

AGENDA
ORO VALLEY TOWN COUNCIL
REGULAR SESSION
October 5, 2011
ORO VALLEY COUNCIL CHAMBERS
11000 N. LA CAÑADA DRIVE

REGULAR SESSION AT OR AFTER 6:00 PM

CALL TO ORDER

ROLL CALL

PLEDGE OF ALLEGIANCE

UPCOMING MEETING ANNOUNCEMENTS

COUNCIL REPORTS

DEPARTMENT REPORTS

The Mayor and Council may consider and/or take action on the items listed below:

ORDER OF BUSINESS: MAYOR WILL REVIEW THE ORDER OF THE MEETING

INFORMATIONAL ITEMS

1. Town Council Trip Report
2. Library Customer Feedback Forms
3. Police Department Appreciation Letters

CALL TO AUDIENCE – At this time, any member of the public is allowed to address the Mayor and Town Council on any issue *not listed on today's agenda*. Pursuant to the Arizona Open Meeting Law, individual Council Members may ask Town Staff to review the matter, ask that the matter be placed on a future agenda, or respond to criticism made by speakers. However, the Mayor and Council may not discuss or take legal action on matters raised during "Call to Audience." In order to speak during "Call to Audience" please specify what you wish to discuss when completing the blue speaker card.

CONSENT AGENDA
(Consideration and/or possible action)

- A. Minutes - May 11, 2011
- B. Tucson Regional Economic Opportunities, Inc. Quarterly Report: April 1, 2011 - June 30, 2011
- C. Appointments to the Corrections Officers Retirement Plan (CORP) Local Board

REGULAR AGENDA

1. PUBLIC HEARING: ORDINANCE NO. (O)11-24, AMENDING CHAPTER 28, SIGNS, SECTION 28.6, TEMPORARY SIGNS, OF THE ORO VALLEY ZONING CODE REVISED, TO INCREASE ON-SITE REAL ESTATE SIGNS TO A MAXIMUM OF SIX FEET IN HEIGHT
2. REQUEST FOR APPROVAL OF CONCEPTUAL SITE PLAN AND ARCHITECTURE FOR CASA DE LA LUZ, A PROPOSED MEDICAL OFFICE USE LOCATED AT 7740 AND 7750 N. ORACLE ROAD
3. PUBLIC HEARING: ORDINANCE NO. (O)11-25, AMENDING THE ORO VALLEY ZONING CODE REVISED TO INCLUDE NEW PUBLIC ART CRITERIA BY AMENDING CHAPTER 22, REVIEW AND APPROVAL PROCEDURES, SECTION 22.9, DESIGN REVIEW AND CHAPTER 27, GENERAL DEVELOPMENT STANDARDS, SECTION 27.3, PUBLIC ARTWORK PROVISIONS
4. DISCUSSION AND POSSIBLE ACTION REGARDING THE PLACEMENT OF A-FRAME SIGNS IN THE PUBLIC RIGHT-OF-WAY
5. AMENDMENT OF ORO VALLEY TOWN CENTRE AT ROONEY RANCH PLANNED AREA DEVELOPMENT
 - a. RESOLUTION NO. (R)11-66, DECLARING AS A PUBLIC RECORD THAT CERTAIN DOCUMENT ENTITLED ORO VALLEY TOWN CENTRE AT ROONEY RANCH PLANNED AREA DEVELOPMENT, ATTACHED HERETO AS EXHIBIT "A" AND FILED WITH THE TOWN CLERK
 - b. PUBLIC HEARING: ORDINANCE NO. (O)11-26, AMENDMENT OF ORO VALLEY TOWN CENTRE AT ROONEY RANCH PLANNED AREA DEVELOPMENT

FUTURE AGENDA ITEMS (The Council may bring forth general topics for future meeting agendas. Council may not discuss, deliberate or take any action on the topics presented pursuant to ARS 38-431.02H)

CALL TO AUDIENCE – At this time, any member of the public is allowed to address the Mayor and Town Council on any issue *not listed on today's agenda*. Pursuant to the Arizona Open Meeting Law, individual Council Members may ask Town Staff to review the matter, ask that the matter be placed on a future agenda, or respond to criticism made by speakers. However, the Mayor and Council may not discuss or take legal action on matters raised during "Call to Audience." In order to speak during "Call to Audience" please specify what you wish to discuss when completing the blue speaker card.

ADJOURNMENT

POSTED: 9/28/11 at 5:00 pm by tlg

When possible, a packet of agenda materials as listed above is available for public inspection at least 24 hours prior to the Council meeting in the Town Clerk's Office between the hours of 8:00 a.m. – 5:00 p.m.

The Town of Oro Valley complies with the Americans with Disabilities Act (ADA). If any person with a disability needs any type of accommodation, please notify the Town Clerk's Office at least five days prior to the Council meeting at 229-4700.

INSTRUCTIONS TO SPEAKERS

Members of the public have the right to speak during any posted public hearing. However, those items not listed as a public hearing are for consideration and action by the Town Council during the course of their business meeting. Members of the public may be allowed to speak on these topics at the discretion of the Chair.

If you wish to address the Town Council on any item(s) on this agenda, please complete a blue speaker card located on the Agenda table at the back of the room and give it to the Town Clerk. **Please indicate on the speaker card which item number and topic you wish to speak on, or if you wish to speak during “Call to Audience,” please specify what you wish to discuss when completing the blue speaker card.**

Please step forward to the podium when the Mayor announces the item(s) on the agenda which you are interested in addressing.

1. For the record, please state your name and whether or not you are a Town resident.
2. Speak only on the issue currently being discussed by Council. Please organize your speech, you will only be allowed to address the Council once regarding the topic being discussed.
3. Please limit your comments to 3 minutes.
4. During “Call to Audience” you may address the Council on any issue you wish.
5. Any member of the public speaking must speak in a courteous and respectful manner to those present.

Thank you for your cooperation.



Town Council Regular Session

Item # 1.

Meeting Date: 10/05/2011

Submitted By: Arinda Asper, Town Manager's
Office

Information

Subject

Town Council Trip Report

Attachments

Town Council Trip Report



Office of the Mayor & Town Council

Trip Report

Purpose:

2011 League of Arizona Cities and Towns Annual Conference

Date:

August 30 – September 2, 2011

Location:

JW Marriott Starr Pass Resort
Tucson, AZ

Attendees:

Mayor Satish Hiremath
Vice Mayor Mary Snider
Councilmember Barry Gillaspie
Councilmember William Garner
Councilmember Joe Hornat
Councilmember Lou Waters
Interim Town Manager Greg Caton
Assistant to the Town Manager Kevin Burke
Communications Administrator Misti Nowak

Summary:

2011 League of Arizona Cities and Towns Annual Conference was hosted by the City of Tucson, Arizona. The theme of this year's conference was "Cities Mean Business."

The conference was attended by over 900 elected officials and guests from cities and towns across Arizona. Highlights of the conference included: a Governor and Legislative recognition luncheon; and over 20 sessions dealing with issues of importance to local, regional and statewide officials. The conference "schedule at a glance" is attached.

Report submitted to the Town Clerk on September 12, 2011.

Satish I. Hiremath
Mayor

Caring for our heritage, our community, our future.

www.orovalleyaz.gov

11000 N. La Cañada Drive • Oro Valley, Arizona 85737
phone: (520) 229-4700 • fax: (520) 297-0428

Tuesday, August 30, 2011

- 8:00 AM **Golf Tournament** Starr Pass Golf Club
- 1:30 PM **Resolutions Committee** Arizona Ballroom 7
- 1:30 PM **National League of Cities Leadership Training** Arizona Ballroom 5
 - Public Engagement: The Vital Leadership Skill
- 6:00 PM **Welcome Reception** Arizona Ballroom Foyer

Wednesday, August 31, 2011

- 7:30 AM **Parade of Flags/Celebration of Cities & Towns Practice** Tucson Ballroom
- 8:30 AM **Youth Program Begins** Arizona Ballroom 1
- 9:00 AM **Opening General Session** Tucson Ballroom
 - Keynote Speaker - Marshall J. Vest
 - Cities Mean Business: The Economic Outlook for Cities and Towns in Arizona
- 12:00 PM **Lunch is on your own**
- 2:00 PM **Concurrent Workshops**
 - State of Public Works – Then & Now Arizona Ballroom 12
 - Partnering for Success: Urban Land Institute Experts Assisting Local Governments Towards Development Vitality Tucson Ballroom J
 - Civic Engagement in Arizona's Communities: Lessons from the Gallup Arizona Poll and The Arizona We Want Report Tucson Ballroom F
 - The Council/Manager Partnership: Making Arizona's Cities and Towns Great Tucson Ballroom E
 - Fire on the Mountain: Two Arizona Communities Share Their Lessons Responding to Disaster Tucson Ballroom D
- 3:30 PM **Concurrent Workshops**
 - The Future of Aviation in Arizona Arizona Ballroom 12
 - The Upside of a Down Economy: Economic Gardening Tucson Ballroom J
 - New Technology and its Impact on Public Records and Public Meetings Tucson Ballroom F
 - The Art of Innovation in Local Government Tucson Ballroom E
 - Youth: The Future of Our Communities Tucson Ballroom D
- 6:00 PM **Showcase of Cities and Towns** Arizona Ballroom

Thursday, September 1, 2011

- 8:00 AM **Spouse Guest Program** San Xavier Room
- 8:00 AM **Concurrent Workshops**
 - Fundamentals of Local Government: Ethics for Local Elected Officials Tucson Ballroom J
 - International Business Development: Arizona Cities Competing on a National and Global Scale Tucson Ballroom F
 - Statewide Water Panel Discussion into the Next Century: An Update of the Water Resources Development Commission Efforts Tucson Ballroom E
 - Budgeting for Outcomes: Identifying Top Priority Programs Tucson Ballroom D

10:00 AM Concurrent Workshops

- Fundamentals of Local Government: Open Meeting Law Tucson Ballroom J
- Tri-City Council: How Three Communities Pooled Efforts to be an Effective Voice at the Regional and State Level Tucson Ballroom E
- ASRS/PSPRS/EORP: Arizona's Pension System and Cities and Towns Tucson Ballroom D
- Community Engagement and Its Relationship to Economic Success Tucson Ballroom F
- Cloud Computing: Utilizing New Technology for Better Citizen Service Arizona Ballroom 12

12:00 PM Governor and Legislative Luncheon

..... Arizona Ballroom

2:00 PM Concurrent Workshops

- Model City Tax Code and Tax Policy for Cities and Towns Arizona Ballroom 12
- State Agency Update: Arizona Department of Administration: ProcureAZ for Cities and Towns Tucson Ballroom E
- Libraries: Changing Our Traditional Service to Our Citizens Tucson Ballroom F
- Efficient Communication and the Evolution of the Internet Tucson Ballroom J

2:00 PM Affiliate Meetings

- Arizona COG Directors Arizona Ballroom 2
- Arizona City Attorneys Association Arizona Ballroom 5
- Greater Arizona Mayors Association Arizona Ballroom 10
- National League of Cities 2011 Host Committee Meeting San Xavier

4:00 PM Annual Business Meeting

..... Tucson Ballroom D

6:00 PM Dinner, Service Awards & Entertainment

..... Arizona Ballroom

Friday, September 2, 2011

- 9:00 AM **Tourism's Importance to Arizona** Arizona Ballroom 7
- 9:10 AM **The Business of Tourism: Economic Impact and Opportunities** Arizona Ballroom 7
- 10:15 AM **Tourism Marketing and Branding: Breaking Through the Clutter in Building a Competitive Edge** Arizona Ballroom 7
- 11:00 AM **Tourism in our Communities: How Your Community Can Partner with the Arizona Office of Tourism and the Arizona Centennial Commission** Arizona Ballroom 7
- 12:00 PM **Conference Adjourned**



Conference badges must be worn to ALL functions



2011 LEAGUE
ANNUAL CONFERENCE
CITIES MEAN BUSINESS



Town Council Regular Session

Item # 2.

Meeting Date: 10/05/2011

Submitted By: Arinda Asper, Town Manager's
Office

Information

Subject

Library Customer Feedback Forms

Attachments

[Library Feedback Forms](#)

AUG 26 2011

Customer Feedback Form

The Oro Valley Public Library staff welcomes your comments regarding the library.
Please complete this form and place in the Comments Box.

Date: 8-18-11 Time: 12:15 P.M.

Comments: THIS OPERATION IS SUPERB - ASSOCIATES
ARE FRIENDLY, COOPERATIVE AND OPEN Minded.
LONG LIVE THE O.V. BRADY LIBRARY!

May we contact you regarding your comments? SURE (All customer information is confidential.)

Please include your name and contact information:

Name: J.L. HOLDER Phone Number: 825-2262

E-mail: JAYHOL1@YAHOO.COM



Thank you for taking the time to provide us with your comments.
We value your feedback. Customer feedback and library staff responses
will be made available to the public once a month.



SEP 13 2011

Customer Feedback Form

The Oro Valley Public Library staff welcomes your comments regarding the library.
Please complete this form and place in the Comments Box.

Date: 02 Sept 2011 Time: 0300 pm

Comments: Being a new resident in Oro Valley I am pleased to let you know how happy I am to have discovered OVPB. What a wonderful collection of information, services, networking and assistance you provide for this community. I am most fortunate to have discovered Beth Cole's Friday afternoon workshops for job hunting skills and discussion. Thank you for all your support.

May we contact you regarding your comments? Yes (All customer information is confidential.)

Please include your name and contact information:

Name: Flaxter Irvine Phone Number: 808 895 5568

E-mail: f-irvine@msn.com



Thank you for taking the time to provide us with your comments.
We value your feedback. Customer feedback and library staff responses
will be made available to the public once a month.





Town Council Regular Session

Item # 3.

Meeting Date: 10/05/2011

Submitted By: Catherine Hendrix, Police
Department

Information

Subject

Police Department Appreciation Letters

Attachments

[Apprecation Letters 092011](#)

BARRY H. SOLOWAY
1845 E. Andromeda Place – Oro Valley, AZ 85737

September 10, 2011

Daniel G. Sharp, Chief of Police
Oro Valley Police Department
11000 N. La Canada Drive
Oro Valley, AZ 85737

Dear Chief Sharp,

I am writing to express my sincere appreciate to the Oro Valley Police Department and its Dark House Program. My wife and I were away for several weeks during the summer, and we were pleased to know that our home was being watched.

More than just looking for signs of vandalism, my neighbor mentioned speaking with an officer that was inspecting the home after a particularly severe Monsoon rain. The officer said that there may be water intrusion in a back bedroom. My son, who also lives in Oro Valley, went to our home and found it to be in sound condition. Perhaps the reflection of a very shiny tile floor may have given the impression of water puddles.

I consider the Dark House Program an excellent example of service to the community.

In consideration, I would like to make a contribution to the Fraternal Order of Police, Oro Valley Lodge #53.

Sincerely,



Received by

SEP 13 2011

Oro Valley Police Dept.



10801 N. La Cholla Blvd.
Tucson, Arizona 85742-8688
520-297-7238

September 19, 2011

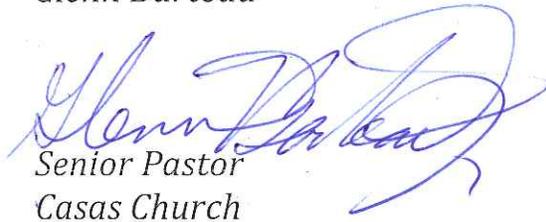
Dear Daniel,

Thank you for your kind letter; it was such an encouragement to me and our church as I shared your appreciation this past Sunday.

It's obvious that the Oro Valley Police department sets a high standard for excellence. Your leadership is making a real difference in Oro Valley.

Thank you. Your service is very much appreciated.

Glenn Barteau



Senior Pastor
Casas Church

Received by

SEP 22 2011

Police Dept.

September 16, 2011

Chief Daniel Sharp
Oro Valley Police Department
11000 N. La Canada
Oro Valley AZ 85737

Ref: Case #

Dear Chief Sharp,

On the morning of August 23, 2011, I was involved in a traffic accident at the intersection of Oracle Road and Steam Pump Way. Officers from the Oro Valley Police Department arrived almost immediately. They were most comforting and informative, and handled the situation very proficiently. I was extremely impressed by their kindness and professionalism.

My husband, who arrived to assist me, has retired from a 30-year law enforcement career, and was equally impressed with the officers' professionalism. We both wish to commend Officers Roth #U169 and Topar #U236, and Sergeant Horiski #U139. They are a credit to your department and to law enforcement in general.

Thank You,

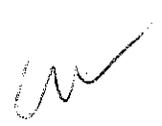


Debra and Earl Christenson

Saddlebrooke AZ, 85739

Received by

SEP 23 2011



Oro Valley Police Dept.



Town Council Regular Session

Item # A.

Meeting Date: 10/05/2011

Requested by: Julie Bower, Town Clerk

Submitted By:

Tracey Gransie, Town
Clerk's Office

Department: Town Clerk's Office

Information

SUBJECT:

Minutes - May 11, 2011

RECOMMENDATION:

Staff recommends approval.

EXECUTIVE SUMMARY:

N/A

BACKGROUND OR DETAILED INFORMATION:

N/A

FISCAL IMPACT:

N/A

SUGGESTED MOTION:

I MOVE to (approve, approve with the following changes) the May 11, 2011 minutes.

Attachments

5 11 11

MINUTES
ORO VALLEY TOWN COUNCIL
REGULAR SESSION
May 11, 2011
ORO VALLEY COUNCIL CHAMBERS
11000 N. LA CAÑADA DRIVE

STUDY SESSION

CALL TO ORDER - 6:00 PM

ROLL CALL

PRESENT: Satish Hiremath, Mayor
Mary Snider, Vice Mayor
Bill Garner, Councilmember
Barry Gillaspie, Councilmember
Joe Hornat, Councilmember
Steve Solomon, Councilmember
Lou Waters, Councilmember

Councilmember Gillaspie arrived after roll was called.

Mayor Hiremath announced that the Council would not be accepting blue speaker cards as it was a study session only.

1. Presentation and Discussion Regarding FY 2011/12 Town Manager's Recommended Budget

Finance Director Stacey Lemos gave an overview of the recommended budget for the FY 2011/12.

Ms. Lemos stated that the budget was balanced at \$94.1M which reflected a 19% or \$22.1M decrease from the previous year. She also presented slides that broke down each fund by allocation. The largest was the General Fund at \$34.7M which included the contingency reserves.

Ms. Lemos stated that there were a number of measures that were taken to balance the budget which included:

General Fund

- Eliminated funding for Coyote Run
- Personnel reductions
- Summer recreation program reductions
- No employee pay raises for the third year

- No health insurance increases
- Deferred capital asset replacement of vehicles and phone system
- Use of Bed Taxes
- Increased cost recovery from utility funds
- Utility tax increase

Highway Fund

- Lowered pavement preservation budget from \$1.2M to \$800K
- No employee pay raises or health insurance increases
- Use of Bed Tax contingency reserves which offset the additional State sweep of HURF taxes

Ms. Lemos reviewed the General Fund revenues and expenditures by category which equaled \$25.7M. The largest revenue category was local sales tax at 51% and the Police Department produced the largest expenditure at 47%.

The Finance Director reported that Bed Tax Fund revenues were budgeted at \$900K and represented a 5% increase from the previous budget. Ms. Lemos stated that \$675K were projected to be transferred to the General Fund and the remaining funds were for economic development marketing and agencies.

Ms. Lemos affirmed that the Water Utility Fund budget was at \$13.9M, a reduction of \$1.1M from the previous year that included debt service, Operations & Maintenance, and capital outlay savings.

Ms. Lemos provided a pie chart of the Capital Improvement Plan (CIP) expenditures that totaled \$14.3M and showed that the largest category was road expansion at \$7.9M which included the Lambert Lane widening project. She reviewed the \$1.2M of inter-fund transfers that were included within the budget and explained what funds were impacted.

Ms. Lemos articulated the recommended changes before Council approved the Tentative/Final Budget which included:

- Bed Tax Fund - amended to show TOTAL incoming bed tax revenues and related transfers out to General Fund
- Consolidated Capital Asset Replacement Fund (CARF) and Steam Pump Ranch Fund with the General Fund to comply with GASB 54 compliance
- Added \$25K grant capacity for Parks, Recreation, Library, and Cultural Resources from Keg Steakhouse for playground equipment

Ms. Lemos related some final notes to the Council regarding budget approval and adoption dates. She reminded the Council that the Tentative Budget set the maximum spending limits for the town, but that changes could be made that did

not exceed the limit and that the budget could be amended throughout the fiscal year.

The Finance Director requested direction from Council regarding:

- Continued use of Bed Tax Fund reserves for the Highway Fund in the amount of \$385K
- Discussion of .25% sales tax increase on June 15, 2011 agenda
- Confirmation of Tentative Budget adoption on May 18, 2011 agenda
- Staff direction in any other areas

Vice Mayor Snider asked what the impact would be of using the \$385K cash reserves in the Highway Fund instead of the General Fund.

Ms. Lemos responded that the cash reserves in the Highway Fund were slated to be used for pavement preservation purposes and roadway maintenance and if those funds were used the balance would be drawn down to \$3M. She also explained that internal cash reserves would be used to pay up front for the Lambert Lane widening project to bridge-gap the annual funding from the Pima Association of Governments, and that the Highway Fund was one of the contingency amounts that would be borrowed from.

Councilmember Solomon commented that the Council had reviewed the street maintenance analysis in a previous study session and inquired as to how the town could only fund it at \$800K. He stated that the item needed to be funded at \$1.2M and that the difference should be taken from the Highway Fund reserves or from the Bed Tax Fund.

Town Engineer Craig Civalier explained that the budget was based on state revenues and that the state had cut the town's Highway User Revenue Funds (HURF) share by \$360K.

Councilmember Hornat questioned whether the entire \$800K came from HURF funds and Ms. Lemos explained that the total included \$400K from the HURF Fund and approximately \$385K from the Bed Tax Fund.

Councilmember Hornat commented that whatever amount the Council decided to spend should be taken out of the Highway Fund and not the Bed Tax Fund, and that alternate sources could be looked at.

Councilmember Garner agreed that the money should not be taken from the Bed Tax Fund because those funds were for economic development purposes and questioned Ms. Lemos on why the town was in the business of loaning money through the Water Utility Fund.

The Finance Director confirmed that the Highway Fund provided the inter-fund loan to the Roadway Development Impact Fee Fund of \$400K with cash reserves, and would be reimbursed with interest from the Pima Association of Government's (PAG) annual payment.

Councilmember Garner asked how funding at \$1.2M would affect pavement preservation, and Mr. Civalier replied that funding in that amount would keep the town's Overall Condition Index (OCI) at a stable rating. He also explained that all of the money received from the PAG for the Lambert Lane widening would go into the Impact Fee Fund and that reserves were needed so that the town did not have to borrow additional money.

Councilmember Solomon said that the Council was in agreement with the \$1.2M figure and asked if a motion was needed to change the line item to that amount. Ms. Lemos stated that a general consensus from the Council would suffice.

Mayor Hiremath stated that it was also general consensus to keep Bed Tax Funds intact and to seek Highway funding elsewhere.

Councilmember Garner suggested that the amount should be taken directly from the General Fund contingency reserves rather than taking a loan from the Enterprise Fund and paying additional interest.

Councilmember Hornat commented on the consolidation of the CARF and Steam Pump Ranch Fund into the General Fund, and asked if the Council would see those as separate items on their reports.

Ms. Lemos responded that the activity for those items could be reported separately within the General Fund on Council reports.

Councilmember Hornat asked if the \$7.9M in road expansion was all town money and Ms. Lemos explained that the town spent it out of their budget and then the PAG reimbursed the town in full.

Councilmember Garner inquired about the General Administration budget, and asked about an item under outside professional services in the amount of \$35K.

Ms. Lemos replied that those items consisted of \$20K for recycling services from the PPEP (Portable, Practical, Educational, Preparation) Inc. crew; \$5K for the State of the Town address; \$7K for costs associated with an intergovernmental liaison; and \$2.5K for a management retreat; as well as credit card fees.

Councilmember Garner questioned what services the PPEP crew provided, and Ms. Lemos answered that the PPEP crew came to town hall twice a week and emptied all garbage containers and recycling bins on town campus as well as the town's trash receptacles along the multi-use paths.

Procurement Administrator Brian Garrity added that in addition to recycling and garbage services the PPEP crew set up facilities for meetings, and that there was a significant cost savings compared to having the janitorial crew perform those services.

Councilmember Waters asked what the Council expenditure regarding memberships and subscriptions entailed, and the Finance Director explained that it included \$3.5K for the Conference of Mayors membership; \$24K for the Arizona League of Cities and Towns membership; \$31.5K for the Pima Association of Governments membership; \$2K in dues for the National League of Cities; and \$1K for Arizona Town Hall attendance.

Councilmember Solomon expressed that each individual Councilmember's travel and training budget had been reduced from \$5K to \$4K and that he would like to see it reduced further.

Councilmember Garner asked for an explanation of the fleet costs in the amount of \$94K as he understood that fleet maintenance had been consolidated.

Ms. Lemos answered that the amount represented what the General Fund was transferring to the Fleet Maintenance Fund to cover maintenance costs associated with all town vehicles except for the Police Department's.

Councilmember Waters asked for an explanation of the increase in Human Resources personnel costs and Ms. Lemos replied that HR staff had been reallocated to programs in the past and budgeted to those areas.

Councilmember Hornat questioned an \$80K line item in the Cultural Resources budget and the Parks, Recreation, Library, and Cultural Resources Director explained that it was a split allocation between departments of staff time toward tasks for the Historic Preservation Commission and Steam Pump Ranch.

Per Councilmember Solomon's request, Ms. Lemos stated that the town projected 35 single-family residential building permits in the budget and that the Construction Sales Tax was estimated at \$2.2M, mainly due to the construction of the Oro Valley Retirement Center.

Councilmember Solomon asked how many single-family residential permits were pulled the previous year and Ms. Lemos answered that in FY2010/11 the town was trending at 30 for year-end.

The Development and Infrastructure Services Director explained that the grading and building permits for the Oro Valley Retirement Center had already been issued and the town would realize the \$2M in construction sales tax in FY2011/12 since the project had already started.

Councilmember Garner referred to a memo dated 5/10/11 regarding a capital outlay purchase and stated that he did not believe that it fit the model of an emergency item. He also proposed to have Council bring back emergency items to make a decision on those purchases.

Town Manager Watson explained that it was the intent of the town Code to allow up to \$50K per expenditure within each department and with the judgment of management, and that the amount had been lowered from \$100K in the past year.

Councilmember Hornat communicated that as a matter of policy, emergency expenditures should be taken out of the contingency funds.

Councilmember Solomon cited the Economic Development budget and stated that the Metropolitan Tucson Convention and Visitors Bureau (MTCVB) and the Hilton El Conquistador had met with the town and had requested a larger contribution from the town because of the large amount of referrals and sales tax they had generated.

Mayor Hiremath stated that he had spoken with the Hilton and that they wanted to talk about a higher level of commitment from the town, but that a decision did not need to be made yet.

Vice Mayor Snider stated that the Hilton understood the town's economic situation and was agreeable to waiting until the real bed tax revenues were in.

Councilmember Garner commented that the Hilton El Conquistador was a member of the MTCVB and contributed money to that organization. He stated that the bed tax revenues could be used on areas that benefitted Oro Valley directly, on future hotels and attractions, and for joint marketing efforts with Marana.

Councilmember Hornat stated that the Council would continue to work with staff on additional budget reduction opportunities throughout the year.

Mayor Hiremath remarked that the budget was balanced and that he did not see a necessity for the .25% sales tax increase.

Councilmember Solomon questioned the Magistrate Court costs and whether the town had ever increased fees to recoup those costs.

Court Administrator, Judy Thompson-Ng, affirmed that the court regularly adjusted their costs and mentioned that in the previous year, the Council had approved a security fee as an additional funding measure. She also stated that Pima County and the State set base limits on violations and only a portion of that went to the town.

Councilmember Garner asked if the \$190K for citation collections was the amount the court collected from the state and Ms. Thompson-Ng explained that the state received 49% of all court fines and that the majority were law enforcement violations.

FUTURE AGENDA ITEMS

Councilmember Solomon requested that Council look at general development expectations and guidelines along Tangerine Road, seconded by Councilmember Hornat with additional discussion at the agenda committee meeting.

ADJOURNMENT

MOTION: A motion was made by Vice Mayor Snider and seconded by Councilmember Solomon to adjourn the meeting at 7:06 p.m.

MOTION carried, 7-0.

Prepared by:

Tracey L. Gransie
Assistant to the Town Clerk

I hereby certify that the foregoing minutes are a true and correct copy of the minutes of the study session of the Town of Oro Valley Council of Oro Valley, Arizona held on the 11th day of May 2011. I further certify that the meeting was duly called and held and that a quorum was present.

Dated this _____ day of _____, 2011.

Julie K. Bower, MMC
Town Clerk



Town Council Regular Session

Item # B.

Meeting Date: 10/05/2011

Requested by: Amanda Jacobs

Submitted By:

Amanda Jacobs, Town
Manager's Office

Department: Town Manager's Office

Information

SUBJECT:

Tucson Regional Economic Opportunities, Inc. Quarterly Report: April 1, 2011 - June 30, 2011

RECOMMENDATION:

This report is for information only.

EXECUTIVE SUMMARY:

The 2010/11 Financial Participation Agreement (FPA) between the Town of Oro Valley and Tucson Regional Economic Opportunities, Inc. (TREO) stipulates that a quarterly report be compiled by TREO and submitted to the Economic Development division and the Town Council. The enclosed reports satisfy the FPA requirement for the fourth quarter of FY 10/11.

BACKGROUND OR DETAILED INFORMATION:

N/A

FISCAL IMPACT:

The FY 10/11 FPA between the Town of Oro Valley and TREO is in the amount of \$43,521.

SUGGESTED MOTION:

This report is for information only.

Attachments

TREO 4th Quarter Report

4th Quarter Back-Up Material

FY2010-11 TREO Financial Participation Agreement

**Oro Valley Report
Activity for the Period
April 2011-June, 2011**

1) Retention, expansion and attraction of primary employers

Strategies:

- Support local company formation as a method to create jobs and capital investment as well as showcase the Tucson region's innovative strengths.
- Conduct 3 Economic Development missions/trips to showcase the Tucson region's competitive strengths.

Activity:

- TREO lead a sales mission to Huntsville, AL in conjunction with the TREO leadership exchange trip. Huntsville has attracted a critical mass of Aerospace & Defense companies, due to the concentration of the industry's customer base in one location, development of physical infrastructure and high level of corporation among policy makers. TREO met with site selectors.
- Publish/sponsor 15 media articles showcasing the Tucson region's competitive strengths.

Activity: (Articles attached)

- AZ Star Net: "S. AZ consensus: We need science-based jobs"
- Business Expansion Journal: "Bioscience: Can you see your business here?"
- AZ Public Media: "Bringing Healthy Business to Tucson"
- AZ Star Net: "300-acre solar farm west of Tucson Mtns. Is OK'd"
- Inside Tucson Business: "CyraCom meets goals, now employs 400 interpreters"
- AZ Star Net: "Panel shares incentives for revenue, job growth"
- Conduct 4 outreach meetings with regional primary employers to discuss current and future issues associated with operations, workforce, sales, local government, and other important matters. These meetings will focus on businesses within the four targeted industries and primary employers which produce goods and services in excess of what can be consumed by the local market.

Activity:

- TREO staff met Sanofi Aventis to discuss expansion plans.
- TREO staff visited CAID Industry to tour the facilities
- TREO staff met with Schletter to assist with expansion plans
- TREO conducted a survey with over 150 primary employers in the region to update hiring trends in the area.

- Attract and assist businesses outside of our community to relocate into the region and create new jobs. TREO shall focus on companies within the four targeted industries. Host 2 site selectors in Oro Valley.

Activity:

- TREO hosted UGL Services and toured Oro Valley with focus on commercial and residential real estate in May 2010.
- See **Project Highlights** in the attached Quarterly Report
- Pipeline Prospects Include:
 - 34 Prospects & Clients Total
 - 3 Aerospace/Defense
 - 7 Alternative Energy
 - 2 Bioscience
 - 8 Call Center
 - 14 Other

2) Economic Development Policy and Tools development and pursuit

Strategies:

- Pursue reinstatement of State Job incentive grant funds.
- Enhance and standardize the State enterprise zone program for use in relocation of primary employers.

Activity:

- TREO continued its advocacy for legislative and policy tools to improve regional and state competitiveness. Specific activities included:
 - Arizona Competitiveness was signed by Governor Brewer early in the session. It includes the establishment of the ACA, protection for the Arizona Job Training Funds program, and several new tax credits and expansion in the state
 - Revenue Allocation Authority creates an important economic development tool consistent with the Arizona Constitution to capture incremental local property tax revenues and/or local sales tax revenues.
- For details, see the Policy and Government Affairs section of the attached Quarterly Report.
- Development of the Aerospace and Defense Cluster Strategy including actions to take in support of this sector in the region.

3) Marketing and promotion of the Tucson Region as a Business Center

Strategies:

- Continue national public relations outreach to position TREO as a business center by conducting 2 press trips, one out-bound and one in-bound.

Activity:

- TREO led a marketing mission of Tucson healthcare executives on a high profile, two – day tour of Washington, DC, that resulted in interviews with leading national news services, magazines and newspapers including Reuters, the Los Angeles Times, USA Today and other industry media. The group stressed the importance of healthcare as an economic driver for Tucson and its surrounding communities.
- Generate positive local media coverage in business publication, TV and radio regarding the Tucson region's key strengths. Working with local media partners to highlight at least 2 positive stories that demonstrate the region's support of the business community and job creation.

