story of commercial buildings	Up to 275 multi-family units allowed
Building Height	35 feet + 10 feet for architectural elements (45 feet total)	<p>40 feet + 5 feet for architectural elements (45 feet total)</p> <p>50 feet for office buildings, inclusive of architectural elements</p>
Main Street Area	A "New Urbanist" Mixed-Use Main Street to be located along main spine road in Development Area #1	No Main Street Area. Applicant will provide "enhanced pedestrian connectivity"
Floor Area Ratio (FAR)	No specific limitation, but Tentative Development Plan indicates FAR of approximately .29	.4 FAR, but Illustrative Site Plans portray FARs of .14 to .24 for Development Area #1

**Oro Valley Town Centre
Neighborhood Meeting Notes
April 14, 2011 6 p.m.
Page 1 of 3**

PART I

David Williams, Planning Division Manager opened the meeting and provided an introduction and overview of the neighborhood meeting process. Mr. Williams presented Part 1 of the meeting which summarized the project context area, project history, General Plan, PAD Zoning, existing development standards and an overview of the PAD amendment, Conceptual Design and Final Design processes.

Q: Isn't the Oro Valley Marketplace adequate commercial to serve this area?

A: The subject property is within an area designated by the General Plan as a major commercial core.

Q: Does the Economic Development Agreement contain sales tax incentives?

A: Tonight's discussion is focused on the current and proposed land use issues related to the property.

Q: What is the legal status of the extension of 1st Avenue to the La Reserve development?

A: It is a private easement over private land. The intent established during the previous PAD was that the road and access to La Reserve would be eliminated upon development of the property.

Q: It was represented during the original neighborhood meetings on this project that the uses within the project would be upscale and the uses currently proposed like a drug store do not fit the original description.

A: The uses described in Part 1 of the meeting are uses currently permitted under the approved PAD.

Q: As many of the residents in La Reserve leave for the summer, can the Town hold off the application until the late fall when residents return and can participate?

A: The Town cannot prevent the applicant from filing the application and going through the process. Residents can email or send letters of concern which are forwarded to the Planning and Zoning Commission and Town Council.

PART II

Blake Hastings, Canada Del Oro Partners, provided an overview of past rezoning cases relative to the property and briefly discussed the reasons for the current proposed change.

Keri Silvyn, Lewis & Roca gave the applicants power point presentation on Part II of the meeting which summarized the requested PAD amendment and the basis for it. In

**Oro Valley Town Centre
Neighborhood Meeting Notes
April 14, 2011, 6 p.m.
Page 2 of 3**

summary, the PAD was requested to provide development flexibility through the use of a broader land use plan, amended timing and phasing requirements, mixture of uses in the C-1, C-2 and C-N district, expanded list of prohibited uses and enhanced pedestrian connections. The presentation contained examples of development scenarios and proposed building heights adjustments.

Q: Will the current owners receive their approvals and then sell off property?

A: CDO Partners and Kitchell will be the developers of the property. They may sell larger parcels to larger users who will be bound by zoning and CC&Rs of the larger project.

Q: Is the hotel a definite and where would it be located?

A: The current PAD has a location for a hotel and there is no proposed change to the PAD in regard to the hotel, although it will more than likely be developed in the longer term due to current market conditions.

Q: What can be done about the lighting inside the proposed office buildings?

A: There are ways to mitigate and the concern was noted.

Q: Can the applicant identify specific tenants and businesses within the project?

A: The developer is legally obligated not to disclose.

Q: Will the entire property be graded with the first phase?

A: Grading will occur with each phase, the minimum amount needed to support each phase of development.

Q: Will there be fast food or gas stations?

A: These uses currently require a Conditional Use Permit approved by Town Council.

Q: What is the status of the "main street" concept in the PAD?

A: This concept has been actively marketed and there is no market for residential over retail. The developer has included requirements to enhance pedestrian connectivity.

Q: Will the flexibility requested result in piecemeal development rather than a cohesive project?

A: The flexibility will result in a more viable project long term. Incremental development will be part of a cohesive whole.