Activity:

- Coordinated and managed announcement of Sargent Aerospace & Defense expansion, including media/story placement and responding to national and regional media inquiries.
- In partnership with BizTucson magazine, hosted a CEO Leadership Summit luncheon (01/13/2011) to provide an opportunity for regional CEO's to address economic issues of concern within their industries. Panel format was moderated by Joe Snell.
- Launched CEO Interview Series in February on the new Bill Buckmaster radio show (KVOI Radio) to continue building local awareness of economic development activities, the need for a diversified economy, and the importance of TREO's targeted industries and local economic drivers.



Health of economy here depends on our ability to retain, attract high-tech industries

S. AZ consensus: We need science-based jobs

Dale Quinn Arizona Daily Star | Posted: Sunday, April 3, 2011 12:00 am

With Tucson's housing and tourism markets hobbled by the Great Recession, the importance of building high-tech businesses and science-based jobs in Southern Arizona has become even more apparent.

Industry experts and economists agree that Tucson's economic health depends largely on its ability to diversify more thoroughly into these fields.

"The recession exposed our weaknesses," said Joe Snell, president and CEO of Tucson Regional Economic Opportunities Inc. "And that is our reliance on consumptive industries."

In the Tucson area, non-farm employment has seen repeated declines year-over-year. There were 355,400 jobs in Pima County in 2010, says the economic and business research center at the University of Arizona's Eller College of Management. That's a 1.7 percent drop from 2009, when the area had 361,700 jobs. In 2008, Tucson had 381,500 jobs.

Construction jobs, with double-digit percentage declines in that period, suffered some of the most significant losses. But the data also show employment decreases in the leisure and hospitality industry.

The UA doesn't specifically track high-tech jobs, but Marshall Vest, a university economist and director of the economic and business research center, said those sectors have seen job losses.

And it will take some time, likely more than a year, for Tucson's job market to get back on its footing, Vest said.

"It's probably going to be the middle of the decade, about 2015, before the economy starts hitting on all sectors," Vest said.

But Tucson does hold promise as a hub for science-based industries going forward, Vest said, as companies have shown interest in expanding here, which could prove crucial for the economy in years to come.

"It's important that we find a new industry to lead us in growth going forward," said Vest.

Coming out of a deep recession has sharpened the community's focus on industries that can offer high-paying jobs, said Ron Shoopman, president of the Southern Arizona Leadership Council.

From 2002 to 2008, bioscience jobs in Arizona expanded by 31 percent, more than double the rate of job growth in Arizona's economy overall, according to data from the Flinn Foundation, a group that's working "to develop Arizona as a global bioscience research and commercial center."

Shoopman said Flinn's numbers even show job growth in the bioscience industry through the recession.

While the biosciences have proven to be an invaluable component of Tucson's economic growth, TREGO, the area's economic development agency, plans to increase its focus on the aerospace and defense industries, Snell said.

Aerospace and defense already pump billions into the local economy, and Tucson needs to do a better job marketing their presence, he said.

Snell said Southern Arizona must work hard to retain defense companies like Raytheon Missile Systems and needs to attract the companies that provide the supply chain products for them.

To that end, TREGO is looking for gaps in the supply chain and is working to attract the companies that could fill them.

TREGO has begun looking into locating an aerospace and defense research park in town, possibly near Tucson International Airport, to provide a home for new and growing companies, Snell said. Talks about such a park are in the early stages, he

said. When Snell began working on economic development for Tucson in 2005, he said large employers told him they didn't consider Southern Arizona a potential place to locate their operations.

"We weren't known as a science center," he said. "We were known as a call center."

Tucson's population also raised questions among high-tech employers about whether or not the city had enough qualified workers.

Since then, Tucson has had to work against that perception, Snell said. There has been evidence of success, he said, such as the expansion in Oro Valley of Ventana Medical Systems, which is now owned by the Swiss drug company Roche, and the growth of Sargent Aerospace and Defense in Marana.

As for Tucson's recent loss to Alabama, where Raytheon decided to build a new missile facility, Snell said it provided a wake-up call for Southern Arizona about the constant competition in keeping high-tech companies here.

It's important for the city to work with the company to provide the surrounding buffer zone Raytheon has asked for, he said.

Tucson also needs to look at opportunities across the border in Mexico, which has begun to pick up some manufacturing work for aerospace and defense companies, Snell said.

While Tucson may not be able to compete with Mexico when it comes to the costs associated with manufacturing, he said the area does have scientific, engineering and senior management talent those companies may need.

But for Tucson to really build its base of high-tech jobs, several components must come together, said Vest, the UA economist. The community needs to either entice companies to locate here, or build them itself through research and development at the university. On top of that, it takes money for the startup companies to grow, Vest said.

And once the companies are here, he said, Tucson must keep them by ensuring it's a place where high-wage earners will want to stay and raise their families.

"There's a lot of moving parts," he said. "You have to have an environment where a high-tech company can flourish and grow, and an environment where high-skilled engineers and technological people want to live."

Tucson job outlook

Data and projections for metropolitan Tucson (Pima County) from the University of Arizona Eller College of Management's Economic and Business Research Center

Employment change (in percent)

2009 2010 2011* 2012* 2013*

Total non-farm -5.2 -1.7 0.2 1.8 2.8

Mining -10.8 3.6 2.3 -1.4 -0.2

Construction -27 -12.3 -4.8 4.1 13.5

Manufacturing -7.4 -3.2 1.6 1.8 2.5

Trade, transportation and utilities -7.5 -2.1 1.7 2.5 3.2

Information -9.4 -4.5 1.8 4.7 0.2

Professional and business services -7.9 -1.9 -2.3 0.9 2.7

Leisure and hospitality -4.2 -2.1 2.7 2.8 2.9

Government -1.2 -1.9 -1.9 0.4 0.9

*Forecasted

"You have to have an environment where a high-tech company can flourish and grow, and an environment where high-skilled engineers and technological people want to live."

BY RACHEL DURAN

INDUSTRY PERSPECTIVE BIOSCIENCES AND BIOPHARMA

BIOSCIENCES: CAN YOU SEE YOUR BUSINESS HERE?

TAP INTO COMMUNITY COLLABORATIONS AND THRIVE.

>> The Analytical Lab at Innovation Park located adjacent to the campus of Notre Dame in South Bend, Ind., is a game changer for bioscience startups. "You can go out and find what is typically described as wet lab space, with benches, sinks, etc., but it is rare to find one that is fully equipped with standard equipment you would expect to find in a pharmaceutical analytical lab," says David Brenner, president and CEO, Innovation Park. The park is a 12-acre site; the lab is a 56,000-square-foot facility.

The lab is home to 30 clients in various stages of development, some involved in life sciences, some in IT, and some involved in IT data collection and analysis for life sciences. The lab is available to those that need to conduct wet lab analytical work by the project, by the hour or by the week. "We provide not only space

but a process — we are a transitory space," Brenner says. "We work with companies to sign leases of a year. They are here to get certain things done; they are not looking for a 10-year lease."

When conducting a site selection search, bioscience firms will find no shortage of locations ready to assist them. A scan of the country finds communities are acting with one voice, and creating an inventory of incubation, laboratory and campus-style facilities. The business leadership is also doing an improved job of partnering with their region's higher education assets and research institutions to further the bioscience industry.

In Lawrence, Kan., when the Lawrence-Douglas County Biosciences Authority was created it was the first time that the community and the University of Kansas (KU) signed one document together. One thing

community leaders kept hearing from industry was that there was a lack of dedicated office and wet lab space that would allow firms to continue their projects in Lawrence. With a focus on raising money and determining what an incubator should look like, the partners of the authority worked with the Kansas Biosciences Authority to build the Biosciences and Technology Business Center at KU.

And the partnership bonds continue to strengthen as university officials take a more active role in economic development initiatives. For instance, in January, Julie Goonewardene began her role as the associate vice chancellor for innovation and entrepreneurship. She will coordinate research activities at both the main campus in Lawrence and the KU Medical Center in Wichita. "We want to get the most out of both our internal technology produced by faculty and get the most

April 2011 07

PHARMACEUTICALS

ALL INDICATORS ARE BASED ON REAL-TIME DATA FROM THE END OF SECOND QUARTER 2009 TO THE END OF SECOND QUARTER 2010.

Bizminer

STARTUPS

1. CALIFORNIA
2. NEW YORK
3. FLORIDA
4. NEW JERSEY
5. TEXAS
6. MARYLAND
7. PENNSYLVANIA
8. PUERTO RICO (TIE)
8. MICHIGAN (TIE)
10. KENTUCKY (TIE)
10. MASSACHUSETTS (TIE)
10. UTAH (TIE)
10. VIRGINIA (TIE)
10. WASHINGTON (TIE)
10. GEORGIA (TIE)
10. ARIZONA (TIE)

NEW BRANCHES

1. NEW JERSEY
2. CALIFORNIA
3. ILLINOIS (TIE)
3. NORTH CAROLINA (TIE)
5. PENNSYLVANIA (TIE)
5. FLORIDA (TIE)
7. NEW YORK (TIE)
7. MASSACHUSETTS (TIE)
9. MISSOURI (TIE)
9. KENTUCKY (TIE)
9. OHIO (TIE)
9. GEORGIA (TIE)
9. TEXAS (TIE)
9. PUERTO RICO (TIE)
9. ARIZONA (TIE)

EMPLOYMENT

1. CALIFORNIA
2. NEW JERSEY
3. ILLINOIS
4. PUERTO RICO
5. NEW YORK
6. FLORIDA
7. PENNSYLVANIA
8. DELAWARE
9. TEXAS
10. MISSOURI

DATA INCLUDES THE FOLLOWING CLASSIFICATIONS:
 43-834 PHARMACEUTICAL PREPARATIONS
 43-835 DIAGNOSTIC SUBSTANCES
 44-559-9922 PHARMACEUTICAL MACHINERY

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out of collaborations with industry," says Kevin Boatright, director of communications, Office of Research and Graduate Studies, KU. The university's research niches include drug discovery, bioengineering, with a focus on radio frequency devices, and biorefining and bio-energy activities.

Goonewardene will also conduct workshops and educational activities to encourage the members of the university community to be more entrepreneurial.

In addition to the incubation space, growing bioscience companies will find available space at the former home of Oread Labs, which is ideal for companies that graduate from the incubator. "We are also working on a research park study to understand our assets and liabilities to determine where the best location is to set up a research park," says Beth Johnson, vice president of economic development, Lawrence Chamber of Commerce.

Moving to the Southwest United States and Tucson, Ariz., economic development officials, industry, research organizations, and the

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Southern Base of the Research Triangle Region

higher education system have also been acting with a unified approach to build out the bioscience cluster. For one project, officials worked confidentially for 11 months to see an expansion announcement in October 2010 by homegrown company, Ventana Medical Systems Inc., a tissue diagnostics division of Roche Pharmaceuticals.

The company conducted a global site search evaluation before deciding to invest \$180 million in an expansion in the Tucson metro that will occur during five years, which will add buildings and up to 500 jobs to the company's workforce of 900.

The Tucson Regional Economic Opportunities Inc. (TREO), the Town of Oro Valley, Pima County and the state of Arizona worked together to retain the company's expansion in the Tucson region. The community's officials believe presenting a unified voice tipped the scale.

"We have turned the corner in the biosciences industry during the last three to four years — it is more than a tweaking," says Laura Shaw, senior vice president, marketing and com-

munications, TREO. Figures released by the Flinn Foundation earlier this year find that the bioscience industry has a \$6.9 billion impact in Pima County, consisting of 54,000 jobs. The area's strengths are in research, testing, diagnostic, medical labs and a strong hospital network.

In addition to a small cluster of bioscience firms, and Ventana/Roche, Sanofi-Aventis is located across the street from Ventana/Roche, both of which are located at the 535-acre Innovation Park in the Town of Oro Valley. Shaw says Sanofi-Aventis bought a local startup that spun out of the University of Arizona, and decided to keep the operation in the region because of the talented researchers; much like Roche did when it bought Ventana.

Tucson is also home to the Critical Path Institute, which brings organizations together to share research in order to bring drugs to market faster. Other assets include the drug discovery activities at the BIO5 Oro Valley, which is a former drug discovery unit of Sanofi-Aventis.

In other activity, the University

of Arizona is developing a 65-acre mixed use development that will feature a bioscience aspect.

RESEARCH ASSETS CONTINUE TO BE MAJOR COMPONENT OF EXPANSIONS

While Tucson proves its bioscience cluster strengths, the communities of Huntington and Morgantown, W. Va., as well as the state of West Virginia, are working to create a supportive environment for bioscience firms.

"Because we are a small state, we can be nimble," says Jennifer Kniec, associate vice president for economic development, Marshall University Research Corp., located in Huntington. "We have a strong network of professionals ready to work with companies that want to move or grow here."

Companies conducting business in the state include Amgen and Pfizer Inc., in addition to startup firms. In Huntington, Vandalia Research Inc. spun out of technology created at Marshall University. The company manufactures DNA for use in vaccines, using large-scale PCR technologies. Another bioscience firm,

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BIOSCIENCES

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9. INDIANA (TIE)
9. WASHINGTON (TIE)

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8. FLORIDA
9. MARYLAND
10. NORTH CAROLINA

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 129-731.01 BIOLOGICAL RESEARCH
 129-733.01 NON-COMMERCIAL BIOLOGICAL RESEARCH

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Progenesis Technologies LLC, is developing genetically-engineered bacterial alginates for medical and industrial applications.

Bioscience activities in Morgantown are highlighted by Protea Biosciences Inc., which is licensing technology from West Virginia University to develop new bioanalytic tools. In regard to incubation space, the Huntington Area Development Council is set to open an incubator.

Kmiec says the state has also formed BioWV, comprised of industry stakeholders, to promote the states bioscience activities, as well as creating a strong business environment.

Moving southeast, and to additional research university community efforts, Athens, Ga., is home to a bioscience cluster that includes strengths in pharmaceuticals and veterinary sciences. The University of Georgia runs a regional incubation facility, where firms have the benefit of accessing research and other components, says Matt Forshee, president and CEO, Athens-Clarke County Economic Development Foundation. Athens is also home to the Animal

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- * **SITE OPTIONS** A good mix of existing industrial parks, business & research parks, available buildings and abundant land ready for development.
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Health Research Center, which is a CDC-type of facility for animals.

"As companies grow we want to spin them out to our Athena Business Park, which is home to Merial and Athens Research and Technology Inc.," Forshee says. Merial manufactures rabies vaccines and products such as Front Line. Athens Research and Technology manufactures human proteins. The Athena Business Park is a 2,500-acre industrial park.

The Athens biosciences cluster is part of the Innovation Crescent, which spans Interstate 85 and Georgia Highway 316, and which is home to the majority of Georgia's life science industries. In addition to the University of Georgia, Athens is also home to Athens Technical College, which features a life sciences technician training program.

Heading northeast in the country to the eastern region of North Carolina, the state has created a bionetwork run by the state's community college system that is comprised of seven centers. The centers have focuses in areas such as biagriculture, pharmaceuticals and bioprocessing. The BioNetwork Bioprocessing Center is administered by Pitt Community College in Greenville.

Pitt County is an emerging hotspot for pharmaceutical and medical device manufacturing companies. The county was recognized in 2010 by the Milken Institute as No. 34 in a ranking of strong places for these activities to take place. One of the companies in the region's bioscience cluster is DSM Pharmaceutical Products, which performs pharmaceutical dosage form manufacturing.

Returning to the bioprocessing center in Greenville, its original focus was to act as a resource for community colleges and economic developers, with a focus on workforce development, such as creating curriculums to train employees. "We have expanded our services to universities, as they are part of the economic development plan," says Bill Cooper, manager, BioNetwork Bioprocessing Center. The services also extend to the K-12 system.

Cooper says recent activities have included developing materials to train the trainer to deliver training to incumbent workers during one company's annual shut down, when it maintains

its equipment. "We have also developed a course called industrial microbiology, which is available to associates of applied science and biotech students," Cooper says. The course was developed to support a firm that found a gap in education, and is delivered at Pitt Community College.

The bioprocessing center has also collaborated with officials at East Carolina University to develop a bachelor's degree in industrial technology degree, with a concentration in bioprocessing.

Research institutions to support bioscience activities are found throughout North Carolina, including in the north central region of the state, which includes Franklin County, which is one of four counties marketing industrial sites in the Triangle North region. The sites range from 250 acres to more than 525 acres. Franklin County is home to Novozymes North America Inc., the world's largest producer of industrial enzymes.

Three of the four parks that comprise the Triangle North are ideally suited to support bioscience activities. The fourth site is more suited to meet logistics needs. The sites are fully infrastructured, and have access to abundant sources of water to support processing activities.

The sites are located within a 40 minute to 50-minute drive of the Research Triangle Park, and universities such as University of North Carolina-Chapel Hill, Duke University and North Carolina State University, says Timmy Haynes, administrator of the Triangle North.

Another community that offers its bioscience firms access to research synergies is Frederick County, Md., which is located near Johns Hopkins University and its hospital in Baltimore, as well as the University of Maryland in College Park. The cluster in Frederick County features Lonza Bioscience, and Life Technologies Corp., which was formerly Invitrogen. Both companies added staff in 2010. The county is also home to the manufacturing component of a flu mist product for MedImmune Inc., which also added jobs in 2010.

Frederick County is home to Fort Detrick and its National Interagency Biodefense Campus, which is a \$1.3

billion investment, says Helen Riddle, senior business development specialist, Frederick County (Md.) Office of Economic Development. The fort also features the U.S. Army Medical Research Institute for Infectious Disease. In addition, a presence of the National Cancer Institute will remain on base, and a location is being established off base, called the National Cancer Institute at Riverside Research Park, a 330,300-square-foot facility, Riddle says. "Fort Detrick has a lot of synergy around technology transfer both on and off the base."

Riddle says bioscience firms will find a welcoming industry cluster, which features companies that are ready to partner to further strengthen the biotech community. With Frederick County's assets such as talent, available real estate, as well as the ability to partner with institutions and the higher education system, it is a typical representation of what bioscience firms will find in a variety of locations across the country. ☒

ONLINE

FOR COMPLETE DETAILS ON THE ORGANIZATIONS FEATURED IN THIS ARTICLE, VISIT:

Athens-Clarke County (Ga.) Economic Development Foundation
www.athensbusiness.org

BioNetwork Bioprocessing Center
www.ncbionetwork.org

Frederick County (Md.) Office of Economic Development
www.discoverfrederickmd.com

Innovation Park (South Bend, Ind.)
www.innovationparkind.com

Lawrence (Kan.) Chamber of Commerce
www.lawrencechamber.com

Marshall University (W.Va.) Research Corp.
www.marshall.edu/murc

Triangle North (North Carolina)
www.trianglenorthnc.org

Tucson (Ariz.) Regional Economic Opportunities Inc.
www.treozaz.org

University of Kansas' Office of Graduate and Research Studies
www.kucrc.ku.edu



Forum puts local officials, business leaders on same page

Panel shares incentives for revenue, job growth

By Alex Dalenberg Arizona Daily Star | Posted: Saturday, May 28, 2011 12:00 am

A panel of local officials charged with business development told a gathering of county business leaders that they're doing their level best to spur economic growth.

As evidence, representatives from Pima County and city and town governments touted a menu of recently passed economic development initiatives and incentive packages for businesses at an informational "matchmaking session" hosted this week by the economic development agency Tucson Regional Economic Opportunities, Inc.

About 80 TREO investors and commercial and industrial brokers gathered at the downtown Manning House to hear pitches from the various local jurisdictions as well as the newly formed Arizona Commerce Authority.

TREO President Joe Snell said the forum was an opportunity for business and government to get on the same page.

"Governments speak a different language than industry so it's important we get them in the same room," Snell said.

Here are some details from the presentations:

Arizona Commerce Authority

Rob Morton, vice president for business attraction, spoke on programs that will be available from the newly formed Arizona Commerce Authority, a public-private partnership which will take over from the state Department of Commerce this summer. Morton touted a list of incentives included in the recently passed Arizona Competitiveness Package, including a \$25 million deal-closing fund for attracting high-wage companies to the state and income-tax credits for creating new jobs.

City of Tucson

Assistant City Manager Sean McBride described the following incentives:

- The Primary Jobs Incentive, which aims to retain and attract companies in aerospace and defense, bioscience, solar energy, transportation and logistics. The city waives fees for electrical, plumbing, mechanical, grading and site review permits and directs construction sales taxes to job training, public infrastructure improvements or impact fee offsets.
- Downtown infill and redevelopment incentives which include a \$10,000 building-permit fee waiver, zero parking requirements, and a 23-percent discount in road-impact fees for building downtown.
- Solar incentives worth up to a \$10,000 permit-fee credit for solar systems or water heater and impact fee deferrals.

Pima County

Development Services director Carmine DeBonis highlighted "streamlined" services for businesses, including online building review and permitting services, and quicker approval times for permits, development plans and rezonings.

"We're looking to get more things done at fewer points of contact," DeBonis said.

Jim Mize, director of the Pima County One Stop Career Center, outlined services at the employment center, including job-listing services, information on tax credit assistance, job-training programs, and office space for job fairs, recruiting events and employee orientations.

Town of Marana

Marana reimburses local construction sales taxes for non-retail companies that create at least 25 jobs paying \$40,000 per year or more and that invest at least \$2 million in new construction or renovations. Companies may use the reimbursement for employee relocation, job training, improvements to the Interstate 10 corridor or internships for Marana students. The town also offers expedited development reviews for high-wage employers.

The town is focused on flexibility when it comes to working with businesses, said Josh Wright, an assistant to the town manager.

"Everybody has unique needs," Wright said. "The thing we do is try to build around your timeline."

Town of Oro Valley

Economic development manager Amanda Jacobs said the town handles requests for incentives on a case-by-case basis. Jacobs said other efforts by the town include project teams to ensure incentive applicants' questions are answered quickly, a shortened review process that has cut development reviews by about nine months, and a continued commitment to expanding the town's bioscience cluster at Innovation Park.

Town of Sahuarita

Economic development and communications manager Kathy Ward described Sahuarita as "the new kid on the block" when it comes to economic development and incentives. The town has grown by almost 700 percent in the last decade.

"If Pima County and Tucson are in graduate school and Oro Valley and Marana are in college, we're still trying to get through high school," Ward said.

Ward didn't offer up specifics, but said the town is starting to pursue TREO and Commerce Authority leads in hopes of landing a major employer with a goal to create a local, self-sustaining economy.

"The council and staff are very committed to economic development," Ward said.

Contact reporter Alex Dalenberg at adalenberg@azstarnet.com or 807-8429.

CyraCom meets goals, now employs 400 interpreters

By Patrick McNamara, Inside Tucson Business | Posted: Friday, June 10, 2011 5:00 pm

At an ordinary business park near Tucson International Airport, hundreds of call center workers report to work each day.

"In most call centers, the front door is open and the back door is open and people just file through," said Best Ihegborow, who manages this particular site that isn't one of those call centers.

CyraCom International employs more than 400 highly-trained interpreters who translate medical terminology and other technical speak for companies throughout North America.

The company opened in Tucson in 2009, at the time setting a goal to have 400 employees. Last month it reached that goal, having hired more than 100 interpreters since the start of the year.

One way CyraCom works can be seen in royal blue telephones equipped with two headsets that are in hospital rooms across the country: A physician speaks into one of the headsets and the patient is on the other one. In between, a CyraCom interpreter provides real-time translation for both.

The company's extensive training program teaches workers the terminologies used in specialized industries.

"We're teaching them the art of vocational interpretation," Ihegborow said.

CyraCom provides translation services for more than 1,500 hospitals and about 1,000 other clients in industries, including insurance, hospitality, utilities and 911 emergency calls.

CyraCom has the capability to translate 170 languages. In its Tucson facility, translators work in 11 primary languages, including Spanish, French, Arabic, Portuguese, Mandarin, Cantonese, Russian, Polish, Korean, Japanese and Vietnamese.

While native proficiency is preferred for translators, Ihegborow said that alone isn't a qualification.

"What we have found is just because you're bilingual doesn't make you an interpreter," he said.

The company has won praise for its innovation and ability to utilize the region's cultural diversity among local leaders like Tucson Mayor Bob Walkup who commended CyraCom for continued growth even in the face of a down economy.

Joe Snell, president and CEO of Tucson Regional Economic Opportunities (TREO), also extolled the company for providing a secure employment base.



Supervisors united in support; nearby residents opposed

300-acre solar farm west of Tucson Mtns. is OK'd

By Rhonda Bodfield Arizona Daily Star | Posted: Wednesday, June 22, 2011 12:00 am

The Pima County Board of Supervisors unanimously approved a vast solar energy farm west of the Tucson Mountains that was pitched as a linchpin for the area's ability to lure such commercial ventures in the future.

The project, by FRV Tucson Solar, pitted heavyweights in the business community against nearby residents, who said the roughly 300-acre project with thousands of photovoltaic solar panels wasn't compatible with their neighborhood.

"This project is not a bad project, but it is in a terrible location," argued Rick Westfall, whose property is next to the proposed site. With the huge business community turnout supporting the project, Westfall characterized the fight as one between David and Goliath - adding that he wasn't naive enough to think his side was likely to win.

Joanne McKearney, another neighbor, objected that neighbors never got their questions answered, although they received hundreds of pages of documents in what she characterized as a last-minute data dump. "I'm tired of hearing they're a good neighbor," she said. "They are not a good neighbor."

But advocates insisted denial would discourage other companies from gambling on similar investments.

Paul Bonavia, president of Tucson Electric Power Co. and its parent company, UniSource Energy Corp., said he has been working with financial interests to market Tucson as a solar-friendly city.

"You have to show them a favorable marketplace to get them to come here," he told the supervisors.

Under a 20-year agreement, TEP will purchase energy produced by the plant - enough to power 4,500 homes. The plant will be the utility's single largest source of solar energy once it is completed next April. To put that in context, the utility provides power to 402,000 customers in the metropolitan area.

Mike Varney, president of the Tucson Metropolitan Chamber of Commerce, and Michael Guymon, a vice president with Tucson Regional Economic Opportunities, also urged approval, saying the community needed to send a message that it supports sustainable energy development.

Advocates note the construction of the project will create as many as 300 jobs in the short term. Longer term, only a handful of security and maintenance workers will be needed.

The project has been stalled since its first county hearing in November by neighbors' concerns about possible emissions, noise, heat effects and property values. The county staff since determined emissions would be essentially nonexistent compared with conventional power plants. And project operators agreed to a larger setback, a wall and landscaping to reduce the visual impact.

The county staff asserted there will be no impact on property values, since the solar farm won't be seen by nearby residents and won't produce noise or emissions.

Supervisor Sharon Bronson, who represents the area, said the concerns of the neighbors resulted in a stronger project, but ultimately, "We have to make a decision on what is good for the entire community."

Contact reporter Rhonda Bodfield at rbodfield@azstarnet.com or 573-4243.

Bringing Healthy Business to Tucson
Story By Tony Paniagua

June 29, 2011



Photo: AZPM

Guests Laura Shaw and Ruth Brinkley discuss their Washington, D.C. media tour to promote Tucson's healthcare leadership.

The Carondelet Health Network and Tucson Regional Economic Opportunities, or TREO, are working together to attract new business and employment opportunities in Tucson.

Carondelet President and CEO Ruth Brinkley and TREO Senior Vice President Laura Shaw visited Washington to spread the word to bring in new job opportunities.

Why pair a health organization with TREO?

"Tucson is a very healthy community. It's a very active community," Shaw says, adding that this plays a major factor in Tucson's growth.

And the healthiness of a community, Brinkley says, plays a large role in the "attractiveness" of a city.

"One of the foundational blocks of a healthy community is its health-care systems, and its healthcare delivery network," Brinkley says.

By speaking to many media outlets, and campaigning in Washington, the two organizations believe they "spread the word" about Tucson and will lead to finding employers who will offer highly skilled jobs when they bring their businesses to Tucson.



1 Comment

Ranel Cox wrote on Jun 30, 2011 8:18 p.m.:

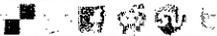
We need jobs and you Global elites are trying to stop the new jobs at the Rosemont mine. We need jobs of all kinds. The USA is in decline and recession because of unfair free trade. We need Nationalism and localism to stop the decline. We are Americans and we must put the USA first.... How can you Globalist elites not see what outsourcing has done to are economy. We must buy AMERICAN and help each other prosper again... We need manufacturing and mining to create wealth so we can pay the Govt. jobs you all enjoy. You all have jobs and then you stop us from having are private sector jobs.... YES we want protectionism.... YES we want trade wars,, were loosing now, lets fight back... BUY AMERICAN... GM NOT TOYOTA

Add a Comment

Comments are closed

To prevent spam, comments are no longer allowed after thirty days.

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Facilitation of High Wage Job Creation & Capital Investment in Region

Announcement: Relocations, Expansions, & Consolidations

- **Ventana/Roche**

Project Type: Attraction

Industry Sector: Bioscience

On October 13, 2010, Ventana Medical Systems, the tissue diagnostics division of pharma giant Roche Pharmaceuticals, announced that it would be expanding its Oro Valley site, adding up to 500 jobs as it advances its personalized healthcare solutions for cancer patients around the world.

The expansion, to take place over five years with new buildings and capital investment of approximately \$180 million, will increase Ventana's over 900-member Arizona workforce by up to 50 percent.

Ventana has been present in Tucson for more than 25 years, starting in a garage belonging to UA professor and pathologist Dr. Thomas Grogan. The company has developed into the world's leading developer and manufacturer of automated tissue-based diagnostic systems and tests focused on the detection of cancer.

- **Sargent Aerospace & Defense**

Project Type: Retention/Expansion

Industry Sector: Aerospace/Defense

Sargent announced in June 2010 that Tucson was selected for its expansion/consolidation of operations. TREO continues project support by providing relocation assistance for the 2 businesses that occupied the adjacent land & building purchased to accommodate the expansion. Expediting the relocation of the 2 businesses was a priority for Sargent so that demolition and construction could begin on the new facility. TREO assisted with site location considerations and facilitation of expedited permitting for facility build-out.

- **Project FRV**
Project Type: Attraction
Industry Sector: Alternative Energy

TREO coordinated discussions between FRV and County officials to provide economic impact data and related information to garner a Conditional Use Permit for FRV's proposed 305-acre solar energy generation facility. The Conditional Use Permit was approved by the Board of Supervisors on June 21 and TREO is coordinating discussions to provide opportunities for local suppliers and vendors.

Prospective Relocations - short listed projects/decisions within 30-90 days

- **Project 612**
Project Type: Retention/Expansion
Industry Sector: Aerospace/Defense

TREO is working with DM-50 to retain and ultimately expand the 612th Air and Space Operations Center (AOC) at Davis-Monthan AFB. The Dept. of Defense is consolidating the 612th with the 601st at Tyndall AFB in Florida. TREO and DM-50 have been working closely with Senator McCain and Congresswoman Giffords' office as this project moves through the Strategic Basing Process and a decision is expected by late summer.

- **Project Algae**
Project Type: Attraction
Industry Sector: Alternative Energy

TREO, working with the Sahuarita Economic Development Office, continues to assist Project Algae with efforts to establish an algae farm/biofuel manufacturing operation in the Tucson region. The Company is currently securing water service to their project, which must be supplied by a private company, as well as other utility/service needs. Coordination with the Town of Sahuarita continues as the company negotiates land leases with area land owners.

- **Project New Jersey**
Project Type: Attraction
Industry Sector: Call Center

A Pennsylvania-based Communications company has visited sites and discussed programs and incentives with TREO staff concerning the expansion of their in-bound call center operations. Estimated job creation from this project is 350-400.

- **Project Surge**
Project Type: Local Expansion
Industry Sector: Other (Electronics)

TREO is working with a local electronics company to double their operations in Tucson and have held discussions with the County to explore FTZ status and streamline their permitting process.

- **Project Gehrig**
Project Type: Local Expansion
Industry Sector: Alternative Energy

TREO is working with a local solar manufacturing firm to expand their operations and has coordinated discussions between Pima County and the Company to streamline development review processes. This expansion will add 50 new positions and the wage range varies depending on the position.

- **Project Armor**
Project Type: Attraction
Industry Sector: Aerospace and Defense

Bourque Industries has developed a metal coating that could revolutionize the body armor and electrical conduit industries. TREO has been working with Bourque to identify applicable opportunities as well as facilities suitable for production and manufacturing. Early indications suggest this could bring substantial R&D and manufacturing jobs to the region.

- **Project Capture**
Project Type: Expansion
Industry Sector: Alternative Energy

TREO is working with a local solar manufacturing firm to expand their operations. This expansion will more than double their current employee base and the average wage levels are in the \$50k-60k range.

- **Project Revival**
Project Type: Expansion
Industry Sector: Aerospace/Defense

A prominent aerospace company has discussed an estimated expansion of 1000 aerospace maintenance and production jobs with TREO. These jobs would significantly expand our aerospace and defense cluster and strengthen our efforts toward the creation of an aerospace/defense corridor.

RESOLUTION NO. (R) 10- 59

A RESOLUTION OF THE MAYOR AND COUNCIL OF THE TOWN OF ORO VALLEY, ARIZONA, AUTHORIZING AND APPROVING A FINANCIAL PARTICIPATION AGREEMENT BETWEEN THE TOWN OF ORO VALLEY AND TUCSON REGIONAL ECONOMIC OPPORTUNITIES, INC.