**Oro Valley Town Centre PAD Amendment
Neighborhood Meeting Notes
April 14, 2011, 6 p.m.
Page 3 of 3**

Q: What is the developer conceding to gain the flexibility requested?

A: Architectural guidelines which will be consistent with the Town's Design Standards.

Q: Can you consider the peace and quiet of residents of Fairwinds Assisted Living Facility when planning adjacent land uses?

A: Yes.

Q: Oro Valley has always been unique and this seems like regular strip mall development.

A: There is a lot of capacity for strip mall type development in other projects in this area and the goal is not to replicate that.

Q: Will this project require another fire station?

A: Golder Ranch does station planning based on response time and levels of safety.

Q: Why is 75 feet needed for the hotel?

A: Originally it was discussed to have a lower height, but it resulted in a greater amount of disturbance.

Q: Could the developer market the property more for medical and less for multi-family residential?

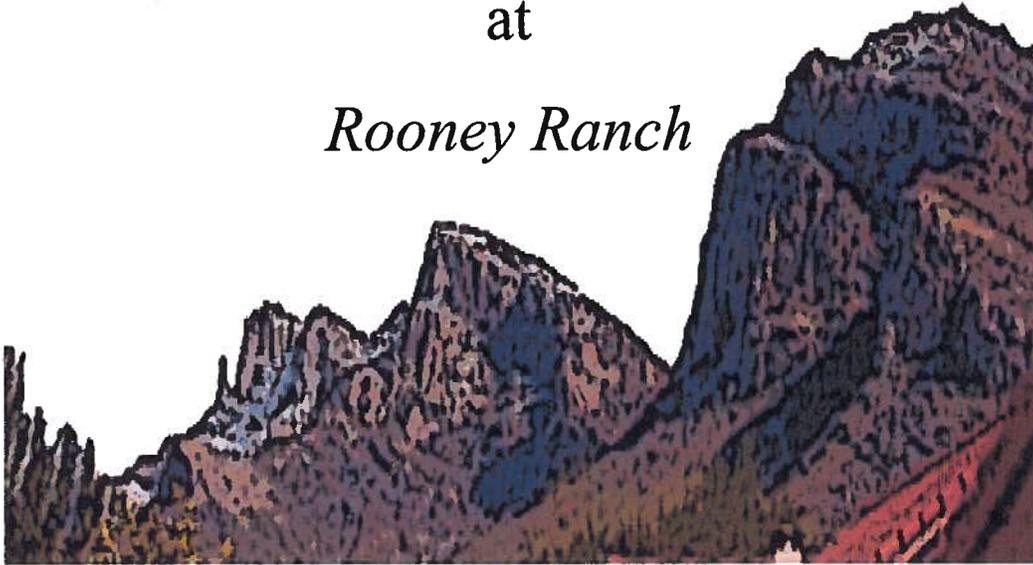
A: The developer is aggressively marketing for medical.

The meeting concluded around 8:10 p.m.

Oro Valley Town Centre

at

Rooney Ranch



PUBLIC OUTREACH PLAN & REPORT

Updated 5-10-11

Prepared By:
Kitchell Development Company
Brad Anderson, Manager of Design & Construction
1707 E. Highland, Suite 100
Phoenix, AZ 85016
(602) 631-6101



TABLE OF CONTENTS

A. Public Outreach Plan

1. Project Description.....	3
2. Identification of Interested Stakeholders.....	3
Notification Map.....	4
3. Proposed Neighborhood Meeting Process.....	5

B. Public Outreach Report

1. Neighborhood Meeting Schedule.....	6
2. Meeting Notification Methods.....	6
Invitation Letter.....	7
3. Comment Letters, Petitions, Etc.	8
4. Summary of Issues & Solutions.....	11
5. Unresolved Issues.....	11

A. Public Outreach Plan

1. Project Description

The approximately 141 acres property is located on the eastern side of Oracle Road at the intersection of 1st Avenue. This proposal specifically involves amending the PAD of a portion of the commercial areas to allow additional flexibility on site planning.