WHEREAS, the Town of Oro Valley is a political subdivision of the State of Arizona vested with all associated rights, privileges and benefits and is entitled to the immunities and exemptions granted municipalities and political subdivisions under the Constitution and laws of the State of Arizona and the United States; and

WHEREAS, pursuant to A.R.S. § 9-500.11, the Town may appropriate public monies for and in connection with economic development activities as long as there is adequate consideration; and

WHEREAS, the Town desires to continue to promote a business environment in Oro Valley that enhances economic vitality and improves the quality of life for its residents; and

WHEREAS, the Town of Oro Valley desires to enter into a Financial Participation Agreement with Tucson Regional Economic Opportunities, Inc. (TREO); and

WHEREAS, it is in the best interest of the Town to enter into the Financial Participation Agreement with TREO, attached hereto as Exhibit "A" and incorporated herein by this reference, to set forth the terms and conditions of the Agreement.

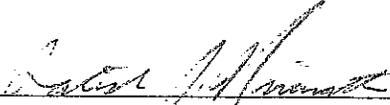
NOW, THEREFORE, BE IT RESOLVED by the Mayor and Council of the Town of Oro Valley, Arizona, that:

SECTION 1. The Financial Participation Agreement between the Town of Oro Valley and Tucson Regional Economic Opportunities, Inc., attached hereto as Exhibit "A" and incorporated herein by this reference, is hereby authorized and approved.

SECTION 2. The Mayor and other administrative officials are hereby authorized to take such steps as necessary to execute and implement the terms of the Agreement.

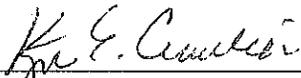
PASSED AND ADOPTED by the Mayor and Council of the Town of Oro Valley, Arizona this 15 day of September, 2010.

TOWN OF ORO VALLEY



Satish I. Hiremath, Mayor

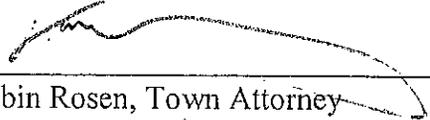
ATTEST:



Kathryn E. Cuvelier, Town Clerk

Date: 9-28-10

APPROVED AS TO FORM:



Tobin Rosen, Town Attorney

Date: 9/28/10

EXHIBIT “A”

Town of Oro Valley
FINANCIAL PARTICIPATION AGREEMENT
(Contract Number)

IN WITNESS WHEREOF, the parties hereto have executed this Agreement as of the date first above written.

TOWN OF ORO VALLEY, a municipal corporation

[Signature]
Satish I. Hiremath, as Mayor
and not personally

ATTEST:

APPROVED AS TO FORM:

[Signature]
Kathryn E. Cuvelier, as Town Clerk
and not personally

[Signature]
Tobin Rosen, as Town Attorney
and not personally

Date: 9-28-10

Date: 9/28/10

TUCSON REGIONAL ECONOMIC OPPORTUNITIES, INC., a non-profit Corporation

[Signature]
Agency Representative
and not personally

Title President & CEO

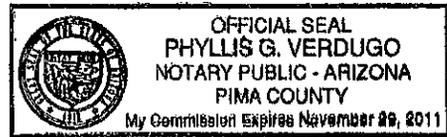
State of Arizona)
) ss.
County of PIMA)

On this 11 day of OCTOBER, 2010, JOSEPH SUEL, known to me to be the person whose name is subscribed to the within instrument, personally appeared before me and acknowledged that he/she executed the same for the purposes contained.

Given under my hand and seal on OCT 11, 2010.

[Signature]
Notary

My Commission Expires: 11-29-11





Town Council Regular Session

Item # C.

Meeting Date: 10/05/2011

Requested by: Mayor Satish I. Hiremath

Submitted By:

Julie Bower, Town Clerk's Office

Department: Town Clerk's Office

Information

SUBJECT:

Appointments to the Corrections Officers Retirement Plan (CORP) Local Board

RECOMMENDATION:

Carlene Kron and Mary Ramirez are recommended for appointment to the CORP Board.

EXECUTIVE SUMMARY:

Police Department dispatchers are members of the State of Arizona Corrections Officers Retirement Plan (CORP). Pursuant to ARS 38-893, each municipality that offers CORP must also form a local board to administer various aspects of the program to its members. The local board must be comprised of the following:

- The Mayor or his designee who serves as chairperson
- Two citizens appointed by the Mayor with the approval of Council to four-year terms
- Two members (employees) elected by secret ballot by members employed by the Town of Oro Valley to four-year terms

Mayor Hiremath recommends the appointment of Carlene Kron as chairperson and Mary Ramirez as a member of the Corrections Officers Retirement Plan Local Board for four-year terms ending 8/31/2015.

BACKGROUND OR DETAILED INFORMATION:

Town employee Nancy Anderson was re-elected by the CORP members for a four-year term expiring 6/30/2015. The other members of the local board are Dan Rhoads and Human Resources Director Betty Dickens.

FISCAL IMPACT:

N/A

SUGGESTED MOTION:

I MOVE to make the following appointments to the Corrections Officers Retirement Plan Local Board: Carlene Kron as chairperson for a term ending August 31, 2015 and Mary Ramirez as a member for a term ending August 31, 2015.



Town Council Regular Session

Item # 1.

Meeting Date: 10/05/2011

Requested by: David Williams

Submitted By:

Matt Michels, Development
Infrastructure Services

Department: Development Infrastructure Services

Information

SUBJECT:

PUBLIC HEARING: ORDINANCE NO. (O)11-24, AMENDING CHAPTER 28, SIGNS, SECTION 28.6, TEMPORARY SIGNS, OF THE ORO VALLEY ZONING CODE REVISED, TO INCREASE ON-SITE REAL ESTATE SIGNS TO A MAXIMUM OF SIX FEET IN HEIGHT

RECOMMENDATION:

The Planning & Zoning Commission voted to recommend approval of the proposed amendment as shown in Attachment 2.

EXECUTIVE SUMMARY:

At the request of local real estate industry representatives, the proposed Zoning Code amendment would increase the maximum allowable real estate sign height from 5 feet to 6 feet. Please refer to the attached letters from Coldwell Banker and the Tucson Association of Realtors asserting that the six foot sign post is a local and national standard (see Attachments 3 & 4).

The Planning & Zoning Commission held a public hearing September 6, 2011. Questions focused on why the industry needs a six foot sign standard and how the proposed standard compares to other jurisdictions.

BACKGROUND OR DETAILED INFORMATION:

On March 16, 2011, the Town Council approved a comprehensive update to Chapter 28: Signs, of the Zoning Code. While taller heights were considered, the code update included a provision allowing a maximum height of 5 feet for on-site real estate, lease, rent, and for sale signs. The sign code includes a provision that the Planning & Zoning Administrator can approve heights up to 10 feet, if warranted due to conditions on the property.

Staff has reviewed the on-site real estate sign standards for several other local jurisdictions with similar demographics and community character, as shown in Attachment 5.

While the communities surveyed have a maximum height ranging from 5 to 10 feet, 6 feet is the most typical maximum on-site real estate sign height. As discussed, several real estate companies assert that 6 feet is their local and national standard.

The one foot increase in height is not viewed as significant by staff. We have noted concerns from at least one resident over real estate sign height and enforcement policies. Please refer to the attached September 6, 2011, P&Z staff report for additional information (Attachment 5).

FISCAL IMPACT:

N/A

SUGGESTED MOTION:

I MOVE to (adopt, adopt with conditions, or deny) Ordinance No. (O)11-24, AMENDING CHAPTER 28, SIGNS, SECTION 28.6, TEMPORARY SIGNS, OF THE ORO VALLEY ZONING CODE REVISED, TO INCREASE ON-SITE REAL ESTATE SIGNS TO A MAXIMUM OF SIX FEET IN HEIGHT.

Attachments

Ord 11-24

Attachment #2-Exhibit A

Attachment #3-Coldwell Banker Letter

Attachment #4-Tucson Association of Realtors Letter

Attachment #5-Real Estate Sign Heights Table

Attachment #6-9-6-11 PZC Report

ORDINANCE NO. (O)11-24

AN ORDINANCE OF THE TOWN OF ORO VALLEY, ARIZONA, AMENDING CHAPTER 28, SIGNS, SECTION 28.6, TEMPORARY SIGNS, OF THE ORO VALLEY ZONING CODE REVISED, TO INCREASE ON-SITE REAL ESTATE SIGNS TO A MAXIMUM OF SIX FEET IN HEIGHT; REPEALING ALL RESOLUTIONS, ORDINANCES AND RULES OF THE TOWN OF ORO VALLEY IN CONFLICT THEREWITH; PRESERVING THE RIGHTS AND DUTIES THAT HAVE ALREADY MATURED AND PROCEEDINGS THAT HAVE ALREADY BEGUN THEREUNDER

WHEREAS, the Town of Oro Valley is a political subdivision of the State of Arizona vested with all associated rights, privileges and benefits and is entitled to the immunities and exemptions granted municipalities and political subdivisions under the Constitution and laws of the State of Arizona and the United States; and

WHEREAS, on March 13, 1981, the Mayor and Council approved Ordinance (O)81-58, which adopted that certain document entitled "Oro Valley Zoning Code Revised (OVZCR); and

WHEREAS, local real estate professionals have requested the Town to allow six (6) foot on-site real estate signs to reflect the changing industry standard; and

WHEREAS, Town staff reviewed on-site real estate sign standards for several local jurisdictions and found that six (6) feet is a typical standard sign height; and

WHEREAS, pursuant to Section 28.6(C)(6)(a)(iv) of the OVZCR, the current maximum height for on-site real estates signs is five (5) feet; and

WHEREAS, the proposed amendment to Section 28.6(C)(6)(a)(iv) of the OVZCR would allow the maximum height for the signs to be increased to six (6) feet; and

WHEREAS, the Planning and Zoning Commission reviewed the proposed amendment at a duly noticed public hearing on September 6, 2011, in accordance with State Statutes and the OVZCR, and recommended approval of the proposed amendment to the Town Council; and

WHEREAS, the Mayor and Council have considered the proposed amendment permitting the height of on-site real estates signs to be increased to six (6) feet and finds that it is consistent with the Town's General Plan and other Town ordinances and is in the best interest of the Town.

NOW, THEREFORE, BE IT ORDAINED by the Mayor and Town Council of the Town of Oro Valley that:

SECTION 1. Section 28.6(C)(6)(a)(iv) of the Oro Valley Zoning Code Revised is hereby amended with additions in ALL CAPS and deletions in ~~strikethrough text~~:

Section 28.6(C) Temporary Signs in a Residential Zoning District

...

6. Real Estate, Lease, Rent and For Sale Signs

a. On-Site Signs

...

- iv. Height: Maximum of ~~five (5)~~ SIX (6) feet from grade. The Planning and Zoning Administrator may approve heights up to ten (10) feet, if warranted.

...

SECTION 2. All Oro Valley ordinances, resolutions or motions and parts of ordinances, resolutions or motions of the Council in conflict with the provision of this Ordinance are hereby repealed.

SECTION 3. If any section, subsection, sentence, clause, phrase or portion of this Ordinance is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions thereof.

PASSED AND ADOPTED by the Mayor and Council of the Town of Oro Valley, Arizona this 5th day of October, 2011.

TOWN OF ORO VALLEY

Dr. Satish I. Hiremath, Mayor

ATTEST:

APPROVED AS TO FORM:

Julie K. Bower, Town Clerk

Tobin Rosen, Town Attorney

Date: _____

Date: _____

Exhibit “A”-DRAFT Zoning Code Amendment

Language to be added is in **BOLD AND ALL CAPS**

Language to be deleted has been ~~struck~~

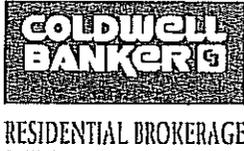
Section 28.6.C Temporary Signs in a Residential Zoning District

...

6. Real Estate, Lease, Rent, and For Sale Signs

a. On-Site Signs ...

- iv. Height: Maximum of ~~five (5)~~ **SIX (6)** feet from grade. The Planning and Zoning Administrator may approve heights up to ten (10) feet, if warranted.



GREG HOLLMAN
Regional Vice President

2890 E. SKYLINE DRIVE, STE 250
TUCSON, AZ 85718
OFFICE (520) 577-7433
TOLL FREE (800) 733-0703
FAX (520) 577-5417
greg.hollman@azmoves.com

August 17, 2011

Dear Oro Valley Planning and Zoning Commission:

First let me thank you for considering the proposed amendment to the Oro Valley sign code to increase the allowable height of on-site real estate signs from 5 feet to 6 feet.

As our profession has changed in recent years we have seen many advances in how we conduct our business and the tools we use to do that business. Internet websites have made home searches easier for the consumer; coded security lockboxes have made homes safer and electronic signatures are just a few of the things we've witnessed in our industry's evolution. To that end there are now advances in yard sign posts.

As the country's largest real estate company we are always embracing new technologies and the new tubular PVC sign post is now the standard. The 6' sign post are being used here in the greater Tucson area and across the country. This new design has clean lines and several other benefits. The built-in information tube does away with the need for a hanging info tube or flyer box thereby reducing clutter and noise. The PVC tubing does not bend, rust or clang like the old metal posts. A locking platform base supports the post so deep post holes are no longer needed thereby reducing pipe breakage.

I assure you these new posts are not an attempt to increase our visibility and in fact we voluntarily reduced the profile of our sign 18 months ago by no longer installing our Golden Retriever mascot on top of our posts.

Thank you so much for your time and consideration. If you have any questions or concerns please don't hesitate to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read "Greg Hollman".

Greg Hollman, ABR
Regional Vice President
2011 TAR MLS President



The Voice for Real Estate® in Tucson
2445 N. Tucson Blvd. Tucson, AZ 85716
(520) 327-4218/ Fax (520) 322-6613
www.tucsonrealtors.org

August 23, 2011

Dear Oro Valley Planning and Zoning Commission:

We thank you for your consideration of this amendment to the Oro Valley sign code. Several of our members served on the sign code commission and we have been very appreciative of the efforts made by Oro Valley to address our concerns.

Oro Valley allows for sale signs to be placed on private property up to a height of five feet. Currently our association has two large nationwide companies, Coldwell Banker and Century 21, that use six foot tall signs as a national standard. Because of the functionality and aesthetics of these signs we anticipate that the use of them will expand to other companies.

As these signs are reused multiple times in multiple jurisdictions alteration of them is impracticable, if not impossible.

We respectfully request that you amend the Oro Valley sign code to allow signs up to six feet. This will accommodate signs from some of our country's largest real estate firms that still comply with every other aspect of the current Oro Valley sign code.

Thank you,

Steve Huffman
Government Affairs Director
Tucson Association of REALTORS®

2011 Officers President: Jill Knox, ABR, CRS, SRES, e-PRO President-elect: Timothy Batt, GRI Vice President: Cathy Erchull, ABR, GRI
Treasurer: Virginia "Gini" Elliott CEO: Phillip B. Tedesco, RCE, CAE

2011 Directors Barbara Bardach, GRI Miriam Bell, ABR, CRS, GRI, SRES Nicole Brulé-Fisher, ABR, CRS, GRI, GREEN Jonna Sotelo Douglas, GREEN
Eric Gibbs Tom Heath Pat Leach, ABR, CRS, GRI, PMN, SRES, e-PRO Peter Lehman, ABR, SFR, GRI, e-PRO
Billy Mordka Paul Olson, CRS, GRI, e-PRO Steve Redmond, GRI Lisa Suarez, CRS Fawn Whitford, SFR



Attachment #5: Real Estate Sign Heights

Jurisdiction	Maximum Height
Marana	6'
Sahuarita	8'
Tucson	10'
Pima County	6'
Gilbert, AZ	6'
Chandler, AZ	6'
Scottsdale, AZ	10'
Sedona, AZ	6'
Durango, CO	5'

TOWN OF ORO VALLEY

PLANNING & ZONING COMMISSION

MEETING DATE: September 6, 2011

TO: PLANNING & ZONING COMMISSION

FROM: David A. Williams, AICP, Planning Division Manager

SUBJECT: Public Hearing: Ordinance (O) 11-__, Amendment to height standard for on-site real estate, lease, rent, and for sale signs, to increase the maximum allowable height from 5 feet to 6 feet, in Section 28.6.C.6 of the Oro Valley Zoning Code, OV711-007

SUMMARY

At the request of local real estate industry representatives, the proposed Zoning Code amendment would increase the maximum allowable real estate sign height from 5 feet from grade to 6 feet from grade. Please refer to the attached letters from Coldwell Banker and the Tucson Association of Realtors asserting that the six foot sign post is a local and national standard (see Attachments #2-4).

BACKGROUND

Amendment History

On March 16, 2011, the Town Council approved a comprehensive update to Chapter 28: Signs, of the Zoning Code. While taller heights were considered, the code update included a provision allowing a maximum height of 5 feet for on-site real estate, lease, rent, and for sale signs. The sign code includes a provision that the Planning and Zoning Administrator can approve heights up to 10 feet if warranted.

Approvals to Date

- Sign code update approved by Town Council on March 16, 2011

DISCUSSION

Other Jurisdictions' Standards

Staff has reviewed the on-site real estate sign standards for several other local jurisdictions and jurisdictions with similar demographics and community character, as shown below.

Table 1: Real Estate Sign Heights

Jurisdiction	Maximum Height
Marana	6'
Sahuarita	8'
Tucson	10'
Pima County	6'
Gilbert, AZ	6'
Chandler, AZ	6'
Scottsdale, AZ	10'
Sedona, AZ	6'
Durango, CO	5'

TOWN OF ORO VALLEY

While the communities surveyed have a maximum height ranging from 5 to 10 feet, 6 feet is the most typical maximum on-site real estate sign height.

PUBLIC NOTICE AND COMMENT

This project has been noticed in accordance with Town procedures, which includes the following:

- Notice in The Daily Territorial
- Post at Town Hall and on website
- Homeowners Association mailing

No comments have been received from the public to date.

SUMMARY/RECOMMENDATION

Staff has reviewed the on-site real estate sign standards of other jurisdictions and finds that 6 feet is a typical standard. As discussed, several real estate companies assert that 6 feet is their local and national standard and that the PVC sign posts are more aesthetically pleasing and offer other benefits over metal posts, including reduced noise from "clanging" in the wind.

The one foot increase in height is not viewed as significant by staff. We have noted concerns among a few residents over real estate sign height and enforcement policies.

Staff has no objection to the proposed Zoning Code amendment as depicted in Attachment #1.

SUGGESTED MOTIONS

The Planning and Zoning Commission may wish to consider one of the following motions:

I move to recommend that the Town Council [approve, approve with conditions, continue, or deny] an amendment to height standards for on-site real estate, lease, rent, and for sale signs, to increase the maximum allowable height from 5 feet to 6 feet, in Section 28.6.C.6 of the Oro Valley Zoning Code, OV711-007.

ATTACHMENTS

1. Draft Zoning Code Amendment
2. Coldwell Banker letter
3. Tucson Association of Realtors letter



Town Council Regular Session

Item # 2.

Meeting Date: 10/05/2011

Requested by: David Williams

Submitted By:

Karen Berchtold,
Development Infrastructure
Services

Department: Development Infrastructure Services

Information

SUBJECT:

REQUEST FOR APPROVAL OF CONCEPTUAL SITE PLAN AND ARCHITECTURE FOR CASA DE LA LUZ, A PROPOSED MEDICAL OFFICE USE LOCATED AT 7740 AND 7750 N. ORACLE ROAD

RECOMMENDATION:

CONCEPTUAL SITE PLAN:

At the September 13, 2011 meeting, the Conceptual Design Review Board (CDRB) voted to recommend approval, subject to the conditions shown in Attachment 1.

CONCEPTUAL ARCHITECTURE:

At the September 13, 2011 meeting, the CDRB voted to recommend approval, subject to the conditions shown in Attachment 1.

EXECUTIVE SUMMARY:

The applicant requests approval of a Conceptual Site Plan (Attachments 2 & 3) and Conceptual Architecture (Attachments 4, 5, 6, 7 & 8). This project entails development on two adjacent parcels to develop a medical office facility for Casa de la Luz, a hospice service provider. Two new buildings are proposed on the northern lot, and an existing building on the southern lot will be renovated. Access is provided from an existing driveway on N. Oracle Road. Public art is not included in this review, and will be reviewed at an upcoming CDRB meeting.

BACKGROUND OR DETAILED INFORMATION:

Under the new Conceptual Design Review process, the Conceptual Design Principles (Zoning Code Section 22.9.D.5.) are utilized as primary guidance, and the new Addendum A Design Standards provide secondary guidance, as appropriate. (See Attachment 2, CDRB Staff Report).

SITE CONDITIONS:

- Zoning is R-S Residential Service District
- Site is two acres: 1.1 acre northern parcel and .9 acre southern parcel
- Proposed use is Medical Office
- Northern parcel is currently vacant and undeveloped
- Southern parcel was developed under Pima County standards with a 10,392 square foot building, parking, and landscaping.

PROPOSED IMPROVEMENTS:

- Two medical office buildings: 2,723 and 4,677 square feet
- Maximum building height is twenty-five (25') feet or two stories. Proposed height is eighteen feet, six inches (18'-6") and one story.
- 34 parking spaces
- Landscape concept includes:
 - Five foot high screen wall at rear property line
 - Landscaped courtyard area
- Rainwater harvesting basins

CONCEPTUAL SITE PLAN:

The CDRB finds that with the incorporation of the conditions in Attachment 1, the Conceptual Site Plan will be in substantial conformance with Design Principles and applicable Design Standards.

CONCEPTUAL ARCHITECTURE:

The CDRB finds that with the incorporation of the conditions in Attachment 1, the Conceptual Architecture will be in substantial conformance with the Design Principles and Design Standards.

PUBLIC NOTIFICATION AND COMMENT:

Notice has been provided to nearby property owners.

A neighborhood meeting was held May 9, 2011. The neighbors did not express significant concern regarding the proposal. At the CDRB meeting, a neighbor expressed concern about the location of the refuse container and that covered pedestrian walkways should be provided. Two neighbors, including the one who spoke at the meeting, have expressed support for the project.

FISCAL IMPACT:

N/A

SUGGESTED MOTION:

CONCEPTUAL SITE PLAN:

I MOVE to (approve, approve with conditions, or deny) the Conceptual Site Plan for Casa de la Luz at 7750 N. Oracle Road, subject to the conditions in Attachment 1.

CONCEPTUAL ARCHITECTURE:

I MOVE to (approve, approve with conditions, or deny) the Conceptual Architecture for Casa de la Luz at 7750 N. Oracle Road, subject to the conditions in Attachment 1.

Attachments

Attachment 1 - Conditions of Approval

Attachment 2 - CDRB Staff Report

Attachment 3 - Site Plan Narrative

Attachment 4 - Conceptual Site Plan

Attachment 5 - Materials Palette

Attachment 6 - Color Renderings and Elevations

Attachment 7 - Site Sections Plan

Attachment 8 - Vignettes

Attachment 9 - Site Photos, Existing Buildings

Attachment 1
Conditions of Approval
Casa de la Luz

CONCEPTUAL SITE PLAN: OV1211-02

Engineering:

1. Address all redlined comments within the Conceptual Site Plan and Water Harvesting Plan.
2. Conceptual Site Plan, Sheet 2: The access drive along the north side of the site has been modified as a one-way access lane from the previous submittal. This creates a dead-end parking lot on the west end of the site for motorists entering from the south. As a result, please provide a turn-around area for motorists. This can be accomplished by striping out the last parking space.
3. Conceptual Site Plan, Sheet 2: Indicate that "ONE-WAY, DO NOT ENTER" signage will be provided at the west end of the one-way access drive. Furthermore, it is recommended that the drive be narrowed to 20'-wide at this location to make it more obvious to motorists that the drive is for exiting one-way traffic only.
4. Rainwater Harvesting Plan: Verify the total volume of rainwater harvesting provided for this project. Sheet one indicates 536 cubic feet of volume will be provided but sheet 2 and the Drainage Report indicate that 500 cubic feet will be provided. Revise as necessary.

Planning:

1. Conceptual Site Plan, Sheet 2, must be revised to show:
 - a. Final location of public artwork; a portion of public artwork shall be located in a high visibility and use area such as the courtyard (Design Standard 2.1.G.1.)
 - b. Graphically define and label the required 959 square foot courtyard area.
 - c. Two benches and an architecturally integrated shade structure in the courtyard.
2. Conceptual Site Plan, Sheet 1: Revise parking information to reflect the loss of one parking space in the front lot.
3. Conceptual Site Plan, Sheet 1: Revise to indicate 40 foot building setback and 30 foot parking shade structure setback at rear; 30 foot building setback at front; and delete 10 foot side yard setback. Add that a minimum 10 foot distance is required between buildings.
4. Any lighting proposed along the eastern edge of the parking area of northern parcel will be lowered to prevent light trespass onto to residential properties to the east.
5. The comments in Pima County Addressing letter dated June 22, 2011 must be addressed.
6. Conceptual Site Plan must be revised to include changes indicated on Planning redlines (minor comments).

CONCEPTUAL ARCHITECTURE: OV1311-13

1. Revise S.1 Site Sections to indicate building heights so that parapet height of new buildings is varied, while also allowing for adequate parapet height to screen mechanical.
2. Clearly indicate proposed building heights around roofline on the elevations and sections.

3. Revise the architectural plans and site sections so that the building height information is consistent.
4. Provide scaled section drawings that show the sight line from residences to east and Oracle Road. Include mechanical equipment and show that the parapet height is sufficient to conceal the mechanical equipment and appurtenances from public streets and neighbors.
5. The final architectural plans shall include details for screening for refuse areas with a 6-foot opaque screen of materials and colors that match the buildings.
6. Revise the columns of the new buildings to match the columns on existing building.
7. Architectural elements such as piers or archways shall be added to help direct visitors toward the project entry ways, and massing elements shall be used enhance the public entryways of the new buildings.
8. Massing elements and a third substantially different material shall be added to the western elevation of Building #1.
9. Color specifications must indicate light reflectivity value of rooftop material or color.
10. Final architectural plans shall indicate that each element of the architectural elevations has been identified with the colors and materials that are used.
11. In lieu of covered walkways as discussed by the CDRB, provide an architecturally integrated shaded structure at the project entries and the courtyard area (shade structure in courtyard area required under Conceptual Site Plan, Condition #1.c.)
12. Shade devices shall be incorporated above the windows on the western and southern elevations, and are recommended on the eastern elevations, of both buildings.

TOWN OF ORO VALLEY

CONCEPTUAL DESIGN REVIEW BOARD

MEETING DATE: September 13, 2011

TO: CONCEPTUAL DESIGN REVIEW BOARD

FROM: David A. Williams, AICP, Planning Division Manager

SUBJECT: Conceptual Design Review for Casa de la Luz consisting of a Conceptual Site Plan (OV1211-02) and Conceptual Architecture (OV1311-13). Property is located at 7740 and 7750 N. Oracle Road, north of Suffolk Hills Drive.

SUMMARY:

This project entails development on two adjacent parcels. Two new buildings are proposed on a northern lot, and an existing building on the southern lot will be renovated. All three buildings will be occupied by Casa de la Luz, a hospice service provider. Access to the site is from an existing driveway on N. Oracle Road. This is a “transitional project”; the plans include more detail than is required for a Conceptual Site Plan. Substantial detailed design effort has been expended, so a Final Site Plan submittal is not required.

This review entails both the site plan and conceptual architecture. Public art is not included in this review, and will be reviewed at an upcoming CDRB meeting. The CDRB review is focused on the fundamental elements of the design, including: site layout; circulation; parking; landscape concept; and conceptual grading and drainage information. The information must be sufficient to demonstrate that the design concept is achievable and to ensure community fit.

This report contains staff analysis and proposed conditions of approval and suggested motions for the site plan and conceptual architecture. The Conceptual Design Principles in Section 22.9.D.5 of the Zoning Code are utilized as primary guidance for Staff and CDRB evaluation of the applications. The Addendum A Design Standards are used as secondary guidance, as appropriate.

SECTION I: BACKGROUND

Site Conditions

- Zoning is R-S Residential Service District
- Site is two acres: northern parcel is 1.1 acres and southern parcel is .9 acres
- Proposed use is Medical Office
- Northern parcel is currently vacant and undeveloped
- Southern parcel was developed under Pima County standards and includes a 10,392 square foot building, parking, and landscaping.
- The site slopes at approximately 4% from the northeast down to the southwest corner, resulting in a fifteen (15') foot grade change.

Proposed Improvements

- Two medical office buildings (2,723 and 4,677 square feet)
- Maximum building height is twenty-five (25') feet or two stories. The proposed height is eighteen feet, six inches (18'-6") and one story.
- 34 parking spaces
- Landscape concept includes:
 - Native plants salvaged from the site, including two saguaros
 - Required buffer plantings for front, side, and rear of property
 - Five foot high screen wall at rear property line
 - Landscaped courtyard area
- Rainwater harvesting basins located in front and rear buffers and landscape island

Approvals to Date

- April 2003: Property was annexed and R-S Residential Service District Zoning was applied.

Surrounding Land Uses

<i>Direction</i>	<i>Zoning</i>	<i>Land Use</i>
North:	R-S Residential Service District	Veterinary office
South:	R-S Residential Service District	Day Care center
East:	R1-36 Single Family Residential District	Single family homes
West:	C-2 Commercial	Oracle Crossing shopping center

SECTION II: CONCEPTUAL SITE PLAN

A. Oro Valley Zoning Code Conceptual Site Design Principles, Section 22.9.D.5.a.

The Conceptual Site Plan is in substantial conformance with all applicable Zoning Code requirements, including the following Conceptual Site Design Principles. Following are key Design Principles (*in italics*), followed by staff evaluation of how the site design addresses the principles:

1. *Building orientation: the location, orientation and size of structures shall promote a complementary relationship of structures to one another.*

The new buildings have been placed and oriented on the site to relate to each other. The site is long and narrow, and does not provide much flexibility for site layout. The angles on the new buildings create interest and serve to frame the courtyard space. It is preferable to have the two smaller buildings, rather than a single large one, because the interior space frames the courtyard area. There will be a public entryway to the existing building from the courtyard.

2. *Drainage/grading: site grading shall minimize impacts on natural grade and landforms and provide for subtle transitions of architectural elements to grade. Significant cuts and fills in relation to natural grade shall be avoided or minimized to the extent practical given property constraints.*

The site slopes from east to west and is lower than the adjacent neighborhood to the east. The grading concept places the buildings on a lower finished grade similar to the existing building. View impacts to adjacent homes to the east are minimal. The 4% slope is minor, and no major cuts or fills will be required.

3. *Connectivity: strengthen the usability and connectivity of the pedestrian environment internally and externally by enhancing access to the public street system, transit, adjoining development and pedestrian and bicycle transportation routes. Where appropriate, buildings and uses should provide access to adjacent open space and recreational areas.*

The internal pedestrian facilities for this project are intended to bring visitors and employees from the parking areas to the main entry ways located in the central courtyard area. There is no perimeter walkway around the complex. There are no existing public sidewalk facilities along Oracle Road, and no future plans for such facilities using private property. For this reason, Staff did not request that public sidewalks be provided. There are existing transit stops to the north and south of this development. There are no adjacent open space or recreational resources in the vicinity of the site.

B. Addendum A Design Standards

The following Design Standards are relevant to this project:

- Section 2.1.B.e. *Building orientation, Massing, and View Preservation: Building to create protected outdoor dining or public gathering spaces between buildings.*

Two new structures are proposed, so the facility will be comprised of three structures. The arrangement of the two new buildings creates a central courtyard in between the three buildings, and also creates a small, campus-style setting.

- Section 2.1.C.1., *Developments shall provide well defined major entrances to enhance circulation, establish unified project identity and create a sense of arrival.*

These buildings are arranged to create a central courtyard. There are no entryway features that might help to direct visitors to the public entry ways located in the central courtyard. Additional architectural design features should be used to direct visitors to this preferred entry area. A condition has been added to Part II of Exhibit "A" to address this standard.

- Section 2.3.B. *Landscape Themes and Character. Landscaping shall enhance visual character and provide amenities for pedestrians.*

The Landscape Plan meets this standard by the following: utilizing salvaged native specimen plants; accentuating building and project entrances with landscaping; and using trees and plant materials to create shade for pedestrians.

- Section 2.2.G. *Public art shall be integrated into the overall design of the project and shall be located in areas of high visibility and use.*

The public art is located at the front of the buildings adjacent to the sidewalk and parking areas, and staff concludes this does not meet the standard. The public art could be located in other areas where it would be better integrated with the building and landscape.

Section 2.2.D.b. *Parking shall be placed to the rear and side of the buildings to the greatest extent possible.*

This standard is generally met. There is a small amount of parking (7 spaces) at the front of the site, and the remainder (27 spaces) is located at the rear.

D. Engineering Division Comments

Drainage:

Existing runoff is conveyed through the site in a northeast to southwest direction, mostly by natural drainage swales and overland sheet flow. The northern parcel is currently undeveloped with natural desert landscape and drains to an existing channel adjacent to Oracle Road.

Post-developed runoff will be released from the proposed development in a way that mimics existing conditions. The conveyance of runoff through the site will be accomplished by surface flow towards a combination of catch basins and curb openings. A portion of the runoff will be collected within rainwater harvesting basins located throughout the site. Runoff will also be collected within a new detention basin located along the west boundary of the project. The detention basin will attenuate the stormwater discharge so that there is no increase in peak flow or negative impacts to the downstream areas. The detention basin will release stormwater into the existing channel located within the Oracle Road right-of-way.

First flush treatment is provided with this project and consists of filter inserts placed within catch basins and curb openings to treat urban runoff. First flush filters are designed to capture sediment, debris, trash, oils, and grease within runoff discharging from parking areas and access drives.