2. Identification of Interested Stakeholders

Interested stakeholders of this project are residents and other business in the vicinity of the project. A map of the notification area is shown on the following page. Additionally per our PAD section 10.b, the representatives of La Reserve HOA and El Conquistador HOA will be notified in writing and will be invited to the meeting.



Rooney Ranch NH 600' mailing map

3. Neighborhood Meeting Process

The neighborhood meeting served two purposes. First, it was an educational session with the neighbors, other stakeholders and the Town's project planners to review and discuss the process and applicable planning and zoning regulations. Second, the meeting was an opportunity to present the project, solicit feedback, and address issues and concerns.

B. Public Outreach Report

1. Neighborhood Meeting Schedule

The neighborhood meeting was held at 6:00 P.M. on Thursday, April 14th in the Town Council chambers of the Oro Valley Town Complex.

2. Meeting Notification Methods

An invitation letter was sent to all landowners within the notification area shown on the map in Section A of this document. A copy of that letter is attached on the following page.



April 1, 2011

Subject: Neighborhood Meeting Notice for a Proposed PAD Amendment

Dear Neighbor:

The property located on the east side of Oracle at the intersection of First Avenue is currently zoned Planned Area Development (PAD). The owner of the property is proposing an amendment to the Oro Valley Town Centre at Rooney Ranch PAD document. The PAD modifications requested are summarized as:

- Modify the Tentative Development Plan to allow development flexibility
- Modify the Town Center concept to allow site plan flexibility and increasing pedestrian connectivity and the pedestrian experience.
- Increase maximum building heights for office buildings to 60'
- Other miscellaneous items including: modifications to the phasing requirements, parking standards, etc.

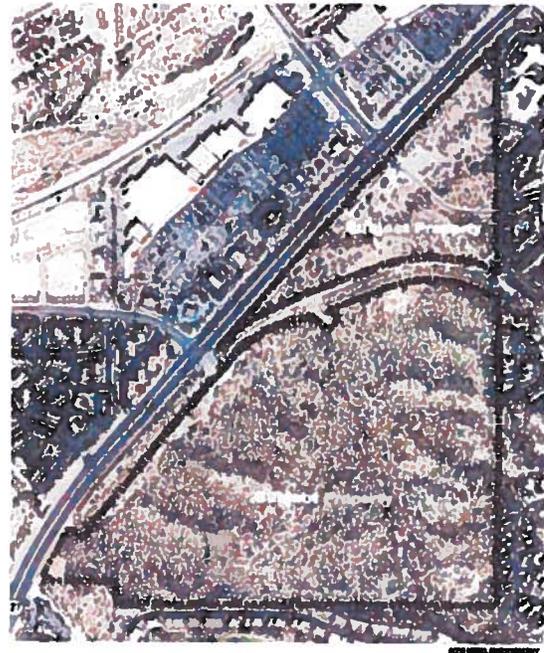


EXHIBIT A-3:
AERIAL PHOTOGRAPH



DWLB

A6

A neighborhood meeting will be held at

6:00 pm on Thursday, April 14th in the Town Council chambers of the Oro Valley Town Complex at 11000 North La Canada Drive. At this meeting, we will provide a brief presentation about some concepts for the development of the parcel, answer questions and address any issues or concerns. Town staff will be present to provide background information on the review process and zoning code requirements. If you have any questions, please contact me at banderson@kitchell.com / 602-631-6101, or Matt Michels, Town of Oro Valley, Senior Planner at mmichels@orovalleyaz.gov / 520-229-4822. We appreciate your interest and look forward to meeting with you on April 14th.

Sincerely,

Brad Anderson
Kitchell Development Company
Manager of Design and Construction

Kitchell Development Company

1707 East Highland | Suite 100 | Phoenix, Arizona 85016 | Phone 602.264.4411 | Fax 602.264.6133 | www.kitchell.com

3. Comment Letters, Petitions, Etc.

Below is the written correspondence that the applicant received from the Town in response to the meeting notification. No further written correspondence was received by the applicant.

-----Original Message-----

From: andi.smith@mchsi.com [mailto:andi.smith@mchsi.com]
Sent: Friday, April 15, 2011 11:28 AM
To: Silvyn, Keri; dwilliams@orovalleyaz.gov
Subject: thankyou for last night

Dear David and Keri,

My name is andi smith and i'm a new owner (this is my first full winter) in Stoney Canyon at La Reserve.

i'm writing to express my sincer appreciation to both of you for you excellent presentation last night regarding the amendments to the Oro Valley Town Centre PAD.
I thought that the information, organization and professionalism in conducting the meeting was outstanding.

As for my personal thoughts and concerns, (why i wanted to attend the meeting last night): i was greatly relieved to hear that the hills will not come down; there will be 76 acres of open area, and that the commercial buildings will not exceed 3 stories.

I know this is no easy task. I think it is easy for many residents here to have fear of the unknown, think the worst, and forget that change (in life overall) is inevitable. I also think that it is easy to overlook (and i intend to remind them of) the incredible job that the Oro Valley planners, mayor and council have done with this beautiful community so far.

I am very grateful for the zoning laws/rules if you will that have dictated new construction here (such as the low lighting, percentage of natural desert landscape, etc.) and resulted in an absolutely gorgeous community. One that is easily taken for granted. My goal is to try to turn the aversion and fear around to help folks begin to perceive of this progress as something that will in fact potentially enhance the lifestyle of the La Reserve residents. Civilized discourse and communication is key. I'm going to do my best to keep the peace.

Again, thankyou both and everyone else involved for an excellent presentation.

warm regards,

andi smith
1323 e. stoney canyon circle

Good Morning Matt,

Thank you sincerely for your help and the information. I appreciate the fast response. I apologize for listing your name as Mike in my previous e-mail. Should comments about this proposed development from my La Reserve neighbors be sent to you directly via e-mail or someone else? I will forward them the information you provided in your e-mail below as well.

Thank you again for all your help.

Kurt

Kurt Weirich, CIA, CISA
Senior Auditor
Internal Audit Department
University of Arizona
University Services Building, Suite 201
888 North Euclid Avenue
Tucson, Arizona 85721
Phone: (520)626-0185
Fax: (520)626-5024
E-mail: weirichk@email.arizona.edu

-----Original Message-----

From: Michels, Matthew [mailto:mmichels@orovalleyaz.gov]
Sent: Friday, April 29, 2011 10:44 AM
To: Weirich, Kurt M - (weirichk); Williams, David
Cc: kweirich@comcast.net
Subject: RE: Oro Valley Planned Develop Information - Oracle Road and First Avenue

Mr. Weirich,

You can find project information, including a fact sheet, the meeting notice, a meeting summary, and both staff and applicant presentations online at this link:

http://www.orovalleyaz.gov/Town_Government/Development_Infrastructure_Services_Dept/Planning_Division/Neighborhood_Meetings_and_Summaries/Rooney_Ranch_Neighborhood_Meeting.htm

Thank you for your interest and please feel free to contact me with any questions or comments.

Thanks,

Matt Michelson, AICP
Senior Planner

From: Weirich, Kurt M - (weirichk) [weirichk@email.arizona.edu]
Sent: Friday, April 29, 2011 9:58 AM

To: Williams, David; Michels, Matthew
Cc: kweirich@comcast.net
Subject: Oro Valley Planned Develop Information - Oracle Road and First Avenue

Good Morning David and Mike,

I attended the Oro Valley development neighborhood meeting with the developers from Phoenix on April 14, 2011 regarding high density development plans near Oracle Road and First Avenue. My understanding after the meeting was that details about the Phoenix developers presentation would be available on the Town of Oro Valley website and that comments from neighbors would be welcomed with their concerns. I have spoken to several of my neighbors in La Reserve and they are concerned with the proposed development, did not know what was happening, etc. Can you please provide a link to the information and I will share it with neighbors. Some of my neighbors have already left Oro Valley for the summer months and will not return until fall. I would like to forward information so that they can provide you with their e-mail comments as well. I love living in Oro Valley and really want to see only very high quality development. I am very concerned that the proposed Oro Valley development at Oracle Road and First Avenue will not be up to La Reserve standards and neighborhood expectations for only high quality development projects.