Grading:

A Type 2 Grading Permit will be required for construction of building pads, drainage structures, utilities, parking areas, and all other elements requiring grading on the project site. The grading represented within the Conceptual Site Plan conforms to the requirements of the Town Zoning Code (Section 27.9, Grading) and the Town Subdivision Street Standards and Policies Manual.

Traffic:

A shared use and cross access agreement will allow access to the project site from Oracle Road by means of a single ingress/egress driveway that exists on the adjacent southern parcel. Furthermore, the parking lot layout has been designed to provide vehicular connections with the existing southern parcel along the east and west boundaries. The proposed development provides a one-way drive along the northern boundary, matching the circulation direction of the one-way drive that exists within the southern parcel. The generated traffic resulting from this development will have a minimal impact on Oracle Road. All constructed improvements within the Oracle Road right-of-way will require a separate permit issued from the Arizona Department of Transportation.

CONCLUSION/RECOMMENDATION:

Site layout options are limited for this small parcel. Based on this review of relevant standards, staff finds that the Conceptual Site Plan is in relative conformance with the Design Principles and applicable Design Standards. The proposed development is adequately screened from the homes to the east by a wall and landscaping, and will be generally compatible with the existing area. Staff recommends approval of the Conceptual Site Plan subject to the attached Conditions.

SUGGESTED MOTION:

The CDRB may wish to consider one of the following suggested motions:

I move to recommend [approval, approval with conditions, OR denial] Conceptual Site Plan for Casa de la Luz, subject to the conditions of Part I of Exhibit "A".

SECTION III: CONCEPTUAL ARCHITECTURE

A. Oro Valley Zoning Code Conceptual Architectural Design Principles, Section 22.9.D.5.b.

The Conceptual Architecture is not in conformance with some of the following Conceptual Architectural Design Principles. Staff have proposed conditions to meet Conceptual Architectural Design Principles and Standards. Following are the Design Principles (*in italics*) followed by staff evaluation of how the architecture conforms and responds to the principles:

1. *Design: building architectural design shall be appropriate for the climate and characteristics of the Sonoran Desert, including indigenous and traditional textures, colors, and shapes found in and around Oro Valley. All development shall maintain and strengthen the high quality of design exemplified in Oro Valley through project creativity and design excellence.*

The proposed architectural design for the two new buildings must blend with the existing structure. The design incorporates the Territorial and Spanish Colonial features of the existing building, both appropriate Sonoran Desert styles. Some aspects of the design could be improved. The new buildings incorporate some features from the existing structure to the south. Additional architectural elements should be added to enhance and strengthen compatibility as well as overall design, including articulation of facades and highlighting of public entryways. The design is consistent with other commercial and residential design in the area.

2. *Scale, height and mass: building scale, height and mass shall be consistent with the town-approved intensity of the site, designated scenic corridors, and valued mountain views. Buildings shall be designed to respect the scale of adjoining areas and should mitigate the negative and functional impacts that arise from scale, bulk and mass.*

The project area includes single-family and neighborhood scale commercial and service development. The scale, height, and mass of the proposed buildings is appropriate to the site and area, and meets Zoning Code requirements. It is difficult to confirm the precise height of the new buildings; height must be clearly indicated on the elevations and sections. As viewed from Oracle Road, there should be some areas of consistency in roof height between the new and existing buildings. Conditions have been added to address these requirements.

3. *Façade articulation: all building facades shall be fully articulated, including variation in building massing, roof planes, wall planes, and surface articulation. Architectural elements including, but not limited to; overhangs, trellises, projections, awnings, insets, material, and texture shall be used to create visual interest that contribute to a building's character.*

Additional architectural features would enhance the building articulation. This is discussed in more depth under Design Standards.

The renderings provided do not show varied rooflines (parapets), but the building sections do. Variation in the roofline would help meet this Standard. The building sections should be revised to be consistent with the renderings. A condition has been added to address this requirement.

4. *Screening: building design and screening strategies shall be implemented to conceal the view of loading areas, refuse enclosures, mechanical equipment, appurtenances, and utilities from adjacent public streets and neighborhoods.*

The homes to the east are at a higher elevation than the project site. The parapet height of the proposed buildings must be sufficient to conceal mechanical equipment and appurtenances as viewed from public streets and by neighbors. A condition has been added to confirm that this requirement has

been met. A landscaped, five foot high screen wall is included to screen parking from neighbors to the east.

Refuse areas must be screened with a 6-foot opaque screen painted to match the buildings. The design does not include details for this screening. A condition has been added to address this requirement.

B. Addendum A Design Standards

The following Design Standards are relevant to this project:

- Section 2.2.A.1.a.1. and 2., *Buildings shall be designed at the ground or pedestrian level to provide human scale. This may be achieved by using the appropriate sizing and locations of openings, level of architectural detail, articulation and use of textures.*

Building design shall reflect consideration of superior and desirable design elements of adjacent development when applicable and appropriate.

The existing building has a massed brick archway feature at the front entrance. The location of the public entry ways to the new buildings (through the courtyard) are not enhanced or called out by the architectural design. In addition, the architectural design at the existing building utilizes solid brick as a massing element, rather than wainscoting. Applying such features to the new buildings would enhance the design. Staff added a condition to require that architectural elements be added to enhance the entry points to the courtyard and new buildings, and that some brick massing elements be included.

- Section 2.2.A.1.b. *Project design shall consider and integrate all elements by: (1) Provide consistent architectural treatments, articulation, and fenestration to present a coherent design theme for all sides of a building.*

The features of the new building should be consistent with those of the existing building. For instance, the column proportions of the new buildings appear narrower than the existing ones. Also, Sheet M.2. reads “windows to match existing,” but the window indicated in the new buildings elevations has substantially more detail. Additional detail is beneficial if the styles are consistent. Staff added a condition to require that these be addressed.

- Section 2.2.B.3, *Rooftop mechanical equipment shall be screened or installed in a manner to fully conceal and to prevent obstruction or distraction of other views. Screening shall be consistent with building design. Materials and color shall be of low reflectivity.*

The conceptual elevations do not indicate where rooftop mechanical equipment will be installed and how it will be screened. A rooftop parapet is provided, and must be sufficient to conceal the mechanical equipment from view from residences and public streets. Staff added a condition to require that this be added.

- Section 2.2.E12, *At least three (3) substantially different materials shall be utilized on all facades of the building.*

Only two (2) materials are proposed: painted stucco and brick. Additional materials will add interest to the design. Staff added a condition to Part II of Exhibit “A” to require that a third substantially different material is used.

CONCLUSION/RECOMMENDATION:

The Conceptual Architecture is not in substantial conformance with the Design Standards. Any recommendation for approval should be subject to the attached conditions.

SUGGESTED MOTION:

The CDRB may wish to consider one of the following suggested motions:

I move to recommend [approval, approval with conditions, OR denial] Conceptual Architecture for Casa de la Luz, subject to the attached conditions.

SECTION IV: PUBLIC NOTIFICATION AND COMMENT:

Notice to the public was provided consistent with Town-adopted noticing procedures, which includes the following:

- Notification of residents within 600 feet
- Posting on property
- Notice in Daily Territorial newspaper
- Posting at Town Hall
- All registered HOA's

A neighborhood meeting was held on May 9, 2011. Two residents attended the meeting. The neighbors did not express significant concerns regarding the proposal. To date, no additional comments have been received.

Attachments:

1. Conditions of Approval
2. Conceptual Site Plan
3. Conceptual Architecture

cc: Rob Caylor, Caylor Construction

David Williams, AICP, Planning Division Manager

**Attachment 1
Conditions of Approval
Casa de la Luz**

Part I: Conceptual Site Plan (OV1211-02)

Engineering:

1. Address all redlined comments within the Conceptual Site Plan and Water Harvesting Plan.
2. Conceptual Site Plan, Sheet 2: The access drive along the north side of the site has been modified as a one-way access lane from the previous submittal. This creates a dead-end parking lot on the west end of the site for motorists entering from the south. As a result, please provide a turn-around area for motorists. This can be accomplished by striping out the last parking space.
3. Conceptual Site Plan, Sheet 2: Indicate that "ONE-WAY, DO NOT ENTER" signage will be provided at the west end of the one-way access drive. Furthermore, it is recommended that the drive be narrowed to 20'-wide at this location to make it more obvious to motorists that the drive is for exiting one-way traffic only.
4. Rainwater Harvesting Plan: Verify the total volume of rainwater harvesting provided for this project. Sheet one indicates 536 cubic feet of volume will be provided but sheet 2 and the Drainage Report indicate that 500 cubic feet will be provided. Revise as necessary.

Planning:

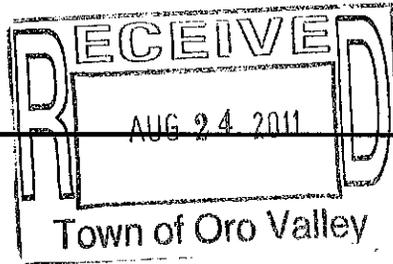
1. Conceptual Site Plan must be revised to show final location of public artwork.
2. Conceptual Site Plan must adequately address staff comments in August 23, 2011 letter.
3. Parking must be updated to reflect loss on one space at front of building.

Part II: Conceptual Architecture (OV1311-13)

1. Revise S.1 Site Sections and provide building heights so that parapet height of new buildings is varied, while also allowing for adequate parapet height to screen mechanical.
2. Clearly indicate proposed building heights around roofline on the elevations and sections.
3. The building rooftop design should be revised to be consistent in all plans.
4. Provide scaled section drawings that show the sight line from residences to east and Oracle Road. Include mechanical equipment and show that the parapet height is sufficient to conceal the mechanical equipment and appurtenances from public streets and neighbors.
5. The final architectural plans shall include details for screening for refuse areas with a 6-foot opaque screen of materials and colors that match the buildings.
6. Revise the column of the new buildings to match the columns on existing building.
7. Architectural elements that will help direct visitors to the courtyard and public entryways, such as piers or archways, should be added.
8. Massing elements should be added to enhance building articulation.
9. Color specifications must indicate light reflectivity value of rooftop material.
10. Final architectural plans shall indicate that each element of the architectural elevations has been identified with the colors and materials that are used.
11. A third substantially different material must be incorporated into the architectural design.

cdg

ARCHITECTS



Casa de la Luz
Narrative

Date: August 23, 2011

Location: 7750 N Oracle Road

The following is a narrative discussing the conceptual design for the two new buildings at 7750 N. Oracle Road. The initial concept for the project was to create a business campus where the company Casa de la Luz would be able to conduct their business. The concept involved the creation of a campus style setting that would allow the entire staff to be housed in three buildings; an existing building on the southern property, and two new buildings at the address in question. The layout for the new buildings was conceived on the premise that a central courtyard would be created that would invite users in and could be utilized as a informal meeting place. This space would be vegetated and shaded, creating a micro-climate for the users. Casa de la Luz has always wanted to create an environment of peace and comfort which reflects back to the character of the company.

The design implemented the ideology of a minimal footprint. Instead of working against the natural grade, the buildings nestled into the sloped site and were oriented so that the least amount of cut and fill was necessary. Furthermore, the site maintained the natural drainage pattern from east to west, which minimized the need to subject the site to further augmentations.

The new building design encompassed the characteristics of the Sonoran Desert as well as playing off of the existing building that would become part of the campus. Earth tones and natural materials were selected to provide the ability for the buildings to blend into their environment. With the position of the property, it was important to the owner to prevent the new design from eclipsing the mountain range to the east of the property. The buildings were designed with a low profile to enhance the view and force the structures to 'disappear' into the desert.

The design was based on the idea of informal meeting spaces, which could be used by clients and employees. This concept led to a structure with a dynamic envelope, creating interior and exterior spaces with the buildings form. At each of the main entrances, rough sawn construction and Terra-Cota Spanish tile has been utilized as design element that indicates way-finding and further ties the buildings back to the historic construction principals used in the Sonoran Desert. Signage has been left off of the building and the only one's utilized are existing at the southern property's formal entrance.

A north-eastern orientation allows for the structures to naturally hide such features as back parking, loading and the trash receptacles. The parapets have been designed to optimally hide all the utility equipment that is mounted on top of the structures and prevent them from being seen from the street front.

The Casa de la Luz campus is a dynamic space meant to provide a strong working environment and peaceful setting for its clients. The new buildings utilize natural Sonoran design qualities that tie the buildings into the environment and with the surrounding architecture. These new buildings begin to express the qualities of Casa de la Luz and the impact both can have on the surrounding community.

GENERAL NOTES

1. THE TOTAL AREA OF THE PARCEL IS 1.10 ACRES (47,947 SF).
2. THE GROSS AREA OF THE DEVELOPMENT SITE IS 1.10 ACRES (47,947 SF).
3. GROSS FLOOR AREA IS 7,590 SQUARE FEET (BUILDING 1 = 2,723SF, BUILDING 2 = 4,677SF). PROPOSED USE IS MEDICAL OFFICE FOR BOTH BUILDINGS (7,400 SF).
4. GROSS AREA OF ALL IMPERVIOUS SURFACES IS 28,025 SQUARE FEET.
5. TOTAL MILES OF NEW PUBLIC STREETS IS 0.
6. TOTAL MILES OF NEW PRIVATE STREETS IS 0.
7. FLOOR AREA RATIO (FAR) IS 0.0976.
8. LOT COVERAGE PERCENTAGES:
 BUILDING - 9.8 % (4,677 SF)
 ASPHALT - 41.8 % (20,028 SF)
 CONCRETE - 6.9 % (3,320 SF)
 (COURTYARD ONLY = 348 SF)
 OPEN SPACE - 41.5 % (19,922 SF)
 GROSS AREA OF ALL IMPERVIOUS SURFACES IS 28,025 SQUARE FEET.
9. ASSURANCES FOR SITE IMPROVEMENTS, LANDSCAPING AND REVEGETATION BONDS MUST BE POSTED PRIOR TO ISSUANCE OF GRADING PERMITS.
10. MAXIMUM BUILDING HEIGHT PER THE RS ZONING IS 25'.
 THE PROPOSED BUILDING HEIGHT IS: BUILDING 1 = 18.00' MAX. (TO PARAPET), BUILDING 2 = 18.00' MAX. (TO PARAPET).
11. OPEN SPACE:
 REQUIRED - 36 % (17,261 SF)
 PROVIDED - 41.5 % (19,922 SF)
 FRONTAGE OPEN SPACE = 12.2 % (5,845.9 SF)
12. REQUIRED BUILDING SETBACKS:
 FRONT YARD (ORACLE ROAD) - 30 FEET
 REAR YARD - 15 FEET
 SIDE YARD - 10 FEET
13. EXISTING ZONING IS RS (RESIDENTIAL SERVICE DISTRICT).
14. ALL PUBLIC ART REQUIREMENTS MUST BE MET PRIOR TO FINAL CERTIFICATE OF OCCUPANCY ISSUANCE, PER ORO VALLEY ZONING CODE REVISED SECTION 27.3.
15. ALL SIGNAGE AND LIGHTING TO BE ADDRESSED AS PART OF A SEPARATE REVIEW AND APPROVAL PROCESS.
16. THE FOLLOWING CODES AND STANDARDS SHALL BE APPLICABLE TO THIS DEVELOPMENT:
 - 2006 INTERNATIONAL CODES WITH LOCAL AMENDMENTS
 - 2005 NATIONAL ELECTRICAL CODE
 - 1998 AMERICAN DISABILITIES ACT ACCESSIBILITY GUIDELINES
 - 2006 GOLDER RANCH FIRE DISTRICT STANDARDS AND FORMS
 - 2008 TOWN OF ORO VALLEY POOL CODE
 - 2003 PC/COT STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC IMPROVEMENTS
 - 2010 TOWN OF ORO VALLEY DRAINAGE CRITERIA MANUAL
 - 2004 TOWN OF ORO VALLEY SUBDIVISION STREET STANDARDS AND POLICIES MANUAL
 - TOWN OF ORO VALLEY ZONING CODE, CURRENT REVISED
 - ORO VALLEY TOWN CODE, CURRENT REVISED
17. PARKING REQUIRED:
 PROPOSED BUILDING #1 = 2,723 SF
 PROPOSED BUILDING #2 = 4,677 SF
 TOTAL = 7,400 SF

 TOTAL SPACES REQUIRED:
 FOUR AND ONE-HALF (4.5) SPACES PER 1,000 GFA COMBINED AREA = (7,400/1,000)x4.5 = 33.3 SPACES = 34 SPACES TOTAL

 TOTAL SPACES PROVIDED = 34 SPACES, INCLUDING 2 HANDICAP ACCESSIBLE SPACES (ONE VAN ACCESSIBLE).
18. BIKE PARKING:
 BIKE PARKING REQUIRED = 2 SPACES, ONE CLASS I AND ONE CLASS II
 BIKE PARKING PROVIDED = 2 SPACES, ONE CLASS I AND ONE CLASS II

ENGINEERING GENERAL NOTES

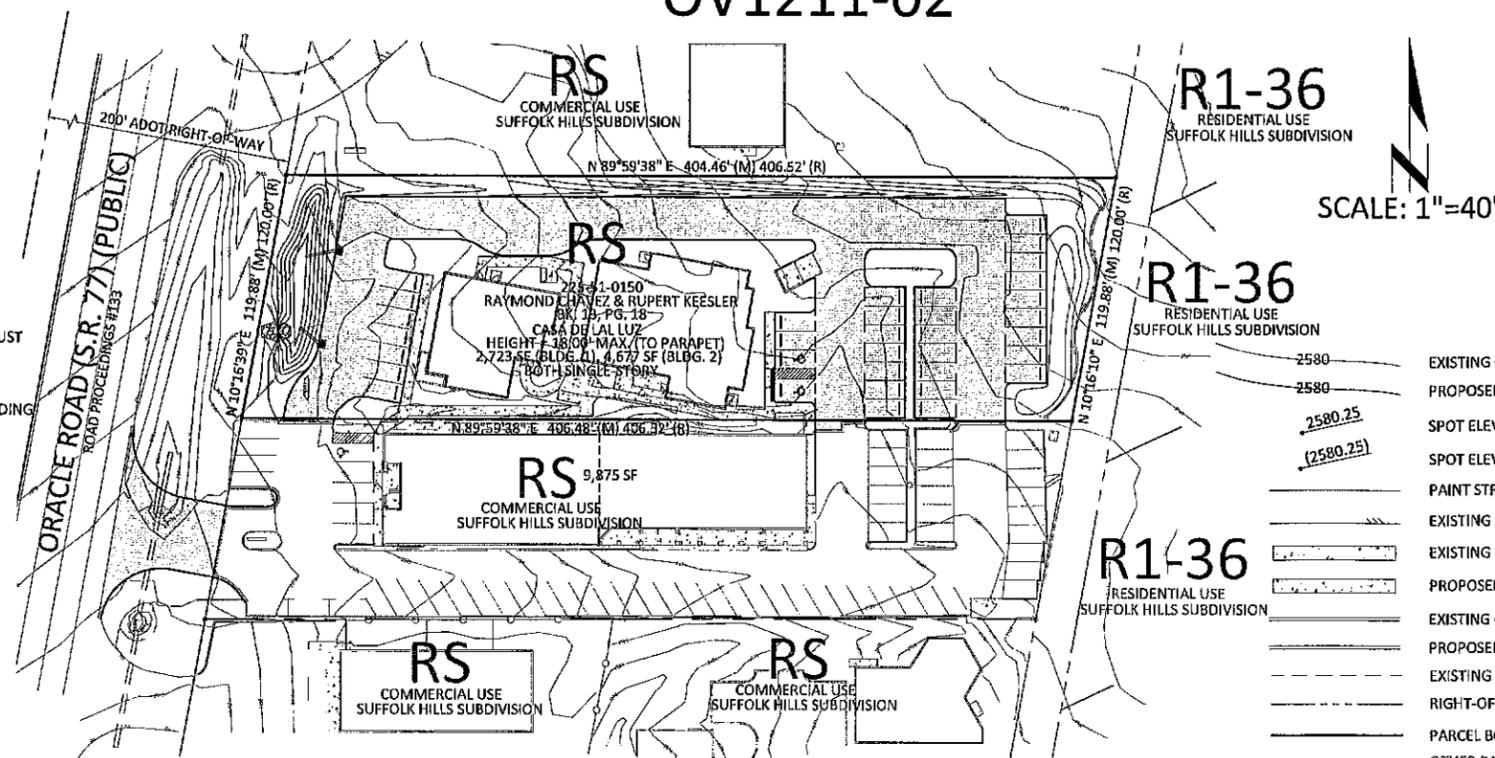
1. BASIS OF BEARING FOR THIS PROJECT IS THE EAST LINE OF "BLOCK B" AS SHOWN ON THE PROJECT SURVEY AND THE "SUFFOLK HILLS" PLAT AS RECORDED IN BOOK 13, PAGE 18 OF MAPS AND PLATS, RECORDS OF PIMA COUNTY, ARIZONA. THE BEARING OF SAID EAST LINE IS N10°16'10"E.
2. BASIS OF ELEVATIONS FOR THIS PROJECT IS PIMA COUNTY BENCHMARK "NN 127" DESCRIBED AS A 9/16 STAINLESS STEEL ROD IN A CASTING LOCATED AT THE NORTHEAST CORNER OF ORACLE ROAD AND LINDA VISTA BOULEVARD, ALONG THE WEST SIDE OF FENCE LINE IN THE SOUTHEAST QUARTER OF SECTION 13, T. 12 S., R. 13 E., G.&S.R.M., PIMA COUNTY, ARIZONA, APPROXIMATELY 12,300' NORTH AND 3,500' EAST OF THE SUBJECT PARCEL. THE ELEVATION OF SAID BENCHMARK IS 2648.88', NAVD 88 DATUM.
3. DESIGN SPEED: 15 MPH, DESIGN VEHICLE: SU-30.
4. ANY RELOCATION OR MODIFICATION OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.

EASEMENT AGREEMENT

SHARED USE BETWEEN THE TWO PARCELS TO INCLUDE VEHICULAR ACCESS, PEDESTRIAN ACCESS, AND MAINTENANCE OF SHARED FACILITIES IS PER A SEPARATELY RECORDED GRANT OF RECIPROCAL EASEMENT AND AGREEMENT WITH COVENANTS AND RESTRICTIONS AFFECTING LAND.



CONCEPTUAL SITE PLAN for CASA DE LA LUZ OV1211-02



PROJECT OVERVIEW PLAN

WASTEWATER GENERAL NOTES

1. PROJECT IS IN CONFORMANCE WITH SECTION J, WASTEWATER, OF THE PIMA COUNTY DEVELOPMENT PLAN REQUIREMENTS AS REFERENCED IN 18.71.030.A.
2. ON-SITE SANITARY SEWERS WILL BE PRIVATE AND DESIGNED FOR GRAVITY FLOW (WITH THE AID OF A PRIVATE SEWER LIFT STATION) AND WILL BE CONSTRUCTED, OPERATED, AND MAINTAINED ON A PRIVATE BASIS. THE LOCATION AND METHOD OF CONNECTION TO AN EXISTING PUBLIC SANITARY SEWER IS SUBJECT TO REVIEW AND APPROVAL BY THE PIMA COUNTY WASTEWATER MANAGEMENT DEPARTMENT AT THE TIME OF SUBMITTAL OF PLUMBING OR BUILDING PERMITS.
3. ANY WASTEWATER DISCHARGED INTO THE PUBLIC SANITARY SEWERAGE SYSTEM SHALL MEET THE REQUIREMENTS OF THE INDUSTRIAL WASTE ORDINANCE (PIMA COUNTY ORDINANCE NO. 1991-140), AS CURRENTLY AMENDED.
4. THIS PROJECT HAS 34 PROPOSED AND 0 EXISTING WASTEWATER FIXTURE UNIT EQUIVALENTS, PER TABLE 13.20.045(E)(1) IN PIMA COUNTY CODE 13.20.045(E).
5. A PROJECT CONSTRUCTION PERMIT MUST BE SECURED FROM PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT BEFORE BEGINNING ANY WORK ON THIS PROJECT.

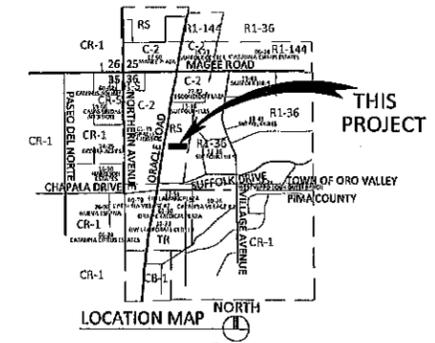
DRAINAGE GENERAL NOTES

1. DEVELOPER WILL COVENANT TO HOLD TOWN OF ORO VALLEY, ITS SUCCESSORS AND ASSIGNS, HARMLESS IN THE EVENT OF FLOODING.
2. DRAINAGE WILL NOT BE ALTERED, DISTURBED OR OBSTRUCTED WITHOUT THE APPROVAL OF THE ORO VALLEY TOWN COUNCIL.
3. DRAINAGE STRUCTURES MUST BE CONSTRUCTED AND INSTALLED ACCORDING TO THE TOWN STANDARDS AND PAID FOR BY THE DEVELOPER. ALL DRAINAGE STRUCTURES MUST BE DESIGNED TO CONVEY A Q₁₀₀ FLOW.
4. ALL DRAINAGE FACILITIES WILL BE CONSTRUCTED ACCORDING TO APPROVED PLANS PRIOR TO THE ISSUANCE OF ANY CERTIFICATES OF OCCUPANCY FROM THE TOWN ENGINEER AND/OR BUILDING OFFICIAL FOR ALL AFFECTED BUILDINGS.

GOLDER RANCH FIRE GENERAL NOTES

1. FIRE HYDRANTS CONNECTED TO AN APPROVED WATER SUPPLY OF 1500 GPM FOR FIRE PROTECTION MUST BE INSTALLED AND IN SERVICE PRIOR TO COMBUSTIBLE MATERIAL DELIVERY TO THE SITE. TEMPORARY CONSTRUCTION OFFICE TRAILERS ARE CONSIDERED COMBUSTIBLE MATERIAL.
2. APPROVED FIRE APPARATUS ACCESS ROADS MUST BE INSTALLED AND IN SERVICE PRIOR TO COMBUSTIBLE MATERIAL DELIVERY TO THE SITE.
3. APPROVED AUTOMATIC SPRINKLER SYSTEMS IN NEW BUILDINGS AND STRUCTURES SHALL BE PROVIDED THROUGHOUT ALL GROUP A, B, E, F, H, I, M, R, AND S OCCUPANCIES FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING HEREAFTER CONSTRUCTED WITHIN OR MOVED INTO THE JURISDICTION. APPROVED AUTOMATIC SPRINKLER SYSTEMS SHALL BE PROVIDED THROUGHOUT ALL ONE- AND TWO- FAMILY DWELLINGS AND TOWNHOUSES USED AS MODEL HOMES WITH SALES OR CONSTRUCTION OFFICES, AND ONE- AND TWO- FAMILY DWELLINGS AND TOWNHOUSES WHICH EXCEED 3,600 SQUARE FEET IN FIRE-FLOW CALCULATION AREA HEREAFTER CONSTRUCTED WITHIN OR MOVED INTO THE JURISDICTION.
4. TEMPORARY STREET SIGNS MUST BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE OF VEHICLES. ALL STRUCTURES UNDER CONSTRUCTION MUST BE CLEARLY IDENTIFIED WITH AN APPROVED ADDRESS.
5. THE INSTALLATION OF TRAFFIC CONTROL SIGNALING DEVICES AND/OR ELECTRICALLY OPERATED GATES ON FIRE APPARATUS ACCESS ROADS SHALL INCLUDE PREEMPTIVE CONTROL EQUIPMENT COMPATIBLE WITH THE FIRE DEPARTMENT'S EXISTING SYSTEM.

SCALE: 1"=40'



3" = 1 MILE
 S.W. 1/4 AND S.E. 1/4 OF THE N.W. 1/4 OF SECTION 36, T.12 S., R. 13 E., G.&S.R.M., TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

LEGEND

EXISTING CONTOUR	EXISTING TELE/COMM
PROPOSED CONTOUR	EXISTING POWER POLE
SPOT ELEV. (FIN. GRADE)	EXISTING GAS
SPOT ELEV. (EXIST. GRADE)	EXISTING WATER METER
PAINT STRIPE	EXISTING WATER
EXISTING PAVEMENT EDGE	EXISTING WATER VALVE
EXISTING CONCRETE	EXISTING SEWER MANHOLE
PROPOSED CONCRETE	EXISTING SEWER
EXISTING CURB	EXISTING SEWER CLEANOUT
PROPOSED CURB	PROPOSED SEWER LIFT STATION
EXISTING EASEMENT	PROPOSED SEWER
RIGHT-OF-WAY	PROPOSED SEWER CLEANOUT
PARCEL BOUNDARY LINE	PROPOSED WATER
OTHER PARCEL LINE	PROPOSED WATER METER
ROADWAY CENTERLINE	PROPOSED FIRE HYDRANT
FFE	ZONING DISTRICT
FS	PROPOSED RIP-RAP
TC	EXISTING ELECTRIC BOX
○	EXISTING TELEPHONE PEDESTAL
E	EXISTING TRANSFORMER
—O—E—	

SURVEY NOTES

1. SURVEY FOR THIS PROJECT WAS PERFORMED BY:
 POLARIS LAND SURVEYING, LLC
 3528 N FLOWING WELLS ROAD
 TUCSON, ARIZONA 85705

AUG 25 2010

SHEET INDEX

1	COVER SHEET
2	SITE PLAN

APPROVAL BLOCK:

TOWN CLERK	DATE
PLANNING DIVISION MANAGER	DATE
TOWN ENGINEER	DATE

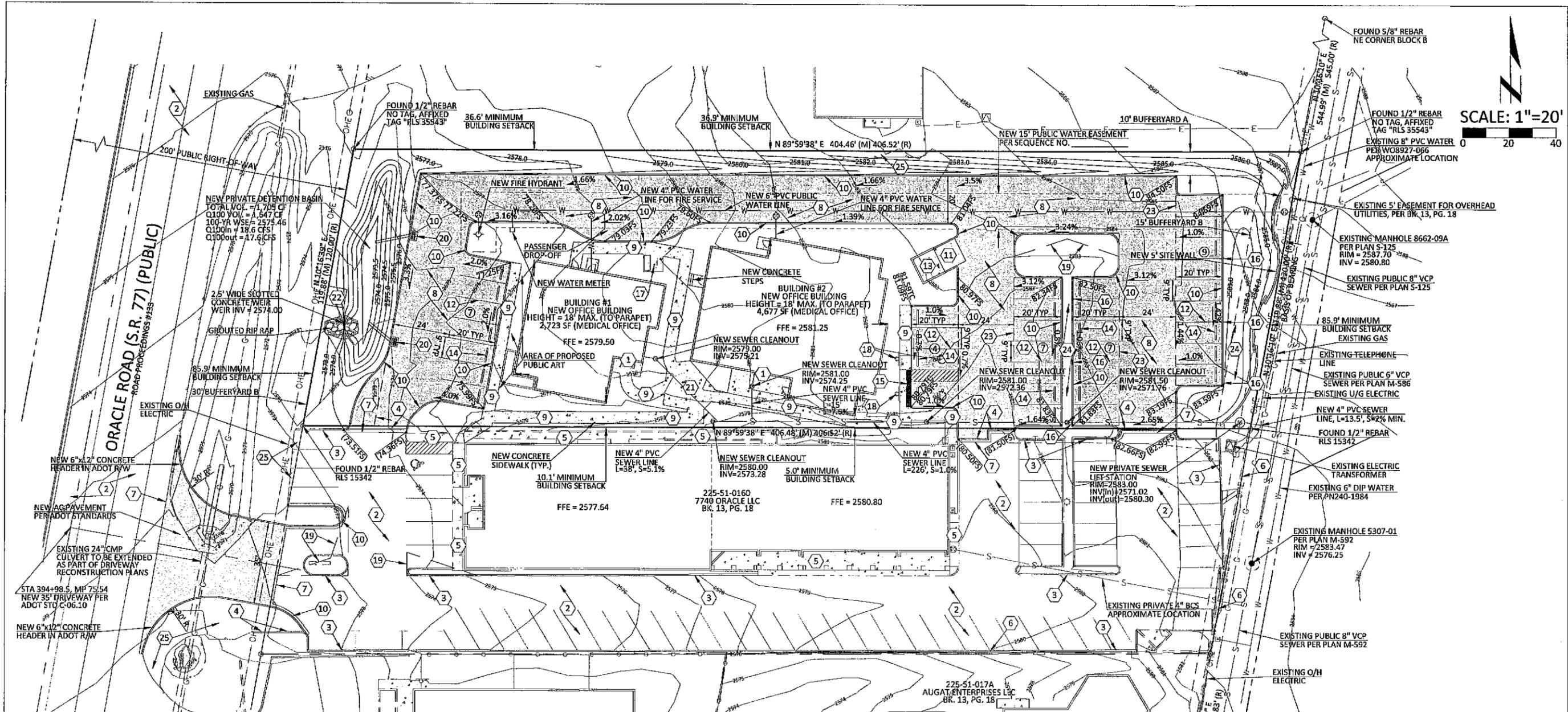
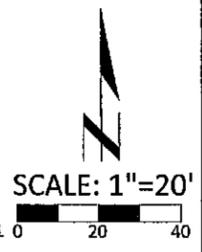
DATE: 07/20/11	SITE ADDRESS 7750 NORTH ORACLE ROAD ORO VALLEY, ARIZONA 85704	OWNER/DEVELOPER CAYLOR CONSTRUCTION COMPANY 6422 EAST SPEEDWAY BLVD, SUITE 130 TUCSON, ARIZONA 85710 ATTN: MR. ROB CAYLOR P: (520) 298-2200 E: rob@caylor.net	ARCHITECT CDG ARCHITECTS 2102 NORTH COUNTRY CLUB, #9 TUCSON, ARIZONA 85716 ATTN: MR. FRANK MASCIA P: (520) 629-9752 E: frank@cdg-architects.com
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A PORTION OF "BLOCK B" OF "SUFFOLK HILLS" PER BOOK 13, PAGE 18 OF MAPS AND PLATS. LOCATED IN A PORTION OF THE S.W. 1/4 AND A PORTION OF THE S.E. 1/4 OF THE N.W. 1/4 OF SECTION 36, T. 12 S., R. 13 E., G. & S. R. M., TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA.
 CYPRESS PROJECT NO: 11.008

CONCEPTUAL SITE PLAN for CASA DE LA LUZ

cover sheet

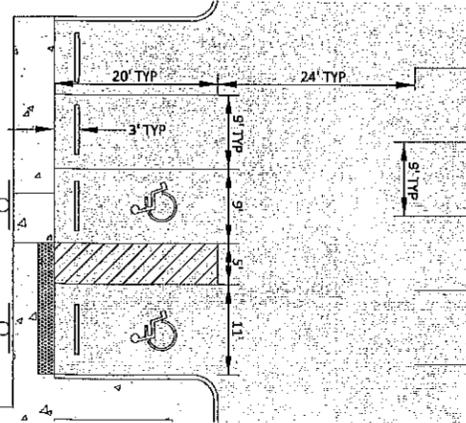
 2102 north country club road suite #9 tucson, arizona 85716 p: 520.991.5213 e: kmhall@cypresscivil.com	NO.	DATE	REVISION	BY	
					1 OF 2



UTILITY NOTE
 UTILITY LOCATIONS, AS SHOWN ON THE PLANS, WERE COMPILED AND ARE PRESENTED BASED UPON PRELIMINARY INFORMATION AVAILABLE TO CYPRESS CIVIL DEVELOPMENT. UTILITY LOCATIONS AS SHOWN ARE NOT INTENDED TO BE EXACT OR COMPLETE AND CYPRESS CIVIL DEVELOPMENT DOES NOT ACCEPT LIABILITY OR RESPONSIBILITY FOR ANY INACCURACIES IN THE UTILITY LOCATIONS OR ANY UTILITY RELOCATIONS THAT MAY BE NECESSARY. PRIOR TO EXCAVATION, ARIZONA STATUTES REQUIRE THAT ANYONE WHO INTENDS TO EXCAVATE MUST PROVIDE TWO FULL WORKING DAYS NOTICE TO THE OWNERS OF ALL UTILITIES WITHIN THE PROJECT AREA. EXCAVATORS SHOULD CONTACT "ARIZONA BLUE STAKE" @ 1-800-782-5348 TWO (2) FULL WORKING DAYS PRIOR TO EXCAVATION. SATURDAYS, SUNDAYS, AND STATE HOLIDAYS ARE NOT CONSIDERED WORKING DAYS. ALSO BE ADVISED THAT THERE MAY BE OTHER UTILITIES IN THE PROJECT AREA THAT ARE NOT MEMBERS OF "ARIZONA BLUE STAKE". THE CONTRACTOR IS RESPONSIBLE TO POTHOLE ALL UTILITIES (SHOWN OR NOT SHOWN ON THE PLANS) MARKED BY BLUE STAKE PRIOR TO COMMENCING CONSTRUCTION OPERATIONS.