Thank you in advance for your help.

Kurt

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4. Summary of Issues & Solutions

- Some neighbors were concerned about the proposed height increase for the office building, along with confusion as to the number of stories 60 feet would mean. When it was explained that the request was for 3-stories, some of the neighbors indicated putting a limit to 3-stories would be helpful. The applicant agreed to modify the PAD to limit the office building to 3-stories.
- Some neighbors requested that the applicant consider reducing the height of the hotel. The applicant and the Town explained to the neighbors that this PAD amendment does not involve any modifications to Area #3 (where the hotel site is located).
- Some neighbors are concerned that the applicant may be able to add convenience uses. The applicant explained that a CUP process will be required for any convenience user in the amended areas.
- 1st Ave. There was a discussion and difference of opinions as to whether neighbors wanted to maintain the 1st Avenue connection or to remove it. The applicant reminded the neighbors that this connection to 1st Ave. is based on an easement, and was always contemplated as a temporary road. It is constructed on private property. In addition, the applicant explained that during the entitlement process in 2004, most of the neighbors requested that 1st Avenue not be connected so as to keep people from accessing the neighborhood.
- Some neighbors were concerned that the new development would increase taxes to pay for the additional police, fire fighters, water, sewer, and schools. The Town reminded the neighbors that the developer would be required to pay impact fees to offset those costs.
- The adjacent retirement community had concerns on how the development would fit with the retired occupants. After the meeting the applicant further discussed the project with this neighbor and it appears that they would like to have pedestrian connectivity to the site and are concerned about how the development would affect their views as they receive higher rates in units that currently overlook the undeveloped property.
- Some neighbors were concerned that there are already too many vacant apartments and retail buildings. The applicant assured the neighbors that they would only develop the property with uses that the market would respond to.
- Some neighbors were concerned that the new development would generate too much new traffic. The applicant reminded the neighbors that they are not requesting additional FAR but are only requesting modifications to the potential users.

5. Unresolved Issues

- The applicant is continuing to work with the La Reserve HOA to further clarify the PAD amendment request.
- The applicant has agreed to update the Traffic Impact Analysis.
- The applicant has agreed to provide staff a visual analysis of the proposed 3 story building(s).

From: Manager Lareserve [mailto:lareservemanager@yahoo.com]
Sent: Wednesday, July 13, 2011 2:37 PM
To: Williams, David
Subject: RE: CDO Partnership Letter re :The Town Centre Zoning

Thank you for letting me know.

July 6, 2011

RE: Town Centre Project/CDO Partners

TO: Town of Oro Valley

On June 28, 2011 members of the La Reserve Board of Directors met with CDO Partners, who presented the proposed PAD Amendment for the Oro Valley Town Centre, along with the history. The property is located along Oracle Road north of First Avenue and extending south of Pusch View Lane (the "Property"). The La Reserve HOA worked closely with CDO on the PAD which was adopted in 2004. CDO is asking for an amendment to provide more flexibility in potential uses, increase the height of office use to permit 3 stories, and for the potential layout site based on the uses that market demands at that time. The Project is currently entitled for a mix of uses, commercial development and the residential neighborhood closest to El Conquistador.

Two issues were discussed: 1) The First Avenue extension through the CDO Partners Property, 2) The access along the eastern boundary of the site near La Reserve. The original discussions started at the initial adoption of the PAD. From the beginning of the talks in 2004, everyone knew that the First Avenue Extension is a temporary relief for traffic until the Oracle Road improvements were completed and that the intent was to remove the private easement at the time the Project is developed. The La Reserve Board of Directors has always understood and supports the issue that the private extension was to be removed.

La Reserve has requested from the beginning that a 6-foot wall be built, along the border of the property that is adjacent to La Reserve with one gated pedestrian access point. The La Reserve HOA Board

reiterated that request as part of this rezoning process asking CDO Partners to retain the concept in the PAD.