- KEYNOTES**
- 1) PRIMARY BUILDING ENTRANCE.
 - 2) EXISTING PAVEMENT TO REMAIN IN PLACE.
 - 3) EXISTING CURB TO REMAIN IN PLACE.
 - 4) EXISTING CURB TO BE REMOVED.
 - 5) EXISTING CONCRETE/SIDEWALK TO REMAIN.
 - 6) EXISTING WALL TO REMAIN.
 - 7) SAWCUT A MINIMUM OF 12" WIDTH INTO THE EXISTING PAVEMENT. REMOVE EXISTING ASPHALT, TACK AND JOIN. FEATHER TO MATCH EXISTING GRADE.
 - 8) NEW 2" AC PAVEMENT OVER 4" ABC COMPACTED TO 100%.
 - 9) NEW CONCRETE SIDEWALK PER PC/COT STD 200.
 - 10) NEW 6" VERTICAL CURB PER PC/COT STD. 209.
 - 11) NEW 5" RIGID CONCRETE PAVEMENT OVER PREPARED SUBGRADE AT 95% COMPACTION MINIMUM.
 - 12) NEW 4" WHITE PAINT STRIPE, 0.06" THICK, TRAFFIC RATED (TYP.).

- KEYNOTES**
- 13) NEW TRASH ENCLOSURE.
 - 14) NEW 6" CONCRETE WHEEL STOPS (TYP.).
 - 15) NEW 2' WIDE TRUNCATED DOMES, PER 2006 IBC/ICC(ANSI) 117.1, SECTION 406.12 AND 406.14 REQUIREMENTS.
 - 16) NEW 2' CURB OPENING WITH T-DAM FIRST FLUSH INSERTS.
 - 17) NEW BIKE PARKING AREA: ONE CLASS 1 SPACE AND ONE CLASS 2 SPACE.
 - 18) NEW HANDICAP SIGN AND POST.
 - 19) 10'x30' SIGHT VISIBILITY TRIANGLE.
 - 20) NEW TYPE 4 CATCH BASIN PER PC/COT STD. 309 WITH EF-1 GRATE AND FLOGARD INSERT.
 - 21) NEW COURTYARD AREA.
 - 22) NEW 8'x8' AREA FOR FUTURE MONUMENT SIGN.
 - 23) NEW COVERED PARKING CANOPIES (SEPARATE BUILDING PERMIT REQUIRED).
 - 24) LANDSCAPED AREA DEPRESSED 4" MAXIMUM.
 - 25) EXISTING ASPHALT TO BE REMOVED.



TYPICAL PARKING
 SCALE: 1"=10'

1-800-782-5348
 CYPRESS CIVIL DEVELOPMENT

DATE: 07/20/11	SITE ADDRESS 7750 NORTH ORACLE ROAD ORO VALLEY, ARIZONA 85704	OWNER/DEVELOPER CAYLOR CONSTRUCTION COMPANY 6422 EAST SPEEDWAY BLVD, SUITE 130 TUCSON, ARIZONA 85710 ATTN: MR. ROB CAYLOR P: (520) 298-2200 E: rob@caylor.net	ARCHITECT CDG ARCHITECTS 2102 NORTH COUNTRY CLUB, #9 TUCSON, ARIZONA 85716 ATTN: MR. FRANK MASCIA P: (520) 629-9752 E: frank@cdg-architects.com
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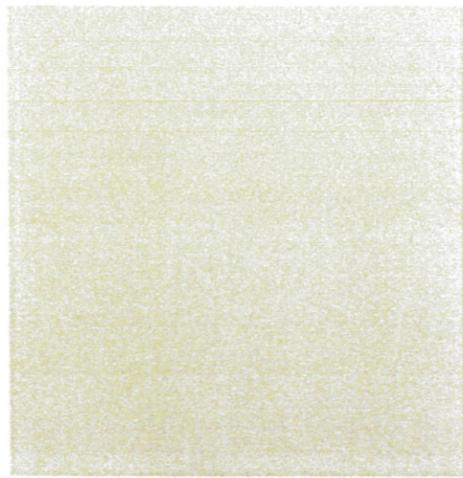
A PORTION OF "BLOCK B" OF "SUFFOLK HILLS" PER BOOK 13, PAGE 13 OF MAPS AND PLATS. LOCATED IN A PORTION OF THE S.W. 1/4 AND A PORTION OF THE S.E. 1/4 OF THE N.W. 1/4 OF SECTION 36, T. 12 S., R. 13 E., G. & S. R. M., TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA.

CONCEPTUAL SITE PLAN for CASA DE LA LUZ

NO.	DATE	REVISION	BY
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CYPRESS CIVIL DEVELOPMENT
 2102 north country club road
 suite #9
 tucson, arizona 85716
 p: 520.991.5213
 e: kmhall@cypresscivil.com





SW6142 Macadamia

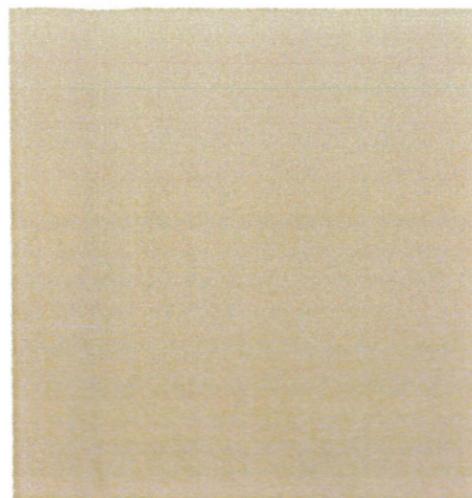
Interior/Exterior

Color Collection: SW Color
Color Family: Warm Neutrals
Color Strip: 21

RGB Value: R-203 | G-187 | B-156
Hexadecimal Value: #CBBB9C
LRV: 50

- ← All interior Warm Neutral paint colors
- ← All exterior Warm Neutral paint colors

21



SW6144 Dapper Tan

Interior/Exterior

Color Collections:
Neutral Nuance, SW Color
Color Family: Warm Neutrals
Color Strip: 21

RGB Value: R-148 | G-131 | B-103
Hexadecimal Value: #948367
LRV: 23

- ← All interior Warm Neutral paint colors
- ← All exterior Warm Neutral paint colors

21



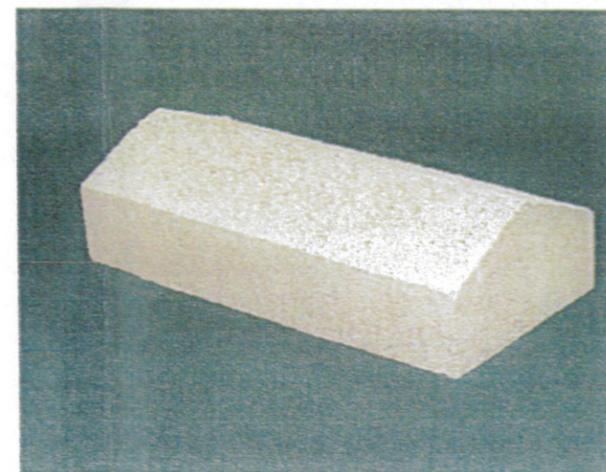
BRICK:
CABCO SANTA ROSA 8416
BLOCK ALSO USED AT 6" BAND
AROUND THE BUILDING PAINTED
TO DAPPER TAN TRIM COLOR,
SEE ELEVATIONS



STUCCO FINISH:
2 COAT CEMENT STUCCO
WITH TEXTURE TO MATCH

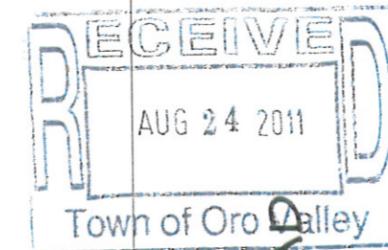


TILE ROOFING;
SPANISH TILE
TERRA-COTTA



CAP BLOCK:
12X4X16 CAP BLOCK
PAINTED IN DAPPER TAN
TRIM COLOR.

2021 N. County Club #9
Lucas, Allison 30746
370.529.9762 7547 291.1101 F
frank@cap.architects.com



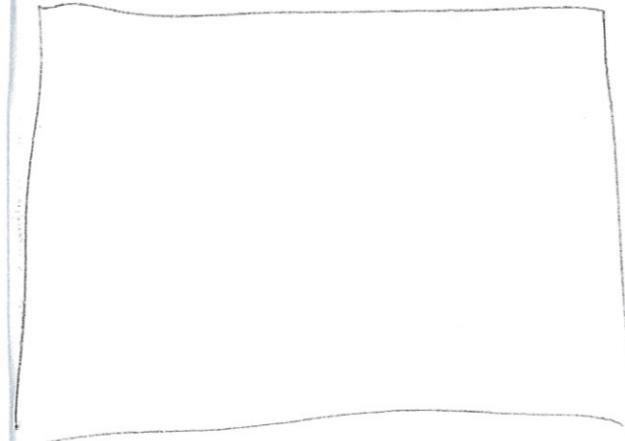
CASA DE LA LUZ
7750 N. ORACLE ROAD



COLUMNS TO MATCH EXISTING COLUMNS AS SEEN IN PHOTOGRAPH.



WINDOWS TO MATCH EXISTING WINDOWS WITH INTERIOR PANELS AS SEEN IN PHOTOGRAPH.



MATERIALS NOT VISIBLE:
ROOFING: ROLL ON BITUMINOUS ROOFING, 4 PLY, WHITE.

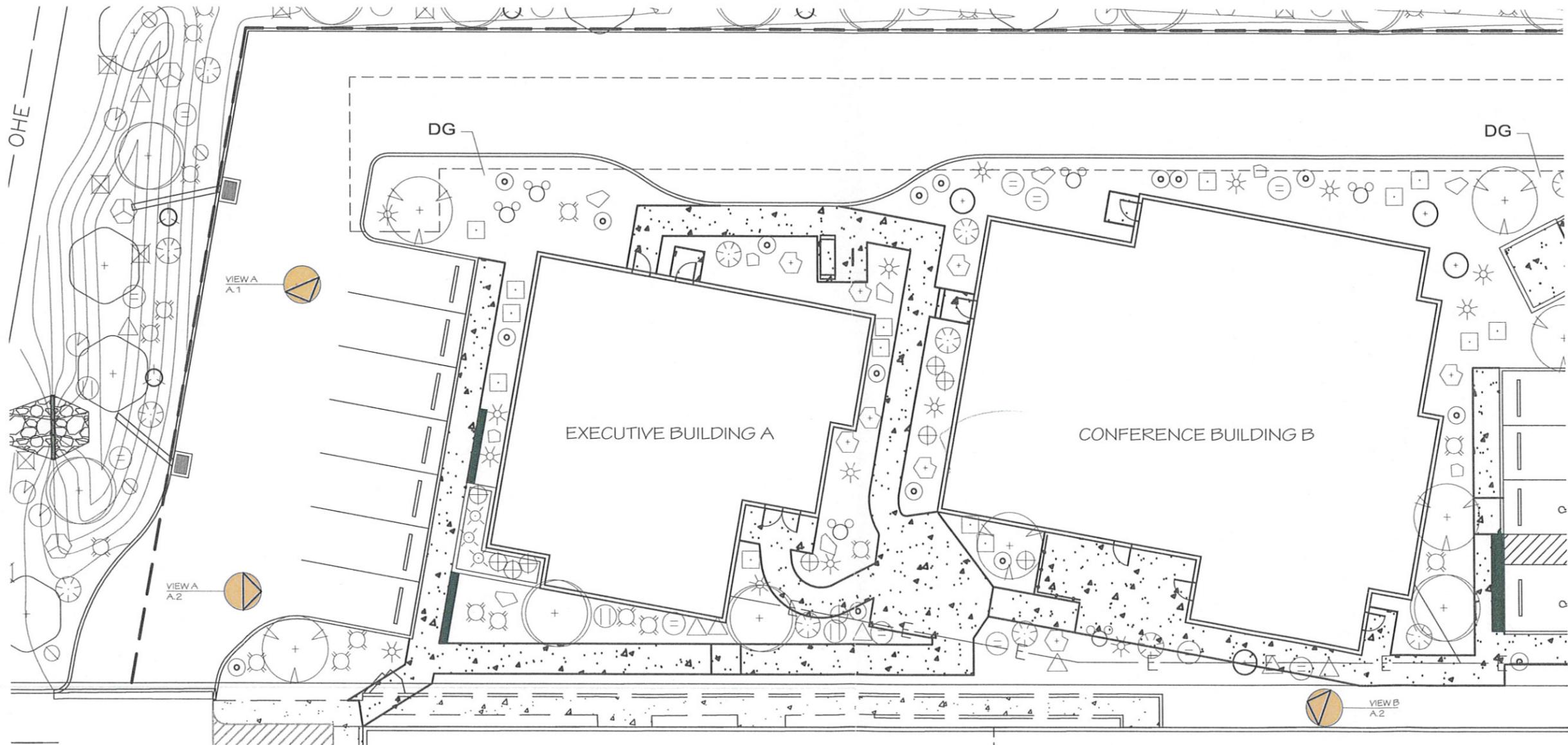
CAD
ARCHITECTS

CASA DE LA LUZ
7750 N. ORACLE ROAD



CASA DE LA LUZ _ MATERIAL PALETTE

SCALE: NSA



VIEW B
A1

VIEW A
A2

VIEW A
A1

CASA DE LA LUZ COLOR RENDERINGS_PLAN

SCALE: NSA

cab
ARCHITECTS

CASA DE LA LUZ
750 N. ORACLE ROAD

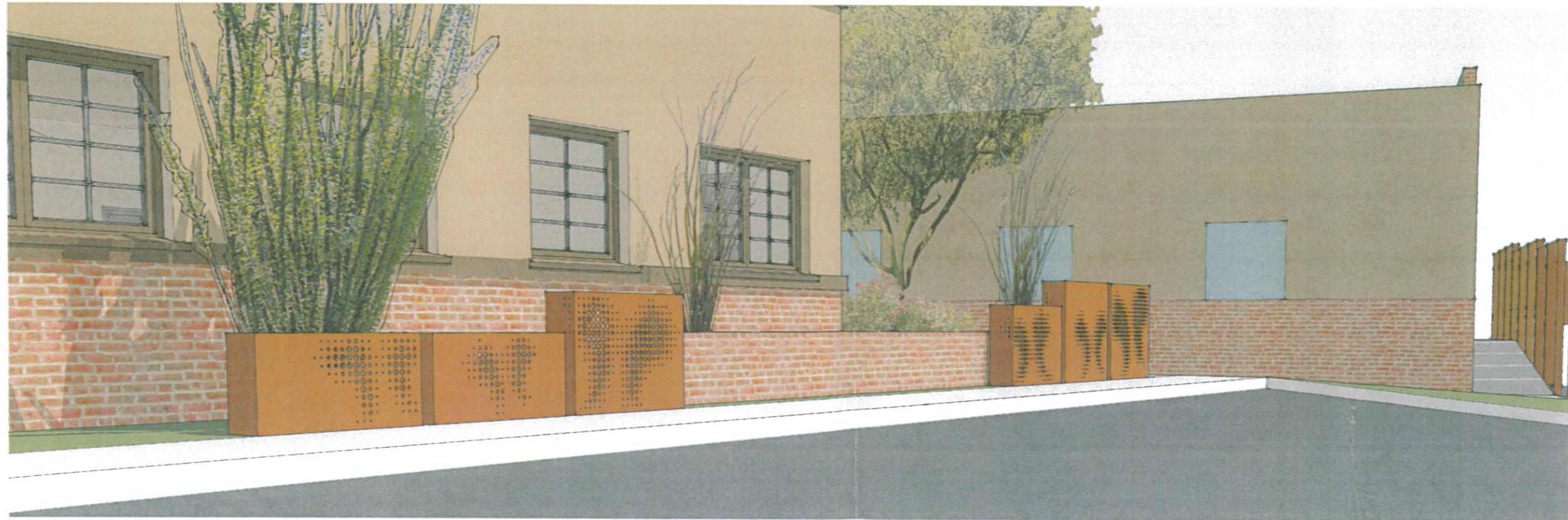
RECEIVED
AUG 24 2011
Town of Oro Valley

A.O
08/22/2011

2102 N. County, Club #19
Lucas, AZ 85718
320.529.2742 / 320.527.9811 F
frank@cabarchitect.com



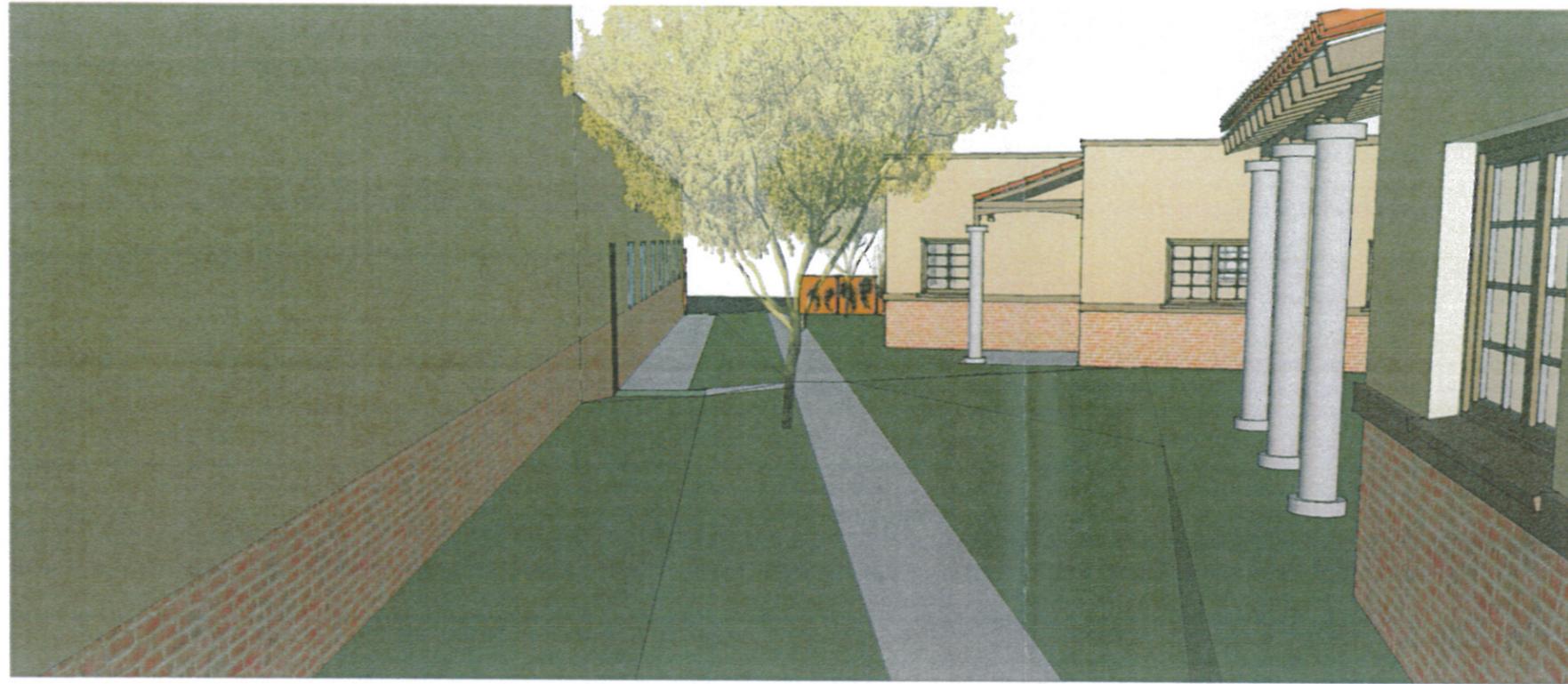
VIEW B ENTRY FROM DRIVE



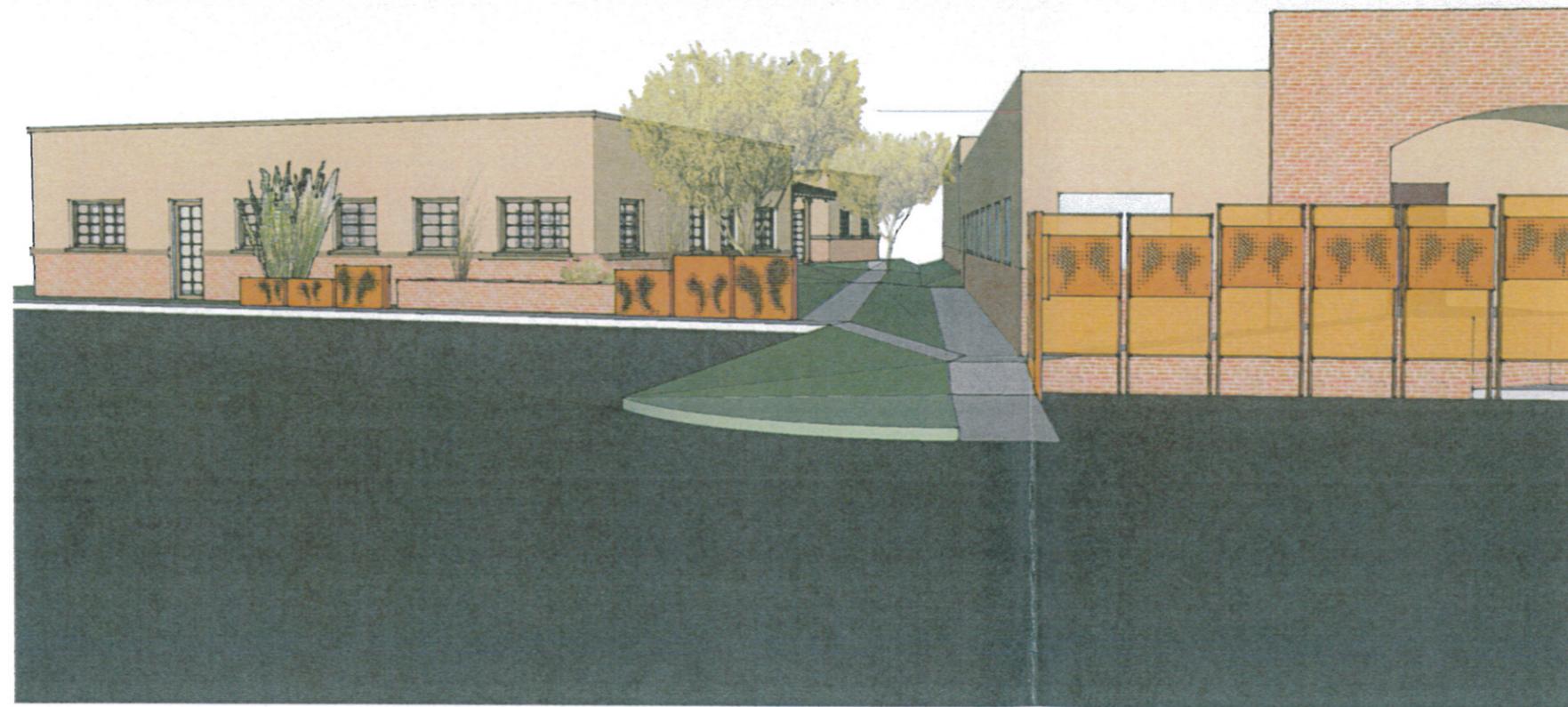
VIEW A ENTRANCE AREA WITH FUTURE ART AND PLANTER

○ CASA DE LA LUZ RENDERINGS_ENTRY
SCALE: NSA

CASA DE LA LUZ
 7750 N. ORACLE ROAD



**EXECUTIVE BUILDING:
REAR ENTRANCE**
IMAGE PORTRAYS REAR
ENTRANCE TO CASA DE LA LUZ
CAMPUS. NEW BUILDINGS AND
EXISTING BUILDING CREATE A
CORRIDOR THAT CREATES A
CONNECTION BETWEEN THE NEW
AND THE EXISTING PROJECTS.
ALL MAIN ENTRANCES OPEN UP
TO THE VEGETATED CORRIDOR
THAT EMPHASIZES THE CAMPUS
FEEL.

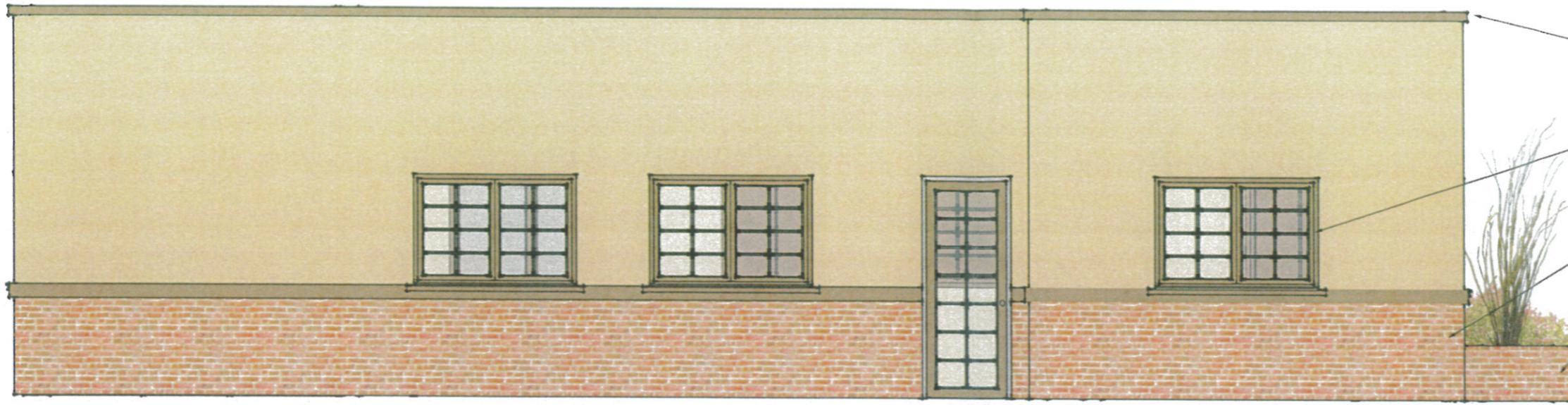


**EXECUTIVE BUILDING:
FRONT ENTRANCE**
IMAGE PORTRAYS MAIN
ENTRANCE TO CASA DE LA LUZ
CAMPUS. NEW BUILDINGS AND
EXISTING BUILDING CREATE A
CORRIDOR THAT CREATES A
CONNECTION BETWEEN THE NEW
AND THE EXISTING PROJECTS.
THIS IS FURTHER EMPHASIZED
BY THE PUBLIC ART WHICH
BRINGS THE USER INTO THE
SPACE. NEW MATERIALS USED
ARE MEANT TO MATCH THE
EXISTING MATERIAL PALETTE,
SEE M.1 FOR MATERIALS.

PROF. S. Country, Olin, JPS
Licenses: Architecture: 80726
1900.629.3792 / 7500.798.1381 F
found@cdg-architects.com

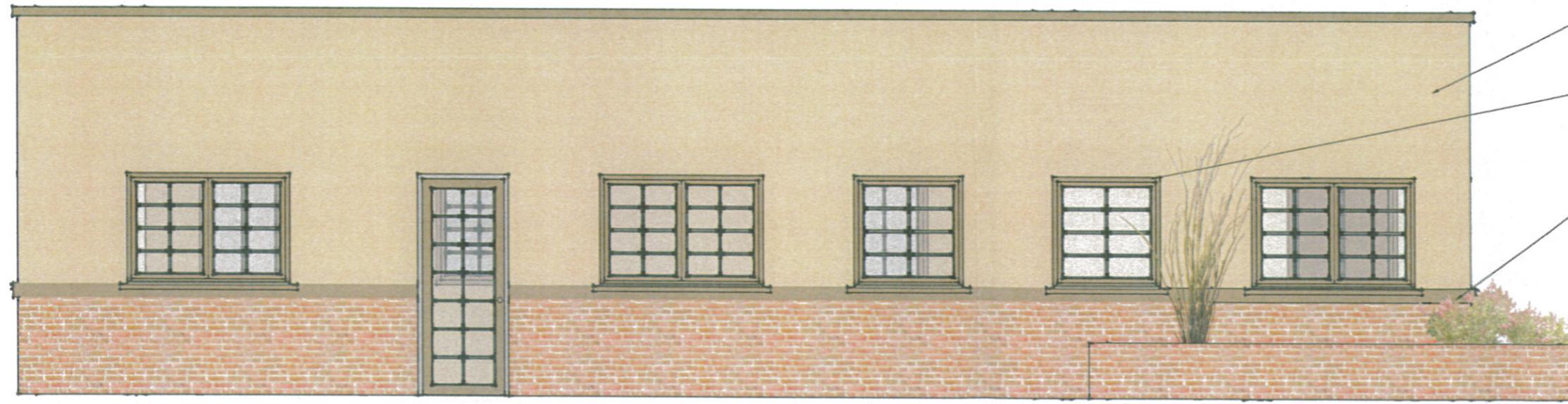
cdg
ARCHITECTS

**CASA DE LA LUZ
7750 N. ORACLE ROAD**



- 2" PARAPET TRIM, TYP TRIM COLOR, SEE M.1
- TYP 4-OX6-O WINDOW, TRIM COLOR, SEE M.1/M.2
- WAINSCOT, SEE M.1 BRICK
- 2' PLANTER, SEE M.1 BRICK

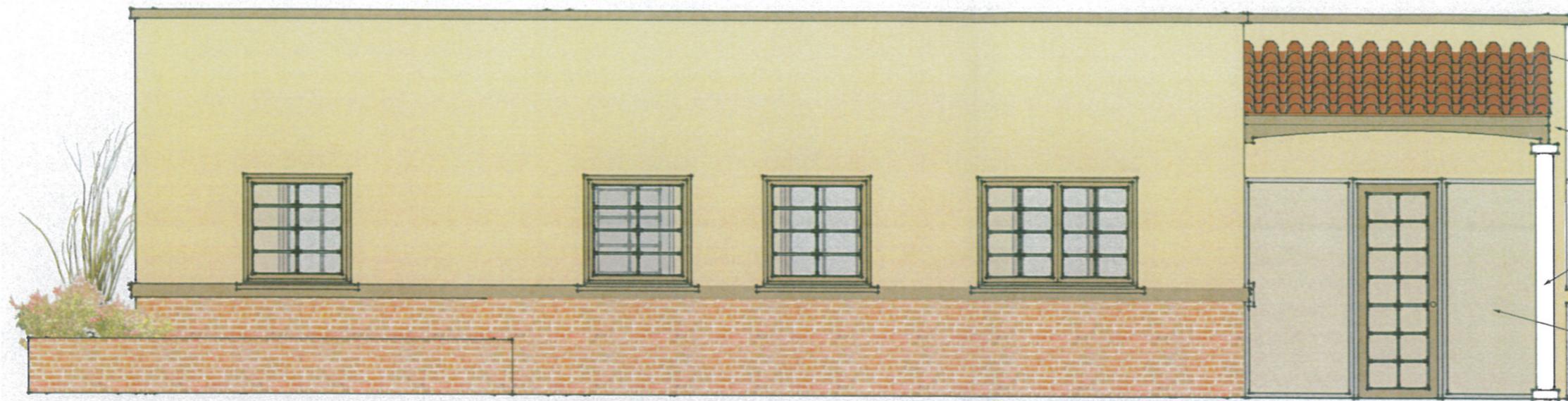
EXECUTIVE BUILDING NORTH



- BODY COLOR, SEE M.1
- TYP 4-OX4-O WINDOW, TRIM COLOR, M.1/M.2
- 6" BODY BAND, TRIM COLOR, SEE M.1

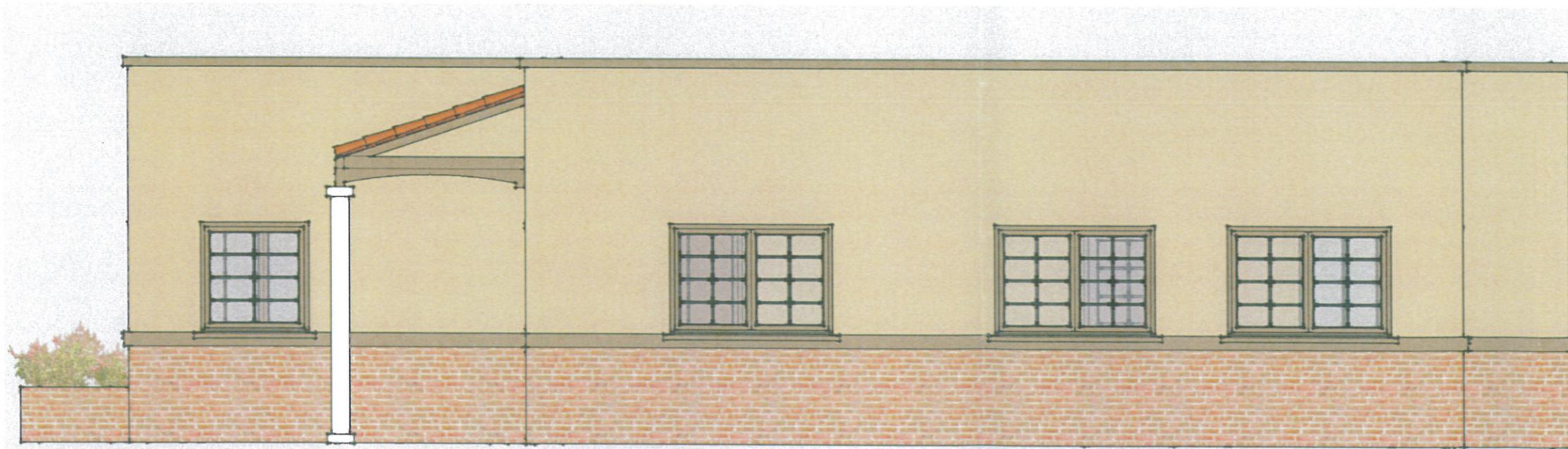
EXECUTIVE BUILDING EAST

COLOR TYPE:
 BODY: SW6142 MACADAMIA, SW COLOR, WARM NEUTRAL
 TRIM: SW6144 DAPPER TAN, SW COLOR, WARM NEUTRAL
 BRICK: CABCO SANTAROSA
 SEE M.1/M.2 FOR ALL MATERIAL TYPES & FINISHES



- SPANISH TILE ROOF, SEE M.1
- ROUGH SAWN CONSTRUCTION
- CONCRETE COLUMN, SEE M.2
- TYP STORE FRONT ENTRY

EXECUTIVE BUILDING SOUTH

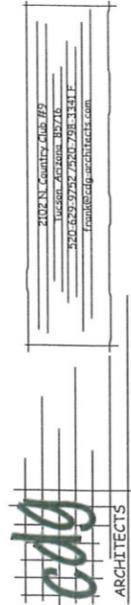


EXECUTIVE BUILDING EAST

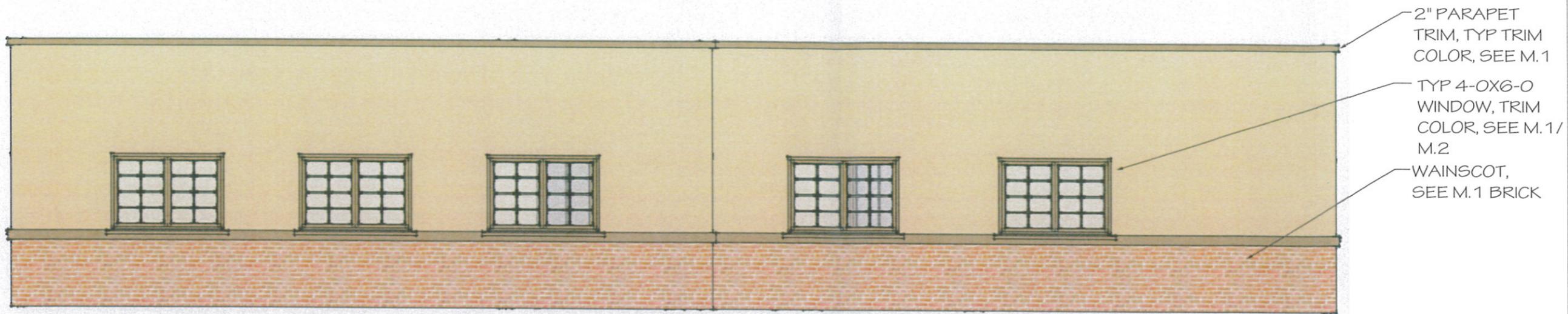
COLOR TYPE:
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 TRIM: SW6144 DAPPER TAN, SW COLOR, WARM NEUTRAL
 BRICK: CABCO SANTAROSA
 SEE M.1/M.2 FOR ALL MATERIAL TYPES & FINISHES

CASA DE LA LUZ RENDERINGS_EXTERIOR EXECUTIVE BUILDING

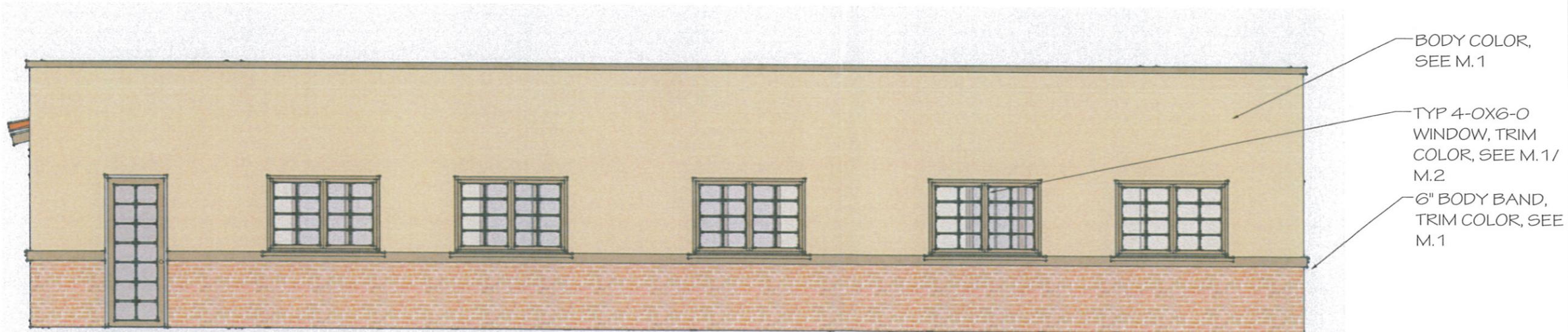
SCALE: NSA



CASA DE LA LUZ
 7750 N. ORACLE ROAD



CONFERENCE BUILDING NORTH



CONFERENCE BUILDING EAST

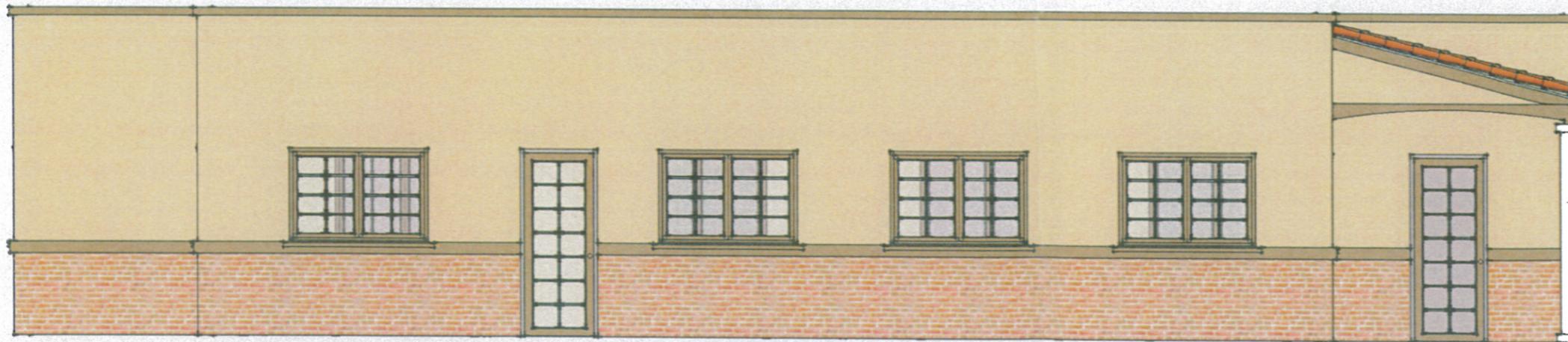
COLOR TYPE:
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 TRIM: SW6144 DAPPER TAN, SW COLOR, WARM NEUTRAL
 BRICK: CABCO SANTAROSA
 SEE M. 1/M. 2 FOR ALL MATERIAL TYPES & FINISHES

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 cdp ARCHITECTS

CASA DE LA LUZ
 7750 N. ORACLE ROAD



CONFERENCE BUILDING SOUTH



- SPANISH TILE ROOF, SEE M.1
- ROUGH SAWN CONSTRUCTION
- CONCRETE COLUMN, SEE M.2
- 6" BODY BAND, TRIM COLOR

CONFERENCE BUILDING WEST

COLOR TYPE:
 BODY: SW6142 MACADAMIA, SW COLOR, WARM NEUTRAL
 TRIM: SW6144 DAPPER TAN, SW COLOR, WARM NEUTRAL
 BRICK: CABCO SANTAROSA
 SEE M.1/M.2 FOR ALL MATERIAL TYPES & FINISHES

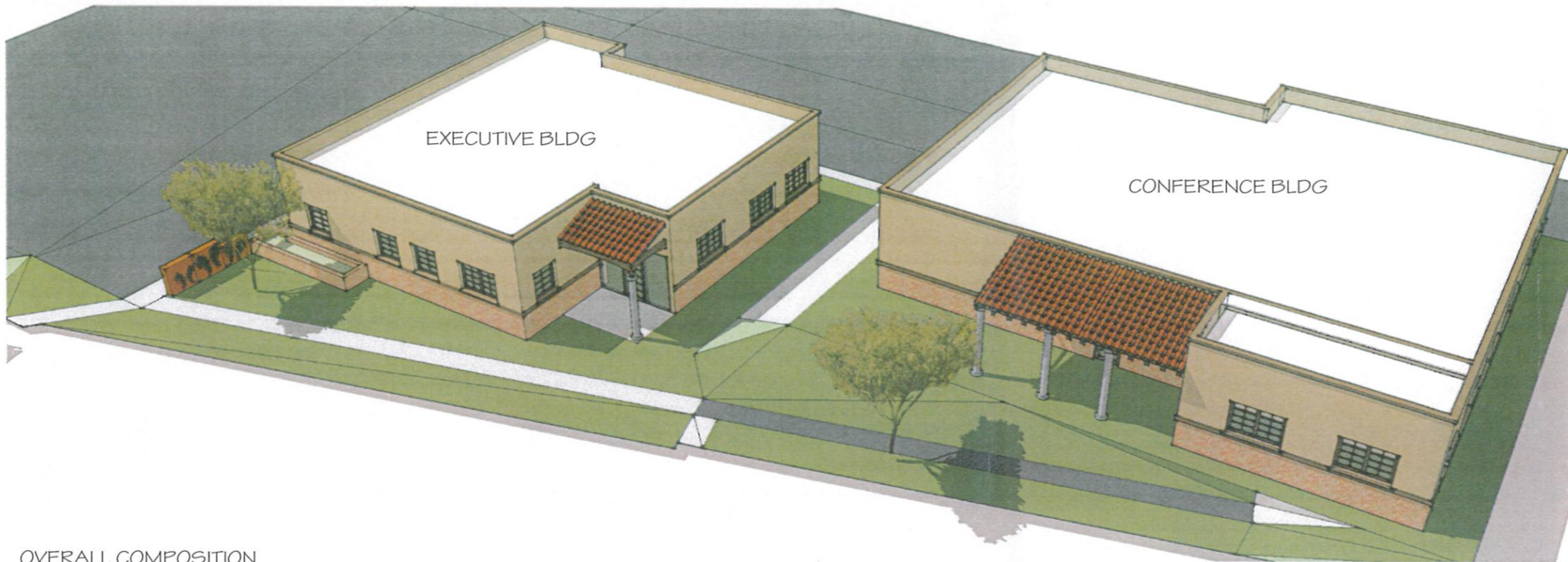
CASA DE LA LUZ RENDERINGS _EXTERIOR CONFERENCE BUILDING

SCALE: NSA

7750 N. ORACLE ROAD, SUITE 202
 LUGERO, ARIZONA 85716
 520.829.5700 / 520.798.3431 F
 frank@cdgarchitects.com

cdg
 ARCHITECTS

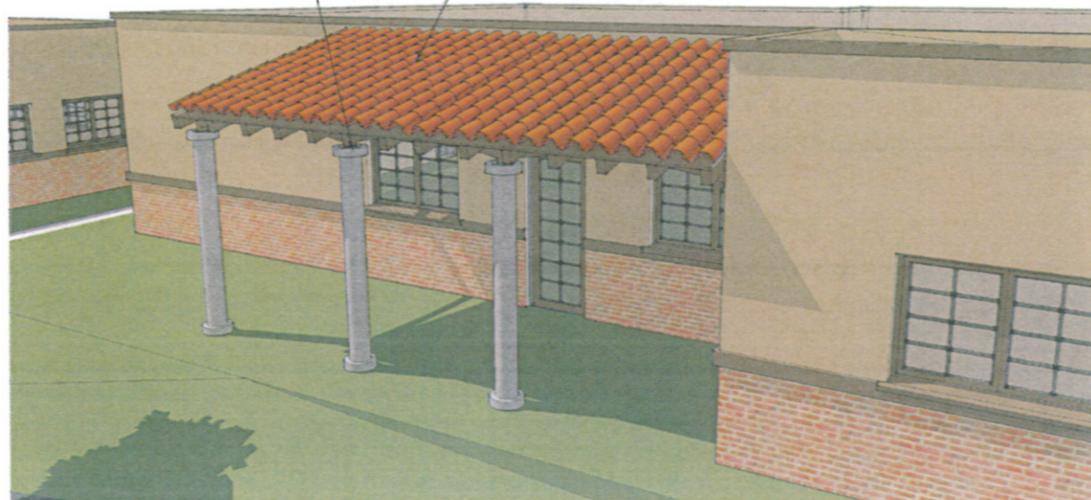
CASA DE LA LUZ
 7750 N. ORACLE ROAD



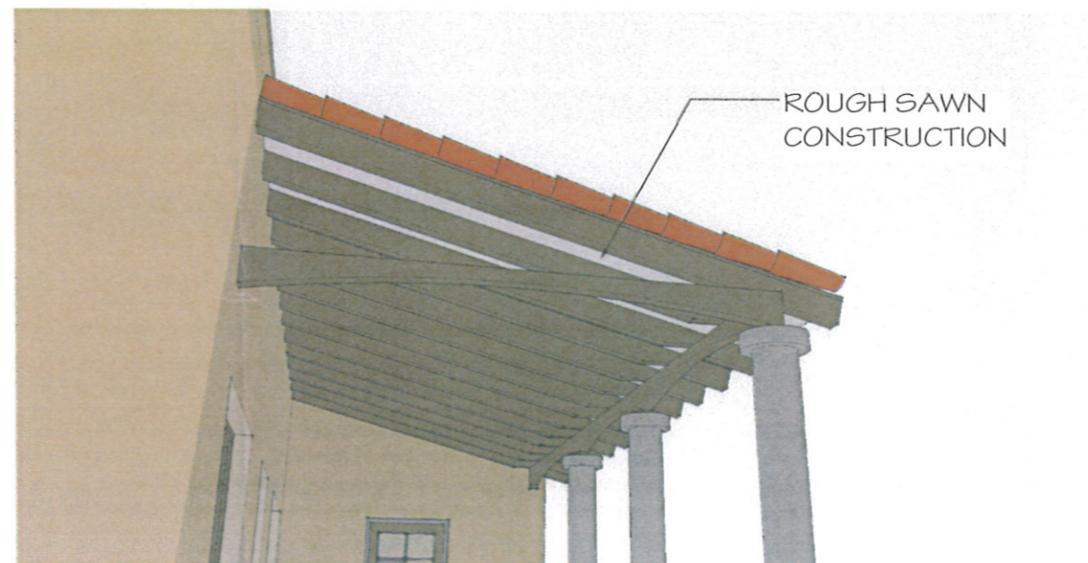
OVERALL COMPOSITION

CONCRETE COLUMN
SEE M.2

SPANISH TILE, SEE
M.1



CONFERENCE PORCH DESIGN



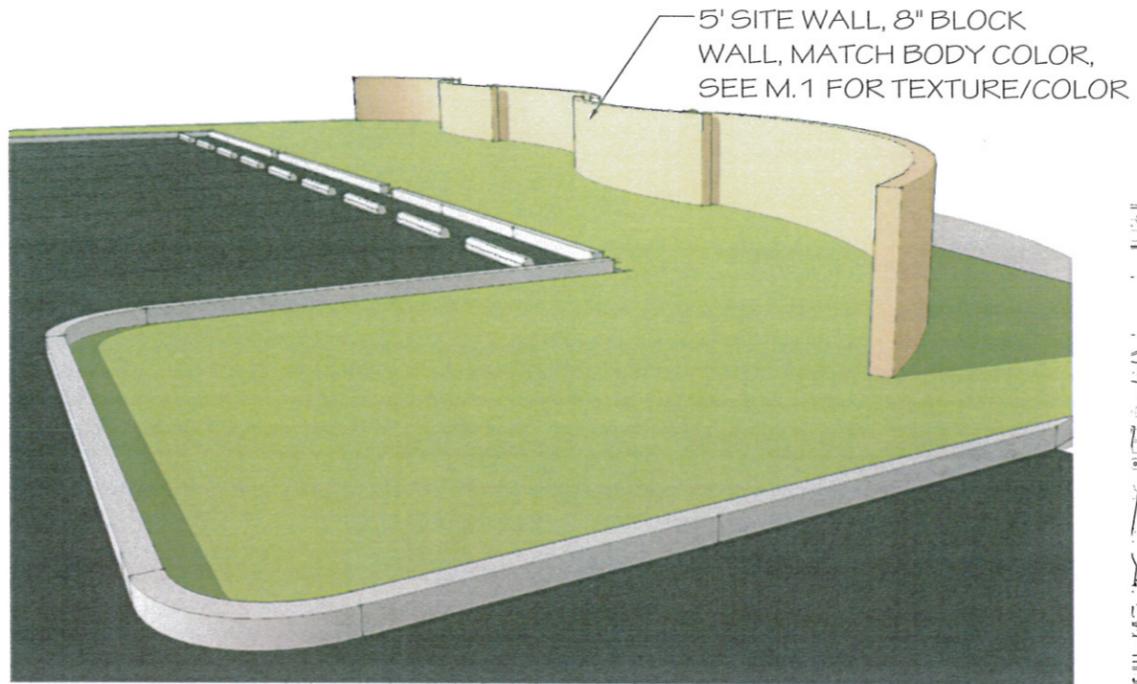
CONFERENCE PORCH DESIGN

ROUGH SAWN
CONSTRUCTION

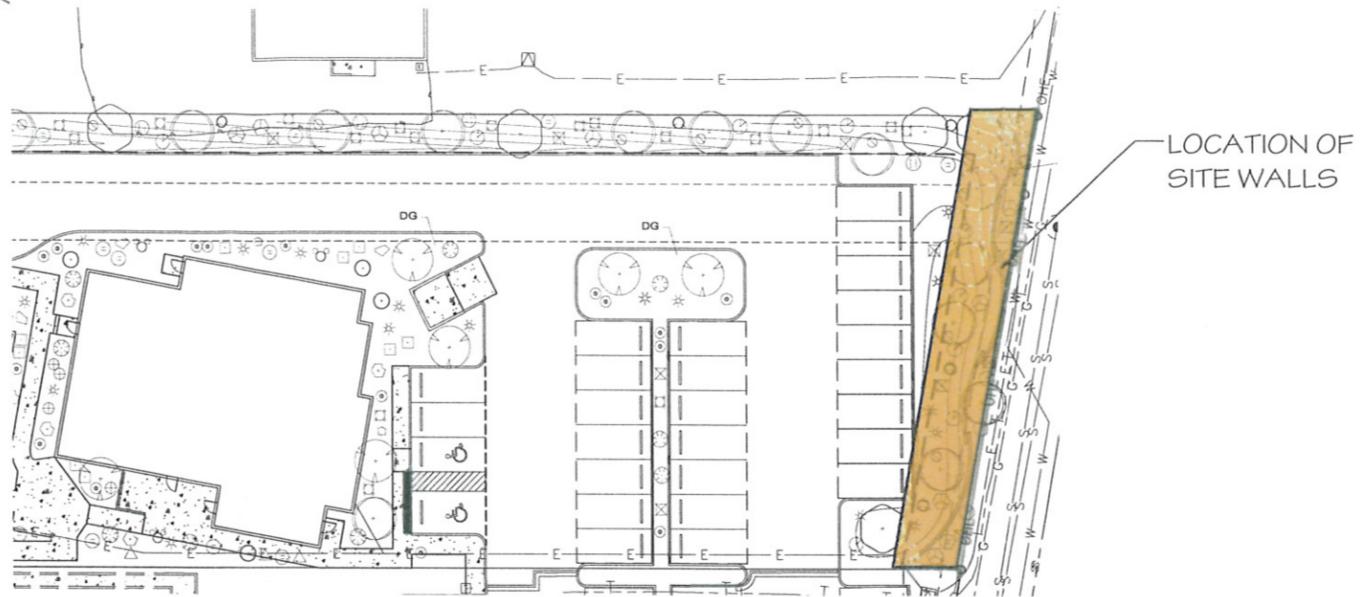


CASA DE LA LUZ RENDERINGS _OVERAL COMPOSITION

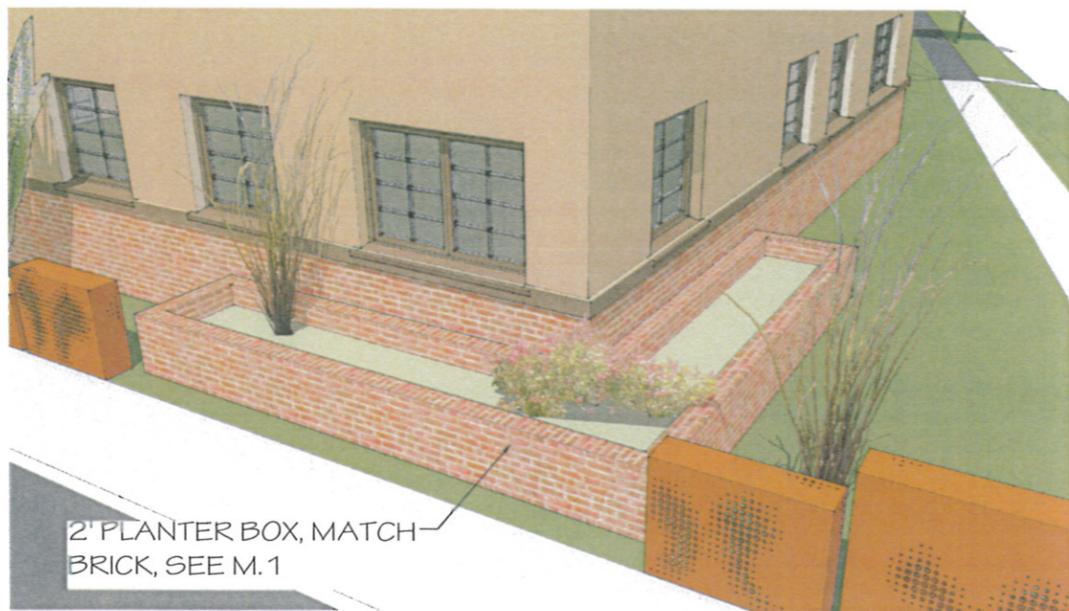
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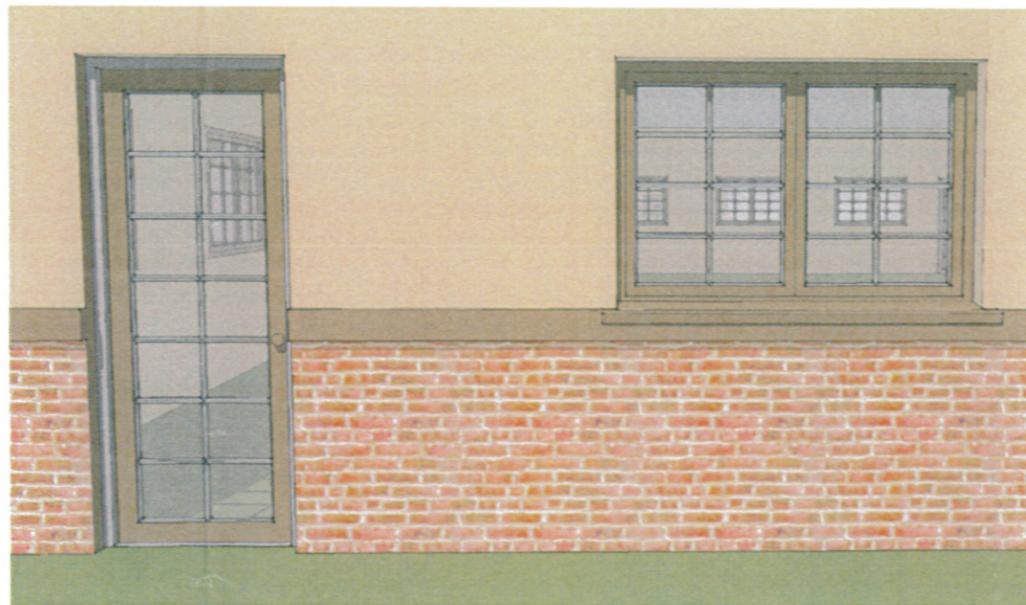
SITE WALL AT THE EAST PROPERTY LINE



SITE PLAN: SITE WALL LOCATION



PLANTER AT EXECUTIVE OFFICE

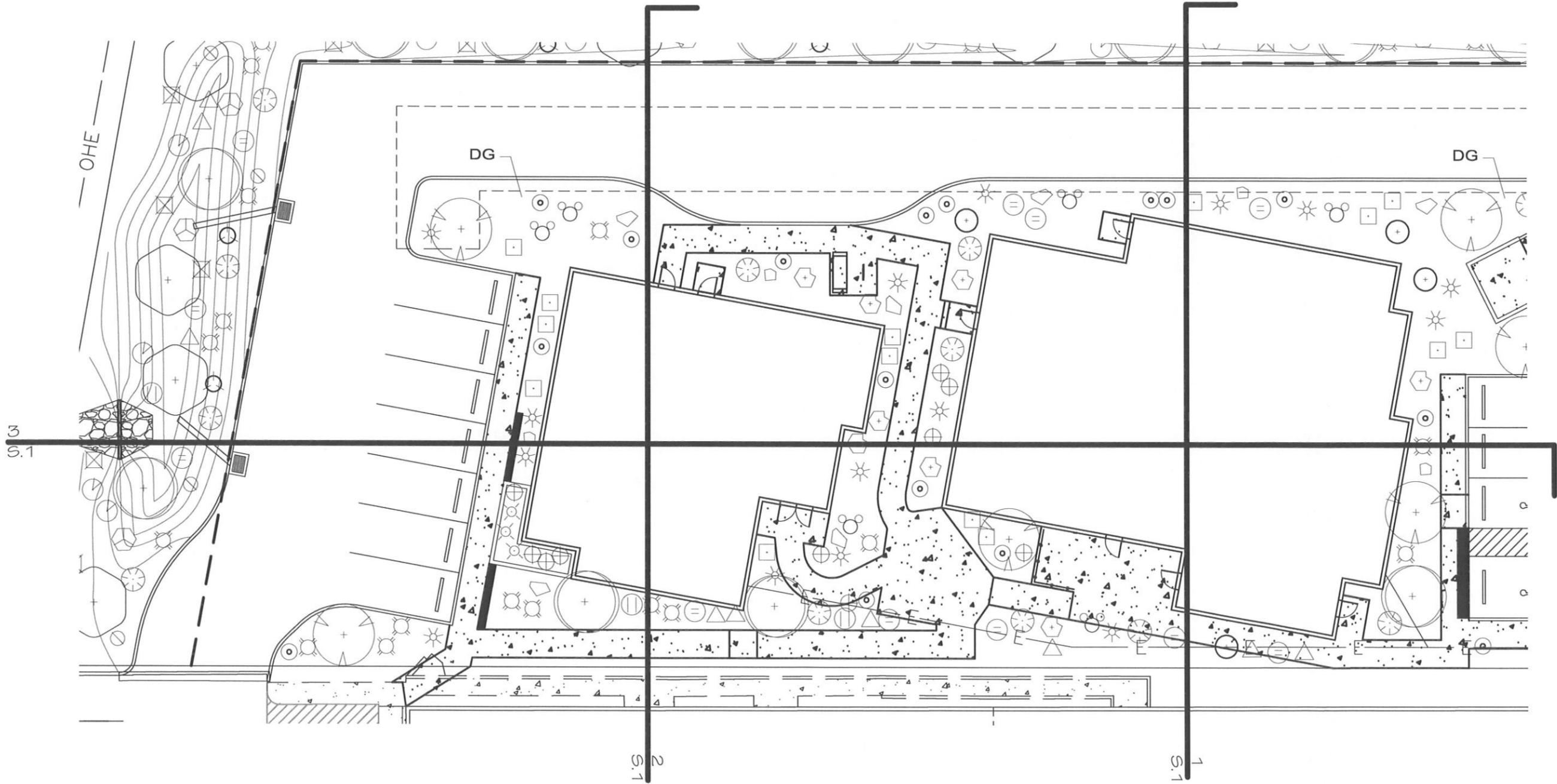


TYPICAL DOOR AND WINDOW
 DOOR TRIM TO MATCH OVERAL TRIM COLOR, SEE M.1/M.2. WINDOWS TO MATCH WINDOWS AT EXISTING FACILITIES. WOOD TRIM SURROUNDING.