The La Reserve Board of Directors supports the amendment and the flexibility being requested in the entitlements and continues to support the removal of the First Avenue Extension as originally intended with CDO Partners, the building, maintaining and landscaping the 6 foot wall along La Reserve Drive with the one pedestrian gated entrance along the boundary of the site closest to La Reserve, and providing a pathway into the retail area from La Reserve Dr.

Respectfully submitted,
La Reserve Board of Directors

Jack Schoof – President
Tom Draper – Vice President
Bhim Sharma – Secretary
Jerry Bultema – Treasurer
Rich Kronberg
Karen Knotek
Dale Decker

From: StFatha@aol.com [mailto:StFatha@aol.com]
Sent: Tuesday, July 12, 2011 7:51 AM
To: Michels, Matthew
Cc: Williams, David
Subject: Town Centre

Matt:

When the General Plan of 2003 went through the process and was defeated by the citizens of Oro Valley, one of the major contentions was "MUN" [mixed use neighborhood]. This was contentious - not because the concept was unacceptable - but because the Town couldn't define what MUN meant.

Planning Director Bryant Nodine felt strongly that mixed use, or New Urbanism, was a necessary and desirable development style for a number of reasons, and the term " mixed use " continues to be used today within revisions to commercial codes, as well as within discussions of undeveloped properties. When the General Plan was revised and finally ratified in 2005 LU 8 within the Implementation Program specified that a mixed use ordinance was to be finalized.

Because the Town has failed to execute the LU 8 requirement, we have the Town Centre electing to abandon mixed use freely. The term remains undefined in the code, and so referring to mixed use is meaningless. This means that the Town cannot enforce a reference to mixed use, or New Urbanism, even though the term is within the PAD for the La Reserve property.

The concern I raised repeatedly during the General Plan and PAD process back in 2002 - 2003 was the high profile, highly conspicuous nature of the property where the Town Centre is proposed. Anything of mass and height will be easily viewed - not only from Oracle - but from 1st Avenue; Lambert Lane; areas on Naranja and La Canada. The New Urbanism form conceptually addressed this high impact concern since the development would be lower in profile. The 75' hotel was the exception.

My understanding from the notes on the April meeting is that the application is requesting an extension of both height, mass of commercial office use, as well as additional high impact uses such as convenience/drive through uses. Expanding permitted uses means more parking, which means even more destruction of the natural amenity and visual amenity. The concept of New Urbanism is being abandoned because of a lack of demand, as I read the notes. How can there be demand for a use that is undefined in the code? How can a use be "marketed heavily" when nobody could possibly know what the land use entitlements are?

I supported the relaxation of use at Steam Pump Village because the property is not high profile due to its relatively flat elevation and residential is not immediately adjacent, and somewhat higher elevation. The condition on the Town Centre property is the reverse. I suggested that grading exceptions would have to be required to lower the height from natural grade in order to preserve the appearance of this elevated property.

It remains the burden of the applicant to justify their request by showing through design presentations that the integrity of the view of the foothills from the west and east can be maintained. I don't find any representations in the applicant's proposal with regard to minimizing both visual and natural impacts.

Bill Adler

MINUTES
ORO VALLEY PLANNING AND ZONING COMMISSION
REGULAR SESSION
August 2, 2011
ORO VALLEY COUNCIL CHAMBERS
11000 N. LA CAÑADA DRIVE

CALL TO ORDER AT OR AFTER 6:00 P.M.

Chair Swope called the meeting to order at 6:01 P.M.

ROLL CALL

PRESENT: Robert Swope, Chairman
Don Cox, Vice Chair
Alan Caine, Commissioner
Robin Large, Commissioner
Robert La Master, Commissioner
Mark Napier, Commissioner
John Buette, Commissioner

PLEDGE OF ALLEGIANCE

Chair Swope led the audience in the Pledge of Allegiance.

CALL TO THE AUDIENCE (Non Agenda Items Only)

Opened and closed without comment.

COUNCIL LIAISON COMMENTS

Council Member Liaison Joe Hornat had no announcements to report.