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 ARCHITECTS

CASA DE LA LUZ
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CASA DE LA LUZ _ SITE SECTIONS PLAN
SCALE: NSA

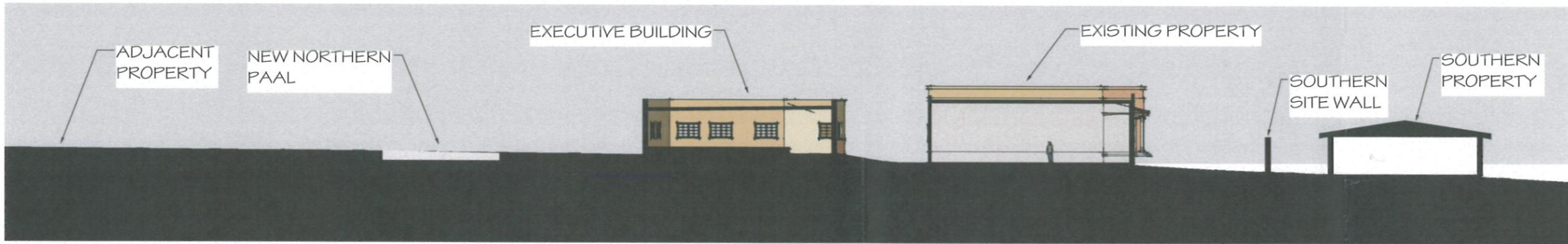
CASA DE LA LUZ
7750 N. ORACLE ROAD



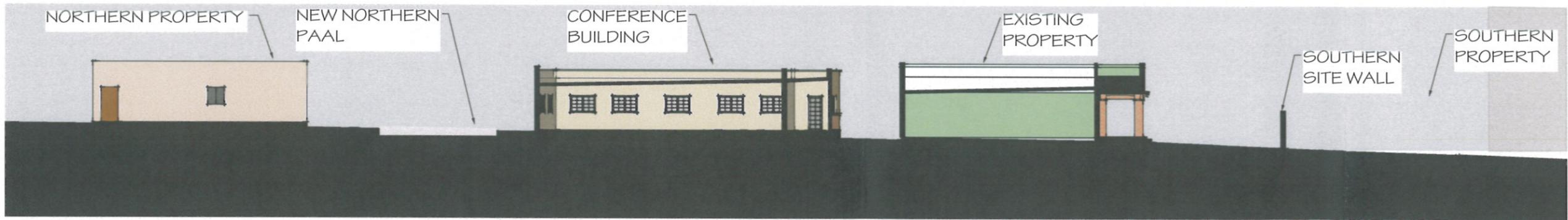
2102 N. GARDNER, CUBA BEACH, FLORIDA 33134
TEL: 305-277-7272 FAX: 305-277-7272
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3



2

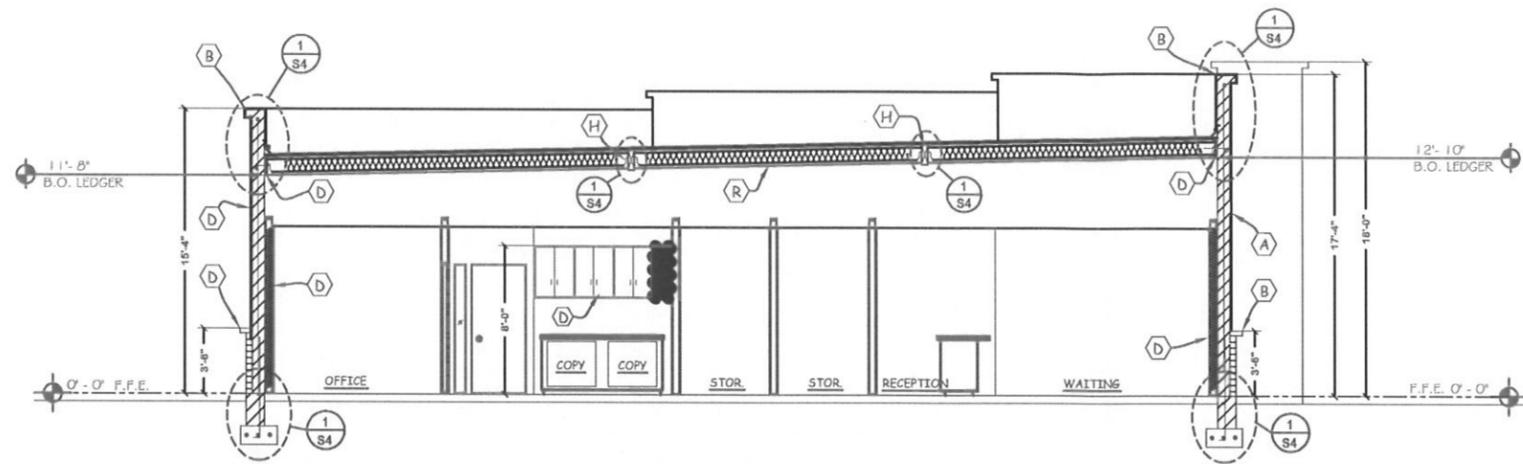


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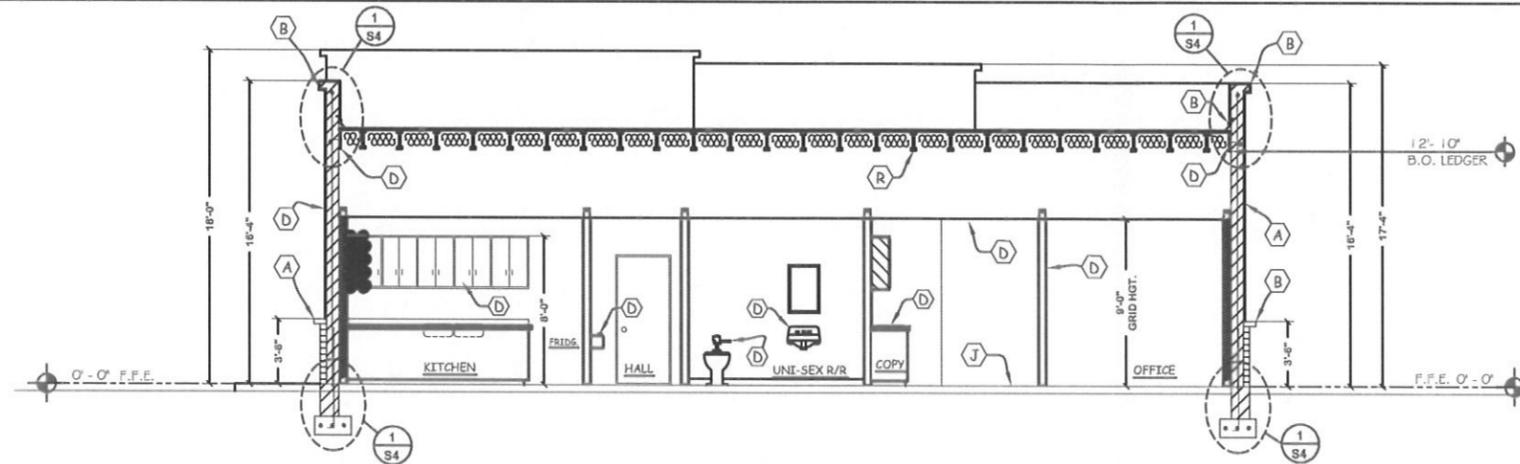
2102 N. COUNTY CLUB DR
 10650 N. ASH AVE. #2716
 920.242.5747 / 920.278.3431 F
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edge
 ARCHITECTS

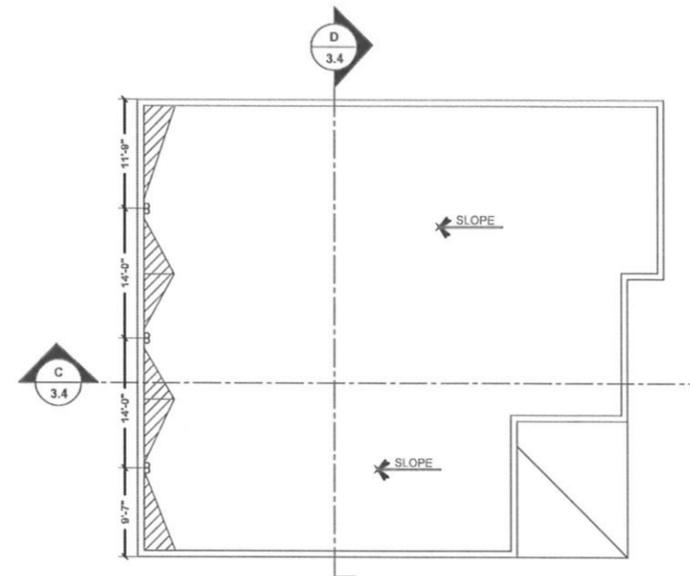
CASA DE LA LUZ
 7750 N. ORACLE ROAD



SECTION C-B



SECTION D-B



SECTION KEYNOTES

- A. STUCCO SYSTEM ON 8" CMU BLOCK w/ VERTICAL & HORIZONTAL REINFORCEMENT PER DETAILS & STRUCTURAL SHEETS.
- B. STANDING SEAM METAL ROOF OVER 30 LB. DRY-IN ON 1/2" OSB SHEATHING OR EXPOSED TONGUE & GROOVE @ OVERHANGS & FRONT PATIO.
- C. SHEET METAL COVERING OVER FASCIA PER DETAILS.
- D. 6 x 8 R.S. POSTS w/ APP'D METAL CONNECTORS TOP & BOTTOM & TO 6 x 10 R.S. BEAM ABOVE.
- E. 2 HR. FIRE SEPARATION @ MASONRY WALL.
- F. FULL BATT OR SPRAY FOAM INSULATION - TYPICAL @ ALL CEILINGS & ALL FURRED OUT WALLS.
- G. BACK TO BACK 3x LEDGERS PER DETAILS.
- H. GLU-LAM BEAM PER STRUCTURAL SHEETS.
- I. VERIFY MECHANICAL SOFFIT & CMU WALL PENETRATIONS w/ MECHANICAL SUB-CONTRACTOR.
- J. MIN. 5", 3000 PSI, CONCRETE SLAB ON 4" AB OVER PROPERLY COMPACTED SUB-SOIL. TERMITE TREAT AT ALL SLABS.
- K. CLASSROOM #1 BEYOND.
- L. JANITOR'S MOP SINK & FRP BOARD TO 36".
- M. SEE SHEET A-6 FOR RESTROOM DETAILS.
- N. PORCH SLAB - 3000 PSI, MIN. 4" & PER KEYNOTE 'J'
- O. POUR SLAB OVER DEPRESSED STEM.
- P. SOLID 2x BLOCKING. SET BACK 1" FOR FOAM.
- Q. EXPOSED 4 x 8 R.S. OUTRIGGERS w/ 1 1/2" TONGUE & GROOVE DECKING. TYP. @ EXPOSED OVERHANGS.
- R. PRE-ENGINEERED 'I' JOISTS PER FRAMING PLAN.
- S. 2x TOP PLATE w/ ANCHOR BOLT TO BOND BEAM PER STRUCTURAL SHEETS.
- T. DECORATIVE LUMBER TO HANG FROM GLU-LAM BEAM.
- U. 3000 PSI CONC. FTG. w/ 8" SOLID GROUTED STEMWALL w/ VERTICAL & HORIZONTAL REINFORCEMENT PER STRUCTURAL SHEETS.



CASA DE LA LUZ
7750 N. ORACLE ROAD

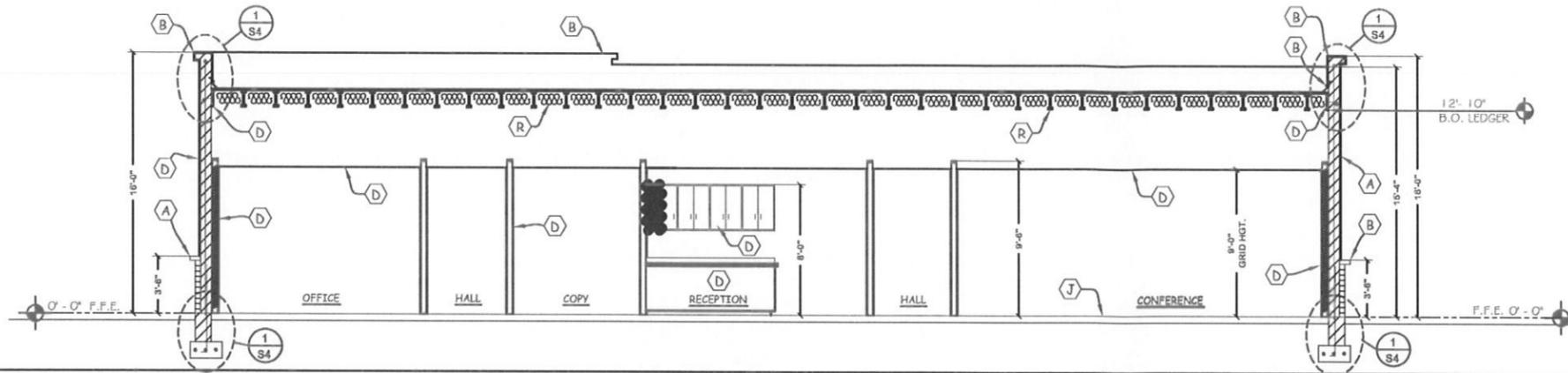
2102 N. Country Club Dr
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 frank@cdg-architects.com



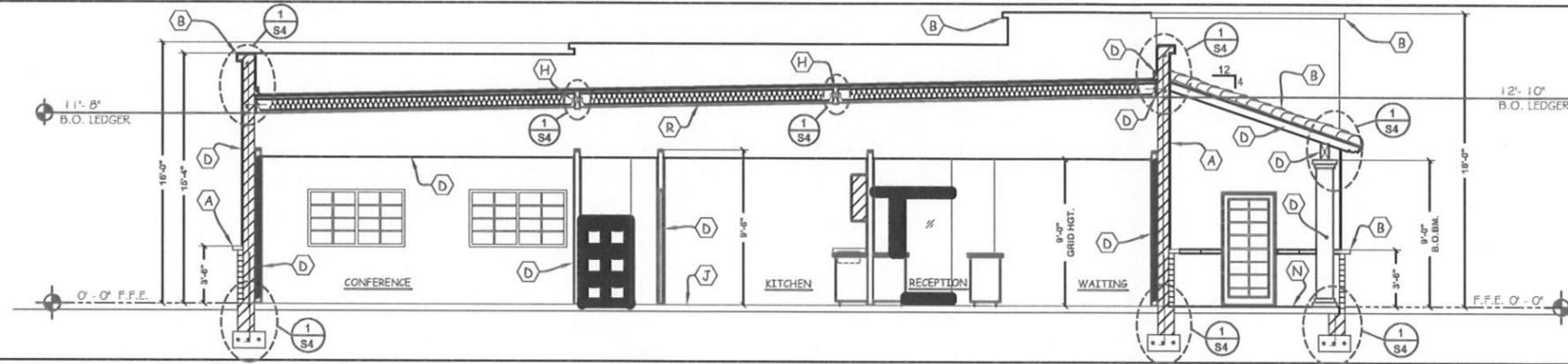
CASA DE LA LUZ
 7750 N. ORACLE ROAD

SECTION KEYNOTES

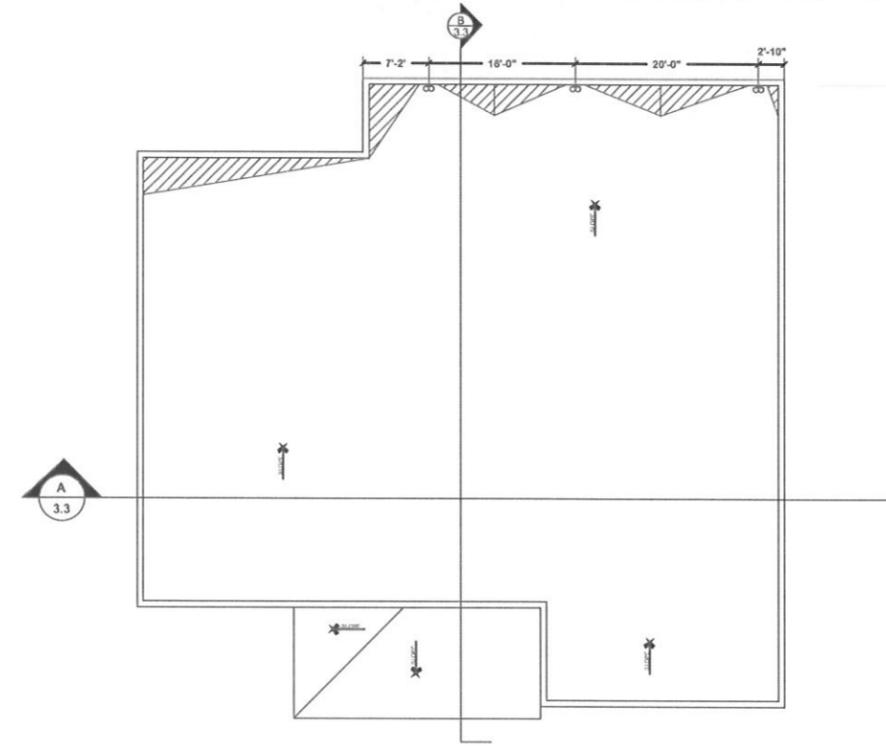
- A. STUCCO SYSTEM ON 8" CMU BLOCK w/ VERTICAL & HORIZONTAL REINFORCEMENT PER DETAILS & STRUCTURAL SHEETS.
- B. STANDING SEAM METAL ROOF OVER 30 LB. DRY-IN ON 1/2" OSB SHEATHING OR EXPOSED TONGUE & GROOVE @ OVERHANGS & FRONT PATIO.
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- P. SOLID 2x BLOCKING. SET BACK 1" FOR FOAM.
- Q. EXPOSED 4 x 8 R.S. OUTRIGGERS w/ 1 1/2" TONGUE & GROOVE DECKING. TYP. @ EXPOSED OVERHANGS.
- R. PRE-ENGINEERED 'I' JOISTS PER FRAMING PLAN.
- S. 2x TOP PLATE w/ ANCHOR BOLT TO BOND BEAM PER STRUCTURAL SHEETS.
- T. DECORATIVE LUMBER TO HANG FROM GLU-LAM BEAM.
- U. 3000 PSI CONC. FTG. w/ 8" SOLID GROUTED STEMWALL w/ VERTICAL & HORIZONTAL REINFORCEMENT PER STRUCTURAL SHEETS.



SECTION A-A



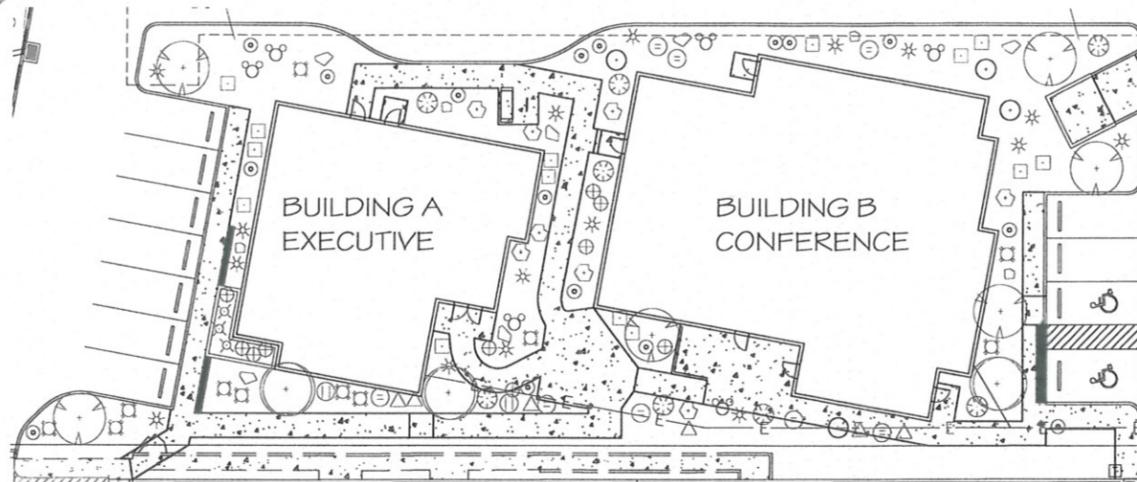
SECTION B-B



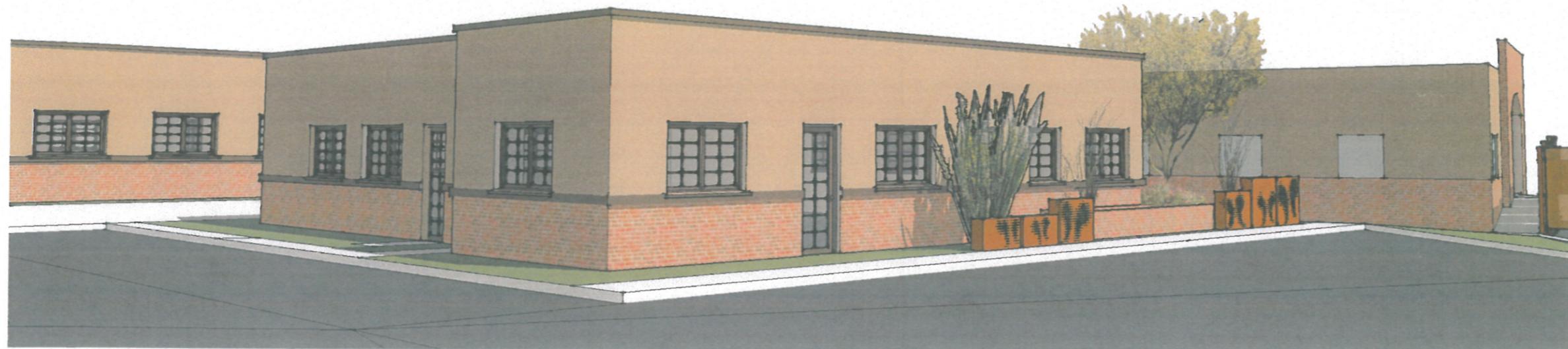
CASA DE LA LUZ _ BUILDING SECTIONS B
 SCALE: NSA



OVERALL DESIGN



OVERALL PLAN



OVERALL DESIGN

2102 N. GARDNER, SUITE 105
 TUCUMCUM, ARIZONA 86301
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 FRANCISCO@FRANCISCOARCHITECTS.COM

FRANCISCO
 ARCHITECTS

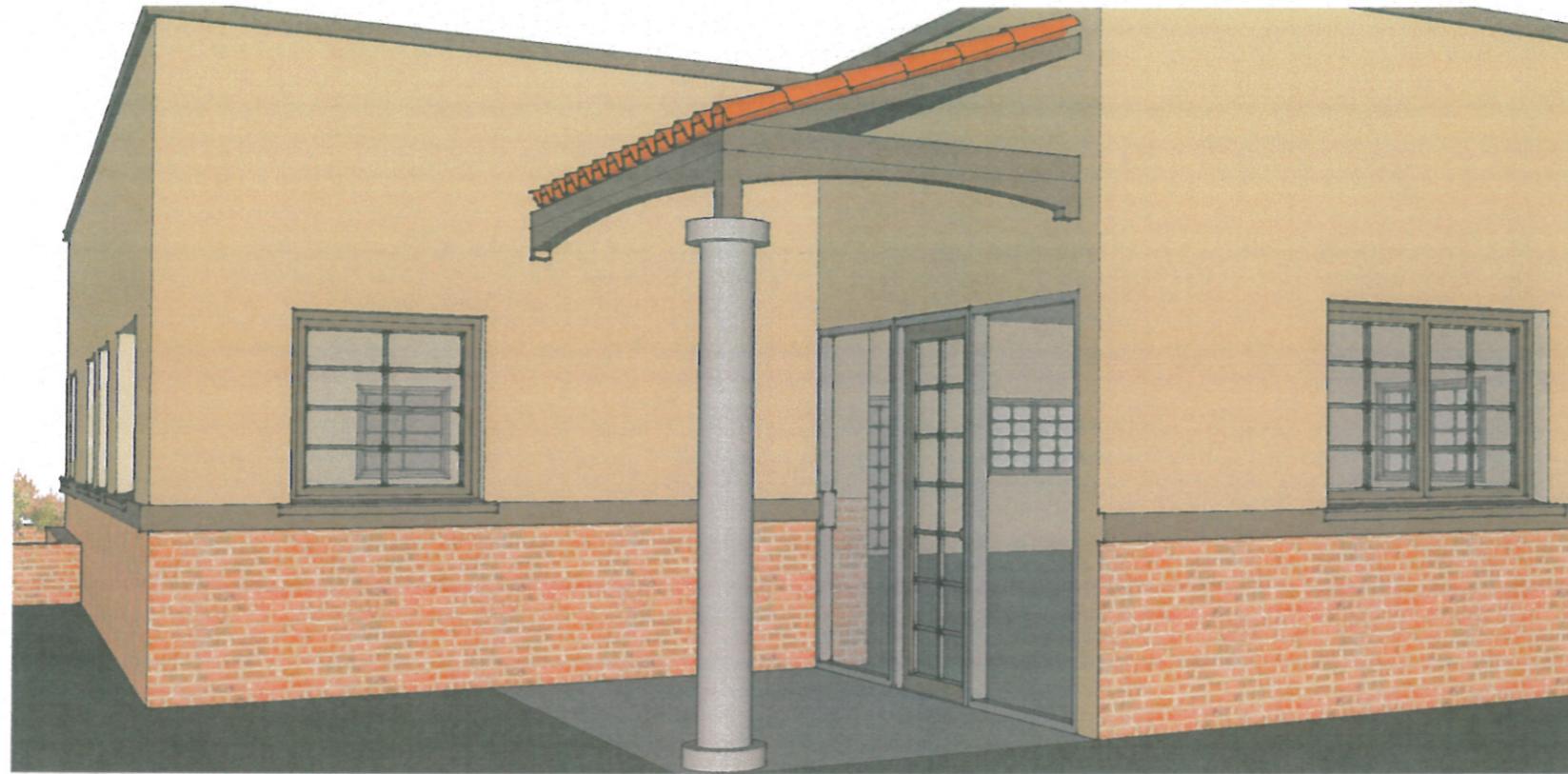
CASA DE LA LUZ
 7750 N. ORACLE ROAD

CASA DE LA LUZ VIGNETTES_OVERALL COMPOSITION A

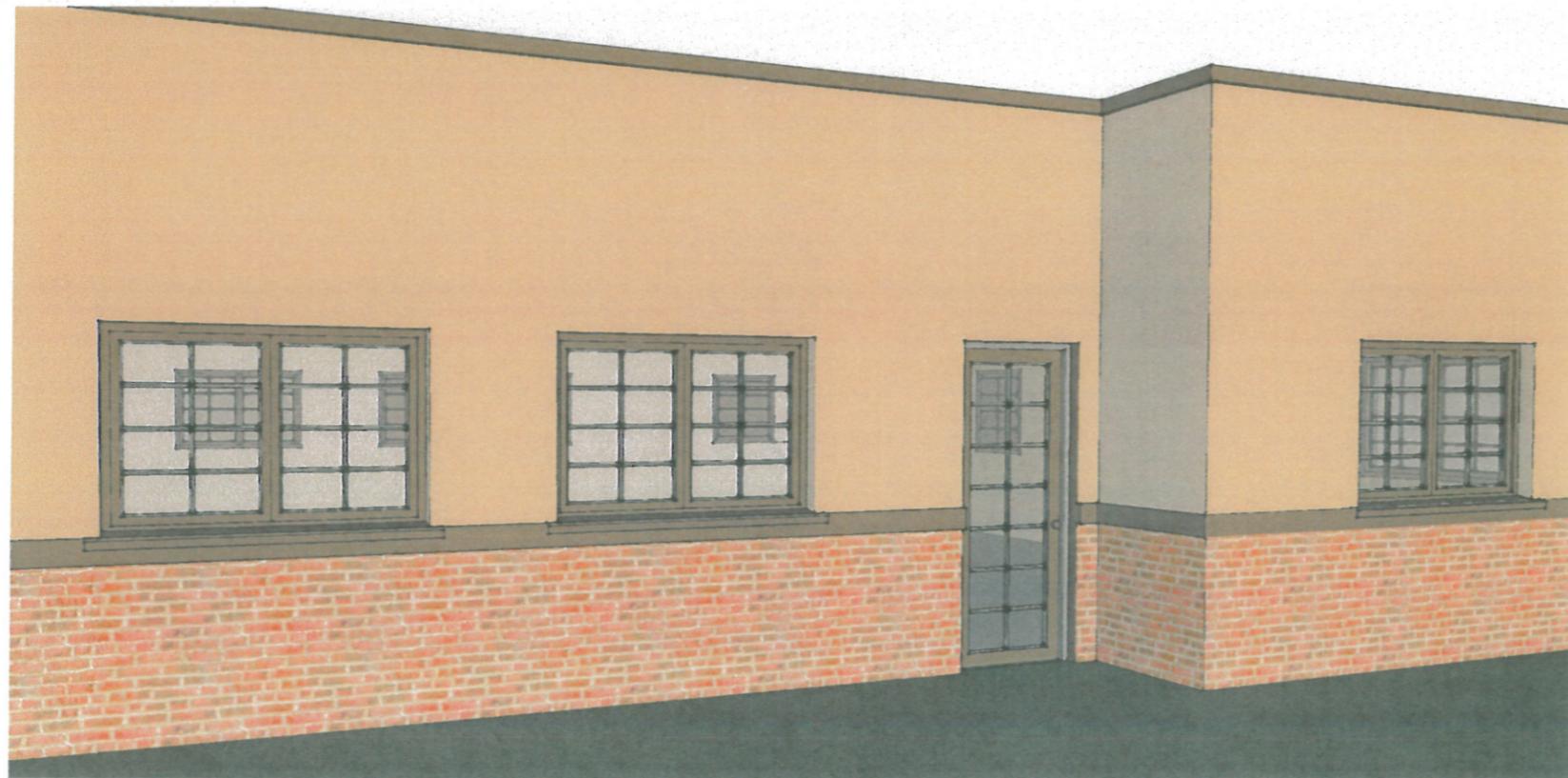
SCALE: NSA

V.1

08/22/2011



**EXECUTIVE BUILDING:
MAIN ENTRANCE**
IMAGE PORTRAYS MAIN ENTRANCE TO EXECUTIVE BUILDING, WITH COVERED PORCH AND CONCRETE COLUMN. SEE MATERIAL PALETTE FOR TILE AND COLUMN EXAMPLE. PORCH IS CONSTRUCTED OF ROUGH SAWN WOOD BEAMS. WINDOWS TO MATCH EXISTING WITH WOOD TRIM TO ACCENT. TRIM AND BODY COLORS ARE PORTRAYED ON A.X. FRONT ENTRANCE IS OF STOREFRONT VARIETY.

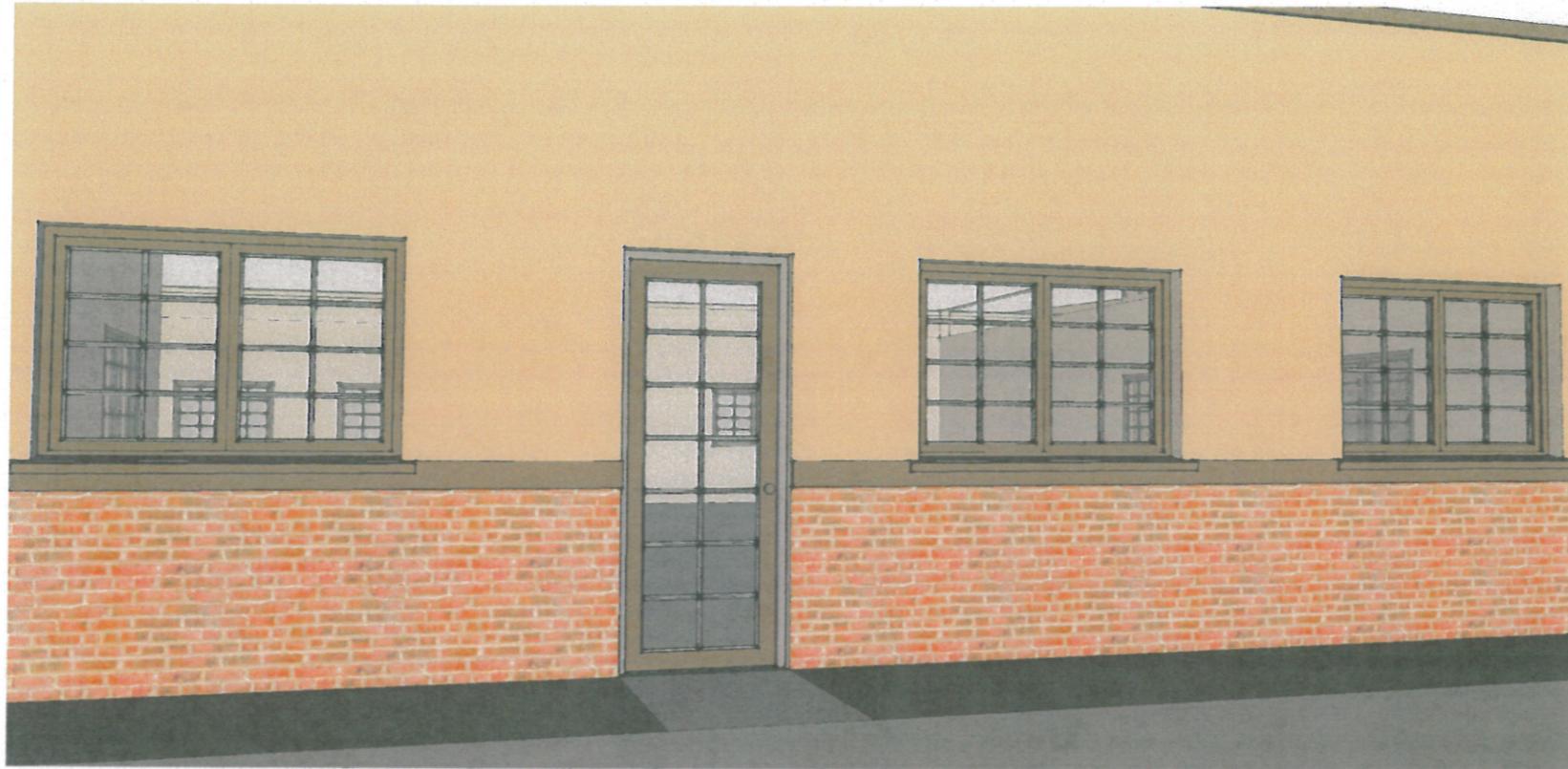


**EXECUTIVE BUILDING:
REAR ENTRANCE**
IMAGE PORTRAYS MAIN ENTRANCE TO EXECUTIVE BUILDING, WITH COVERED PORCH AND CONCRETE COLUMN. SEE MATERIAL PALETTE FOR TILE AND COLUMN EXAMPLE. PORCH IS CONSTRUCTED OF ROUGH SAWN WOOD BEAMS.