2. **Public Hearing: Amendment to the Oro Valley Town Centre Planned Area Development.** The Planned Area Development modifications requested will allow stand alone multi-family residential uses, additional convenience uses, increase maximum building height for offices to 50 feet, and modifying the tentative development plan to allow increased development flexibility, (OV911-03).

Keri Silvyn, non-resident, presented the following:

- Vicinity Map
- Existing Zoning
- Previously Approved Site Plan

- Proposed tentative Development
- Illustrative Site Plans - Area #1
- Proposed Height
- Uses
- Convenience Uses
- Multi-Family Use
- Pedestrian Amenities
- Concerns

Matt Michels, Senior Planner, presented the following:

- Planned Area Development (PAD)
- Project History
- Applicant's Request
- Evaluation of Amendment
- Context Map
- Location Map Detail -Area #1
- General Plan land Use
- General Plan - Applicable Policies
- Approved OV Town Center PAD
- Oracle Road Scenic Corridor Overlay District (ORSCOD)
- OV Town Centre PAD Land Use
- Development Areas
- Examples of Permitted Uses
- Existing Town Centre PAD Development Standards
- Proposed Convenience Uses
- Proposed Building Height
- Multi-Family Residential
- Illustrative Site Plan#1
- Illustrative Site Plan #2
- Illustrative Site Plan #3
- Illustrative Site Plan #4
- Public Outreach April 14 Neighborhood Meeting issues
- PAD Amendment Process
- Conclusion
- Recommendation

Paul Keesler, Permitting Manager, presented the revised Exhibit "A" Engineering Conditions.

Chairman Swope opened the public hearing.

Paul Loomis, resident, stated that this is a unique site. Changing this to residential and office space limits the opportunity for the Town. Maybe this should not be a Planned Area Development and should be broken up into the zoning categories. Mr. Loomis is opposed to this change and believes there is a

lot more work that can be done and should be more specific with respect to the uses in the particular areas.

Don Bristow, resident, stated his concerns are the convenience uses which we already have a lot of along Oracle Road. He is also concerned about the suggestion of moving toward a traditional strip mall.

Alisdair Innes, OV resident, is concerned about additional apartments.

Alvin Lewis, resident, stated there are four apartment complexes within half a mile of the proposed area. Mr. Lewis does not see a need for additional multi-family residences or for a hotel due to height concerns.

Bill Adler, resident, stated that the New Urbanist Traditional Neighborhood Design land use principles are central to sustainability. Mr. Adler recommends a joint study session with Town Council, the applicant and staff, for the Town leadership to understand the intent of the mixed use zoning. Focus needs to be on the interest, values and vision of Oro Valley.

Chairman Swope closed the public hearing.

MOTION: A motion was made by Commissioner La Master and seconded by Vice Chair Cox to continue Oro Valley Town Centre at Rooney Ranch PAD amendments as shown in Exhibit "A".

Vice Chair Cox asked the applicant to comment on a continuance and the possibility of the joint study session. Ms. Silvyn responded that there are a number of reasons the applicant is uncomfortable with the continuance. She has been working on this amendment with staff, La Reserve and the neighbor's for the last eight months and believes she is able to answer the questions that have been asked this evening.

Commissioner La Master withdrew his motion.

David Williams, Planning Manager, commented that a mixed use ordinance will take more than thirty or sixty days to complete.

Discussion ensued amongst the Commission.

Commissioner Napier asked the applicant if they would entertain a condition limiting the number of convenience uses. Ms. Silvyn responded that the applicant is seeking additional flexibility for convenience uses and would be limited by the conditional use permit requirement proposed.

MOTION: A motion was made by Commissioner La Master and seconded by Commissioner Napier to approve with conditions, the Oro Valley Town Centre at Rooney Ranch PAD amendments as shown in Exhibit "A".

Mr. Williams asked Chairman Swope if the motioner and second intended to include the revised engineering conditions. Commissioner La Master and Commissioner Napier responded with yes.

MOTION carried, 6-1 with Chair Swope opposed.