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FRANK@FRANKARCHITECT.COM

FRANK
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CASA DE LA LUZ
7750 N. ORACLE ROAD



**CONFERENCE BUILDING:
REAR ENTRANCE**
IMAGE PORTRAYS MAIN
ENTRANCE TO EXECUTIVE
BUILDING, WITH COVERED
PORCH AND CONCRETE
COLUMN. SEE MATERIAL
PALETTE FOR TILE AND
COLUMN EXAMPLE. PORCH
IS CONSTRUCTED OF
ROUGH SAWN WOOD
BEAMS.



**CONFERENCE BUILDING:
MAIN ENTRANCE**
IMAGE PORTRAYS MAIN
ENTRANCE TO
CONFERENCE BUILDING.
ENTRANCE IS SINGLE 3-0
7-0 DOOR WITH SPANISH
COVERED TILE PORCH WITH
CONCRETE COLUMNS. AND
ROUGH SAWN
CONSTRUCTION. SEE
MATERIAL PALETTE FOR
ALL MATERIAL QUALITIES.

2102 N. COUNTY, CUB 787
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FRANCOARCHITECTS.COM

FRANCO
ARCHITECTS

**CASA DE LA LUZ
7750 N. ORACLE ROAD**



PLANTER VIEW



COURTYARD VIEW EAST



COURTYARD VIEW WEST



CASA DE LA LUZ VIGNETTES_FEATURES A

SCALE: NSA

2102 N. LOGAN BLVD #9
 TUCSON, ARIZONA 85716
 520.699.9792 / 520.697.9811 F
 FRANK@CDMARCHITECTS.COM

CDM
 ARCHITECTS



PHOTO 4

PHOTO 1

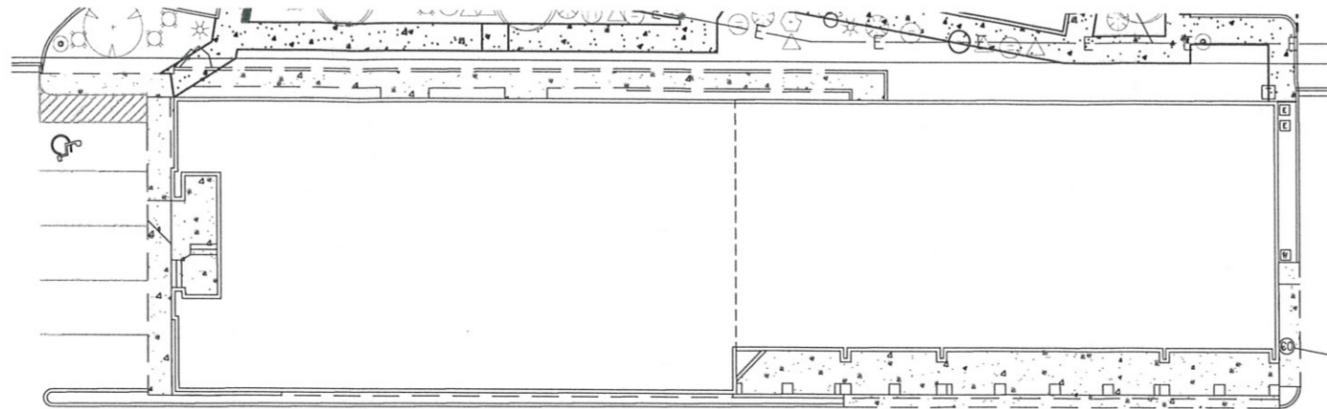


PHOTO 4



PHOTO 2

PHOTO 3



PHOTO 3



PHOTO 2



PHOTO 1

CASA DE LA LUZ
 7740 N. ORACLE ROAD

AUG 25 2011



CASA DE LA LUZ _ SITE PHOTOS EXISTING BUILDING

SCALE: NSA

E.1
 08/24/2011



Town Council Regular Session

Item # 3.

Meeting Date: 10/05/2011

Requested by: David Williams

Submitted By:

Chad Daines,
Development Infrastructure
Services

Department: Development Infrastructure Services

Information

SUBJECT:

PUBLIC HEARING: ORDINANCE NO. (O)11-25, AMENDING THE ORO VALLEY ZONING CODE REVISED TO INCLUDE NEW PUBLIC ART CRITERIA BY AMENDING CHAPTER 22, REVIEW AND APPROVAL PROCEDURES, SECTION 22.9, DESIGN REVIEW AND CHAPTER 27, GENERAL DEVELOPMENT STANDARDS, SECTION 27.3, PUBLIC ARTWORK PROVISIONS

RECOMMENDATION:

The Planning & Zoning Commission voted to recommending approval of the amendment as provided in Attachment 1.

In addition to the Planning and Zoning Commission recommendation, staff has prepared an updated draft with revisions intended to clarify the intent of the principles. The Ordinance is provided as Attachment 2 and incorporates the Planning and Zoning Commission recommendation as further modified by staff.

EXECUTIVE SUMMARY:

On May 18th, 2011, Mayor and Council adopted Zoning and Town Code amendments which established the new Design Review process, established the new Conceptual Design Review Board (CDRB), and adopted a new set of Design Principles related to Site Design, Architecture and Public Art. Several sections of the amendments were continued to the June 1st Town Council meeting for further consideration relative to Public Art and the composition of the CDRB. On June 1st, Mayor and Council modified the composition of the new CDRB to add two new members with art background and directed staff to amend the Conceptual Art Design Principles to add new principles regarding the design of art and its relation to the proposed project and the larger context of the neighborhood and community.

At the July 5, 2011, Planning & Zoning Commission public hearing, the Commission voted to recommend approval of the amendments as provided in Attachment 1. Draft Commission minutes from the July 5th meeting are provided in Attachment 3.

BACKGROUND OR DETAILED INFORMATION:

The purpose of the amendments is to expand the existing Conceptual Art Design Principles beyond safety and location to address the design of public art and its relation to the proposed project and larger community context. In developing the proposed amendments, staff received valuable input and recommendations from Dick Eggerding and Councilmember Lou Waters. The amendments as recommended by the Planning & Zoning Commission and further refined by staff expand the Public Art preamble and add four new Design Principles relative to Public Art. They are summarized as follows:

The preamble statement has been expanded to better define the over-arching purpose of public art to enhance quality of life and contribute to a sense of place and community identity.

The first new principle states that public art should serve as a distinctive and integral element in project design. Often, public art is not planned as an integral element to the project, but rather is designed separately simply to meet the Town's 1% public art requirement. This new principle will ensure that public art is an integrated element within the overall project design.

The second new principle states that public art should relate to the context and character of the project and where appropriate, utilize themes associated with activities within the development. This new principle will promote art designs which complement the context and character of the project. Examples of complementary art utilizing themes associated with the development include the Tree of Knowledge and Solar Cats artworks which relate respectively to the function of the library and the Town's commitment to renewable energy.

The third new principle states that public art should relate to the historical, cultural or natural context of the project area, neighborhood or the Town. The intent of this principle is to establish a connection between public art and the larger community context.

The fourth new principle disallows corporate advertising elements as public art. This principle is intended to prevent art being designed as an extension of corporate identity through the use of symbols, logos, graphics or colors.

An existing principle relative to viewing area for public art was removed, as it was duplicative of an existing Design Standard.

The draft amendment was distributed to the CDRB Council Work Group for review and no additional comments have been received.

In summary, the new art principles expand the review criteria utilized by the CDRB to address the design and composition of public art and its relation to the project and larger community context area.

FISCAL IMPACT:

N/A

SUGGESTED MOTION:

I MOVE to (adopt, adopt with conditions, or deny) Ordinance No. (O)11-25, AMENDING THE ORO VALLEY ZONING CODE REVISED TO INCLUDE NEW PUBLIC ART CRITERIA, as shown in Exhibit "A."

Attachments

Attachment 1 - Commission Recommendation

Ord 11-25

Attachment 3 - PZC Minutes

ATTACHMENT 1
OV 711-008
Page 1 of 2

AMENDMENTS TO SECTION 27.3.H, PUBLIC ART REVIEW CRITERIA

Amendments to original text as recommended by the Planning and Zoning Commission are shown in upper case and strike through.

H. REVIEW CRITERIA

PUBLIC ART IS AN INTEGRAL ELEMENT OF PROJECT DESIGN AND CONTRIBUTES TO THE OVERALL QUALITY OF LIFE FOR ORO VALLEY RESIDENTS AND VISITORS. ART ALSO CONTRIBUTES TO A SENSE OF PLACE AND COMMUNITY, DEFINES AND REINFORCES COMMUNITY IDENTITY AND REFLECTS THE UNIQUE CHARACTER OF THE TOWN.

APPROPRIATELY DESIGNED AND DISPLAYED PUBLIC ART CAN AND SHOULD SERVE AS A UNIFYING ELEMENT IN THE OVERALL DESIGN OF A PROJECT OR DEVELOPMENT. THE FOLLOWING PUBLIC ART PRINCIPLES ARE INTENDED TO PROVIDE DIRECTION AND DESIGN GUIDANCE FOR PUBLIC ART AND ITS INTEGRATION INTO THE OVERALL DEVELOPMENT CONTEXT.

In reviewing applications for conceptual public artwork, the Conceptual Design Review Board shall consider, but is not limited to the criteria described below and the Design Principles and Design Standards established in Section 22.9 ~~of this code and the adopted design standards in~~ Addendum A of the Zoning Code. The Board shall determine acceptability of individual applications based on their interpretation and judgment of fulfillment of these criteria.

1. PUBLIC ART SHALL REFLECT THE CONTEXT AND CHARACTER OF THE PROJECT. WHERE APPROPRIATE, ART AND ARTISTIC ELEMENTS SHOULD UTILIZE THEMES ASSOCIATED WITH THE FUNCTIONS OF THE BUSINESS.
2. PUBLIC ART SHOULD MORE GENERALLY REFLECT THE HISTORICAL, AND CULTURAL CONTEXT OF THE PROJECT AREA, THE NEIGHBORHOOD, AND THE TOWN.
3. PUBLIC ART SHALL NOT REFLECT CORPORATE ADVERTISING ELEMENTS OF A BUSINESS INCLUDING COLORS, GRAPHICS, SYMBOLS OR OTHER REPRESENTATIONS OF CORPORATE IDENTITY.

ATTACHMENT 1
OV 711-008
Page 2 of 2

4. ~~Location:~~ Public artwork locations shall be integrated with the layout and hardscape components of the site. To the extent feasible, public artwork shall be placed in a highly visible and publicly accessible location.
5. ~~Material and Safety:~~ Proposed artworks shall be designed to prevent hazards to the public. Durability and safety of materials shall be considered including potential areas of excessive wear or damage, which shall be mitigated.
6. ~~Obstructions:~~ Potential future obstructions, including landscape materials at maturity or future construction, shall be considered when locating public art.
7. ~~Viewing Area:~~ Locations for artwork should include nearby accessible seating, when appropriate, from which the artwork can be easily viewed.
8. ~~Original Work:~~ The artwork shall be original and not duplicate existing artwork in the Town and shall conform to community standards.

AMENDMENTS TO SECTION 22.9.D.5, CONCEPTUAL DESIGN REVIEW

5. CONCEPTUAL DESIGN REVIEW PRINCIPLES AND TOWN ACTION
...

C. CONCEPTUAL PUBLIC ART DESIGN

SEE SECTION 27.3 FOR PUBLIC ART DESIGN CRITERIA AND REQUIREMENTS.

~~C.~~ D. The Conceptual Design Review Board (CDRB) shall forward recommendations to the Town Council for conceptual design applications as provided in Subsection 4.a. The CDRB shall utilize the design principles in Section 22.9.d.5 and the Design Standards within the zoning code in evaluating conceptual design review applications.

~~D.~~ E. In accordance with Section 21.5.b, the CDRB may approve, with or without conditions, sign criteria, conceptual model home architecture, and tier ii minor communications facilities.

...

ORDINANCE NO. (O)11-25

AN ORDINANCE OF THE TOWN OF ORO VALLEY, ARIZONA, AMENDING THE ORO VALLEY ZONING CODE REVISED TO INCLUDE NEW PUBLIC ART CRITERIA BY AMENDING CHAPTER 22, REVIEW AND APPROVAL PROCEDURES, SECTION 22.9, DESIGN REVIEW AND CHAPTER 27, GENERAL DEVELOPMENT STANDARDS, SECTION 27.3, PUBLIC ARTWORK PROVISIONS; REPEALING ALL RESOLUTIONS, ORDINANCES AND RULES OF THE TOWN OF ORO VALLEY IN CONFLICT THEREWITH; PRESERVING THE RIGHTS AND DUTIES THAT HAVE ALREADY MATURED AND PROCEEDINGS THAT HAVE ALREADY BEGUN THEREUNDER

WHEREAS, the Town of Oro Valley is a political subdivision of the State of Arizona vested with all associated rights, privileges and benefits and is entitled to the immunities and exemptions granted municipalities and political subdivisions under the Constitution and laws of the State of Arizona and the United States; and

WHEREAS, on March 13, 1981, the Mayor and Council approved Ordinance (O)81-58, which adopted that certain document entitled “Oro Valley Zoning Code Revised (OVZCR); and

WHEREAS, the proposed amendments to Sections 22.9 and 27.3 of the OVZCR include new review criteria to address the design of public art and its relation to a proposed project; and

WHEREAS, the Planning and Zoning Commission reviewed the proposed amendments at a duly noticed public hearing on July 5, 2011 in accordance with State Statutes and recommended approval of the proposed amendments to Town Council; and

WHEREAS, the Oro Valley Town Council has considered the proposed amendments to Chapter 22, Review and Approval Procedures, Section 22.9, Design Review and Chapter 27, General Development Standards, Section 27.3, Public Artwork Provisions and the Planning and Zoning Commission’s recommendation finds that they are consistent with the Town's General Plan and other Town ordinances; and

NOW, THEREFORE BE IT ORDAINED by the Mayor and Council of the Town of Oro Valley, Arizona, that certain document entitled Chapter 22, Review and Approval Procedures, Section 22.9, Design Review and Chapter 27, General Development Standards, Section 27.3, Public Artwork Provisions, attached hereto as Exhibit “A” and incorporated herein by this reference, are hereby amended with additions being shown in ALL CAPS and deletions in ~~strikethrough~~ text.

SECTION 2. All Oro Valley Ordinances, Resolutions, or Motions and parts of Ordinances, Resolutions, or Motions of the Council in conflict with the provisions of this Ordinance are hereby repealed.

SECTION 3. If any section, subsection, sentence, clause, phrase or portion of this Ordinance is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions thereof .

PASSED AND ADOPTED by the Mayor and Council of the Town of Oro Valley, Arizona this 5th day of October, 2011.

TOWN OF ORO VALLEY

Dr. Satish I. Hiremath, Mayor

ATTEST:

APPROVED AS TO FORM:

Julie K. Bower, Town Clerk

Tobin Rosen, Town Attorney

Date: _____

Date: _____

EXHIBIT “A”

**Chapter 22
Review and Approval Procedures**

...

Section 22.9 Design Review

...

Section 22.9.D Conceptual Design Review

...

22.9.D.5. Conceptual Design Review Principles and Town Action

...

C. CONCEPTUAL PUBLIC ART DESIGN

REFER TO ORO VALLEY ZONING CODE REVISED, SECTION 27.3 FOR PUBLIC ART DESIGN CRITERIA AND REQUIREMENTS

~~e~~. d. The Conceptual Design Review Board (CDRB) shall forward recommendations to the Town Council for conceptual design applications as provided in Subsection 4.a. The CDRB shall utilize the design principles in Section 22.9.d.5 and the Design Standards within the zoning code in evaluating conceptual design review applications.

~~d~~. e. In accordance with Section 21.5.b, the CDRB may approve, with or without conditions, sign criteria, conceptual model home architecture, and tier ii minor communications facilities.

...

**Chapter 27
General Development Standards**

...

Section 27.3 Public Artwork Provisions

...

Section 27.3.H Review Criteria

PUBLIC ART IS AN INTEGRAL ELEMENT OF PROJECT DESIGN AND CONTRIBUTES TO THE OVERALL QUALITY OF LIFE FOR ORO VALLEY RESIDENTS AND VISITORS. PUBLIC ART CONTRIBUTES TO A SENSE OF PLACE, DEFINES AND REINFORCES COMMUNITY IDENTITY, AND REFLECTS THE UNIQUE CHARACTER OF THE TOWN.

~~In reviewing applications for conceptual public artwork, the~~ The Conceptual Design Review Board shall consider, but is not limited to the criteria described below and the Design Principles and Design Standards established in Section 22.9 Addendum A of the Zoning Code. The Board shall determine ~~THE~~ acceptability of ASSESS individual applications based on CONFORMANCE WITH THE ADOPTED DESIGN STANDARDS – ADDENDUM A OF THE ZONING CODE AND ~~their interpretation and judgment of fulfillment of these criteria~~ THE FOLLOWING PRINCIPLES:

- ~~1. Location: Public artwork locations shall be integrated with the layout and hardscape components of the site. To the extent feasible, public artwork shall be placed in a highly visible and publicly accessible location.~~ PUBLIC ART SHOULD SERVE AS A DISTINCTIVE AND INTEGRAL ELEMENT IN THE OVERALL DESIGN OF A PROJECT OR DEVELOPMENT.
- ~~2. Materials and Safety: Proposed artwork shall be designed to prevent hazards to the public. Durability and safety of materials shall be considered including potential areas of excessive wear or damage, which shall be mitigated.~~ PUBLIC ART SHOULD RELATE TO THE CONTEXT AND CHARACTER OF THE PROJECT. WHERE APPROPRIATE, PUBLIC ART MAY EMPLOY THEMES ASSOCIATED WITH ACTIVITIES WITHIN THE DEVELOPMENT.
- ~~3. Obstructions: Potential future obstructions, including landscape materials at maturity or future construction, shall be considered when locating public art.~~ PUBLIC ART SHOULD RELATE TO THE HISTORICAL, CULTURAL OR NATURAL CONTEXT OF THE PROJECT AREA, THE NEIGHBORHOOD OR THE TOWN.
- ~~4. Viewing Area: Locations for artwork should include nearby accessible seating, when appropriate, from which the artwork can be easily viewed.~~ PUBLIC ART SHALL NOT INCLUDE CORPORATE ADVERTISING ELEMENTS OF A BUSINESS INCLUDING COLORS, GRAPHICS, LOGOS OR OTHER REPRESENTATIONS OF CORPORATE IDENTITY.
5. PUBLIC ART SHALL BE DESIGNED TO PREVENT HAZARDS TO THE PUBLIC. DURABILITY AND SAFETY OF MATERIALS SHALL BE CONSIDERED INCLUDING POTENTIAL AREAS OF EXCESSIVE WEAR OR DAMAGE, WHICH SHALL BE MITIGATED.
6. POTENTIAL OBSTRUCTIONS, INCLUDING LANDSCAPE MATERIALS AT MATURITY OR FUTURE CONSTRUCTION, SHALL BE CONSIDERED WHEN LOCATING PUBLIC ART.
7. PUBLIC ART SHALL BE ORIGINAL AND NOT DUPLICATE EXISTING ARTWORK IN THE TOWN AND SHALL CONFORM TO COMMUNITY STANDARDS.

...

**MINUTES
ORO VALLEY PLANNING AND ZONING COMMISSION
REGULAR SESSION
July 5, 2011
ORO VALLEY COUNCIL CHAMBERS
11000 N. LA CAÑADA DRIVE**

CALL TO ORDER AT OR AFTER 6:00 P.M.

Chairman Swope called the meeting to order at 6:00 p.m.

ROLL CALL

PRESENT: Robert Swope, Chairman
Alan Caine, Commissioner
Robert La Master, Commissioner
Robin Large, Commissioner

EXCUSED: Don Cox, Vice Chair
John Buette, Commissioner
Mark Napier, Commissioner

ALSO PRESENT: Councilmember Joe Hornat

PLEDGE OF ALLEGIANCE

Chairman Swope led the audience in the Pledge of Allegiance.

CALL TO THE AUDIENCE (Non Agenda Items Only)

Opened and closed without comment.

COUNCIL LIAISON COMMENTS

Councilmember Joe Hornat had no announcements to report.

1. [Public Hearing: Zoning code Amendment to Section 22.9.D.5.C of the Oro Valley Zoning Code Revised to amend and add Conceptual Art Design Principles OV711-007.](#)

Chad Daines, OV Principal Planner, presented the following:

- Background
- Existing Art Principles
- New Art Preamble
- New Art Principles
- Recommendation

Chairman Swope opened the Public Hearing.

Bill Adler, OV resident, said the Art Review Commission tried to debate the quality of art in the past and needed to confine their deliberations to the technique of art and whether it was professional. Mr. Adler commented that adding quality to determinations like historic, cultural

and character are judgment calls and suspects the Conceptual Design Review Board (CDRB) will fall into the same temptation in debating these items. Mr. Adler said we make it complicated by adding subjective principles and he does not believe they are principles, but ideas that are subject to interpretation. We need to encourage the board to bind itself to the artistic technique and determine if that principle is met.

Gil Alexander, OV resident and member of the new CDRB, said the guidelines are stated well and the code requires a professional artist. They are good guidelines and he believes the new Conceptual Design Review Board can follow them.

Chairman Swope closed the Public Hearing.

MOTION: A motion was made by Commissioner La Master and seconded by Commissioner Caine to recommend that Town Council approve amendment to Sections 27.3 and 22.9.D.5.C pertaining to conceptual art design principles in the Oro Valley Zoning Code Revised as shown in attachment 1.

Commissioner La Master commented that the second principle does not require the art to be historical and cultural, but encourages it. Commissioner Caine said the additional principles are heading in the right direction to give the art some context. Commissioner Large agreed with the comments and is supportive of the amendment. Chairman Swope said art is subjective and these are good guiding principles.

MOTION carried, 4-0.

2. [Planning Division Manager Update](#)

Mr. Daines gave the following update:

- New CDRB has been appointed and currently going through a training process
- Planning Division items for the Town Council meeting on July 6, 2011:
 - *Design Standards
 - *General Plan Amendment
 - *Rancho Vistoso Planned Area Development (PAD) Sign Exemption
 - *Big Horn Commerce Development Plan Extension
 - *Taco Bell Development Plan
 - *Vistoso Loop Architecture
 - *QuikTrip Development Plan

3. [Future Agenda Items](#)

No future agenda items were stated.

[ADJOURNMENT](#)

MOTION: A motion was made by Commissioner La Master and seconded by Commissioner Large to adjourn the meeting at 6:18 p.m.

MOTION carried, 4-0.



Town Council Regular Session

Item # 4.

Meeting Date: 10/05/2011

Requested by: Paul Keesler

Submitted By:

Paul Keesler, Development
Infrastructure Services

Department: Development Infrastructure Services

Information

SUBJECT:

DISCUSSION AND POSSIBLE ACTION REGARDING THE PLACEMENT OF A-FRAME SIGNS IN THE PUBLIC RIGHT-OF-WAY

RECOMMENDATION:

Staff recommends minimizing driver distractions in the public right-of-way through control and management of signs placed along Town streets. In order to allow some private A-frame signage in the public right-of-way, additional language should be incorporated into the temporarily approved criteria for the placement of A-frame signs.

EXECUTIVE SUMMARY:

On September 21, 2011, Council provided direction to Town staff to temporarily allow the use and placement of A-frame style signs on private property. Town Council also directed staff to evaluate and make recommendations regarding the placement of A-frame signs in the public right-of-way (ROW).

Staff evaluation produced the following recommendations:

1. The proliferation of signage in the public ROW can create additional driver distraction. This distraction directly correlates to diminished driver safety while operating a moving vehicle.
2. Any signage in the public ROW must be vehicular in scale (recognizable and readable at a glance while the vehicle is moving). Although A-frame signage is typically created at a pedestrian scale (readable for a passerby at walking speed) the copy, language and/or graphics must be modified in order to meet vehicular scale safety concerns.
3. A-frame signs in the public ROW must be located in a manner to minimize both driver distraction and becoming a roadside hazard.

Based on the above, additional language should be incorporated into the temporarily approved guidelines in order to allow some private A-frame signage in the public right-of-way.

BACKGROUND OR DETAILED INFORMATION:

The possible placement of A-frame style signage in the public ROW was evaluated using standard engineering principles and practices to create criteria that maintains the highest level of safety by minimizing driver distraction.

Per the Town of Oro Valley Subdivision Street Standards, all road side signage shall be in conformance with the "Manual on Uniform Traffic Control Devices" (MUTCD) by the US Department of Transportation, Federal Highways Administration. The MUTCD offers guidance with respect to signage placement criteria and copy text height. Based on the MUTCD, the Code should be modified to incorporate the following language.

1. Text Height and Type

- a. Text shall be simple Arial or other block style lettering and shall require review and approval by the Town Engineer for style and copy.
- b. For streets with a posted speed of 45mph and greater, text height shall be 6" minimum. If there is a combination of both upper and lower case letters, then upper case shall be 6" minimum and lower case shall be 4.5" minimum.
- c. For streets with a posted speed of less than 45mph, text height may be reduced to 4.5" minimum. If there is a combination of both upper and lower case letters, then upper case shall be 4.5" minimum and lower case shall be 3.5" minimum.

2. Minimum Location and Spacing Requirements

- a. A-frame signs shall not be placed where adequate spacing cannot be provided for higher priority traffic control devices. A-frame signs shall not interfere with or mimic any traffic control device or sign.
- b. Minimum spacing of signs shall be between 100 to 350 feet depending on the posted speed of the associated street. Minimum sign placement spacing shall be determined by the Town Engineer on a case by case basis and shall reflect street conditions for optimum safety.

A cluster option may be used when adequate street frontage is not available upon the approval of the Town Engineer.

3. Street Setbacks and Placement Criteria

- a. No sign shall be placed within a median, in any area that may cause or create a traffic hazard, on a sidewalk, multi-use path or pedestrian access ramp, obscure any sight distances and must maintain the required "Clear Zone" as approved by the Town Engineer.
- b. For streets with a posted speed of greater than 25mph:
 - i. Signs shall be placed a minimum of ten (10) feet from the paved surface of the roadway.
 - ii. For locations that have sidewalk or multi-use path along the street, the sign shall be placed no closer to the street than the far edge of said walk/path, unless the ten (10) foot setback from pavement can be provided.
- c. For streets with a posted speed of 25mph or less:
 - i. Signs shall be placed a minimum of five (5) feet from the paved surface of the roadway.
 - ii. For locations that have sidewalk or multi-use path along the street, the sign shall be placed no closer to the street than the far edge of said walk/path, unless the five (5) foot setback from pavement can be provided.

FISCAL IMPACT:

N/A

SUGGESTED MOTION:

I MOVE to (adopt or adopt with conditions) the additional criteria contained herein, directing Town staff to allow the placement of A-frame signs in the public right-of-way

or

I MOVE to make no changes to the current restrictions on the placement of A-frame signs in the public right-of-way.



Town Council Regular Session

Item # 5.

Meeting Date: 10/05/2011

Submitted By: Tracey Gransie, Town Clerk's Office

Department: Town Clerk's Office

Information

SUBJECT:

AMENDMENT OF ORO VALLEY TOWN CENTRE AT ROONEY RANCH PLANNED AREA DEVELOPMENT

RECOMMENDATION:

EXECUTIVE SUMMARY:

BACKGROUND OR DETAILED INFORMATION:

FISCAL IMPACT:

SUGGESTED MOTION:

Attachments

attachment



Town Council Regular Session

Item # 5. a.

Meeting Date: 10/05/2011

Requested by: David Williams

Submitted By:

Mike Standish, Town Clerk's Office

Department: Development Infrastructure Services

Information

SUBJECT:

RESOLUTION NO. (R)11-66, DECLARING AS A PUBLIC RECORD THAT CERTAIN DOCUMENT ENTITLED ORO VALLEY TOWN CENTRE AT ROONEY RANCH PLANNED AREA DEVELOPMENT, ATTACHED HERETO AS EXHIBIT "A" AND FILED WITH THE TOWN CLERK

RECOMMENDATION:

Staff recommends approval.

EXECUTIVE SUMMARY:

This is a procedural item to declare the Design Standards document a matter of public record. The draft ordinance has been posted on-line and made available in the Town Clerk's office. The final version, as approved by Town Council, will be made available in the same manner.

BACKGROUND OR DETAILED INFORMATION:

This proposed resolution will become a public record upon adoption by Town Council. The Town will save on advertising costs by publishing the ordinance in this manner. If the ordinance is adopted by Town Council, the Town will forgo publishing the entire document (Attachment 2- Exhibit A) in print form. The adopted version will be published on the Town website. The current draft version of the ordinance has been posted on-line on the Town website and a printed version is available for public inspection at the Town Clerk's office.

FISCAL IMPACT:

The Town will save on advertising costs by meeting ordinance publishing requirements by reference, without including the pages of amendments.

SUGGESTED MOTION:

I move to [adopt, adopt with changes, or deny] Resolution No. (R)11-66, declaring as a public record Oro Valley Town Centre at Rooney Ranch Planned Area Development, attached hereto as Exhibit "A" and filed with the Town Clerk.

Attachments

Attachment #1 - Resolution (R)11-66

Attachment #2 - Exhibit A

RESOLUTION NO. (R)11-66

A RESOLUTION OF THE MAYOR AND COUNCIL OF THE TOWN OF ORO VALLEY, ARIZONA, DECLARING AS A PUBLIC RECORD THAT CERTAIN DOCUMENT ENTITLED ORO VALLEY TOWN CENTRE AT ROONEY RANCH PLANNED AREA DEVELOPMENT, ATTACHED HERETO AS EXHIBIT "A" AND FILED WITH THE TOWN CLERK

BE IT RESOLVED BY THE MAYOR AND COUNCIL OF THE TOWN OF ORO VALLEY, ARIZONA, that certain document entitled "Oro Valley Town Centre at Rooney Ranch Planned Area Development", three copies of which are on file in the Office of the Town Clerk, is hereby declared to be a public record, and said copies are ordered to remain on file with the Town Clerk.

PASSED AND ADOPTED by the Mayor and Town Council of the Town of Oro Valley, Arizona this 5th day of October, 2011.

TOWN OF ORO VALLEY

Dr. Satish I. Hiremath, Mayor

ATTEST:

APPROVED AS TO FORM:

Julie K. Bower, Town Clerk

Tobin Rosen, Town Attorney

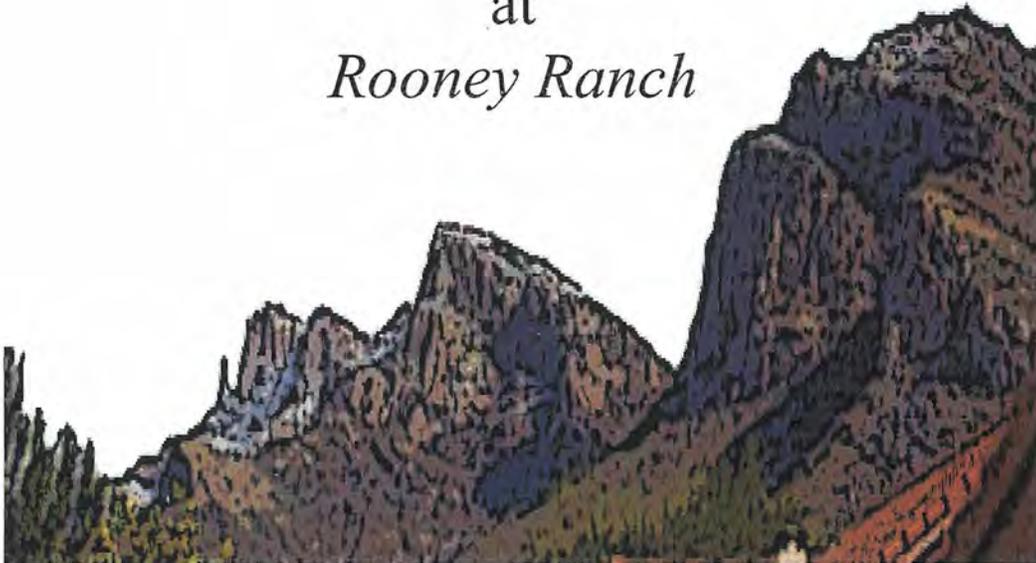
Date: _____

Date: _____

EXHIBIT “A”

Oro Valley Town Centre

at
Rooney Ranch



Planned Area Development

~~October 2004~~ Revised ~~March~~ ~~May~~ ~~July~~, 2011

~~Document and Project Name Changed February 15, 2002~~

~~Revised June 6, 2002~~

Previous Final Version as Approved by Town Council on October 16, 2002

Ordinance No. (O) 02-33

OV9-01-05

Property Owner:

Cañada del Oro Partners

~~401 South Boston Avenue, Suite 2400~~

~~Tulsa, Oklahoma 74103-4010~~ 1707 E. Highland, Suite 100

Phoenix, AZ 85016

Prepared By:

The WLB Group, Inc. Kitchell Development Company

~~4444 East Broadway Boulevard~~

~~Tucson, Arizona 85711-3541~~

~~WLB No. 181057-A-007-0104~~ 1707 E. Highland #100

Phoenix, AZ 85016

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Oro Valley Town Centre at *Rooney Ranch*

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Appendix C: Tentative Development Plan (~~Reduction, 1124~~ x 1736")
[Appendix C-1: Illustrative Site Plans for Areas 1 & 2](#)
[Appendix C-2: Illustrative Open Space details](#)
Appendix D: Letter of Map Amendment
[Appendix E: Cactus Ferruginous Pygmy-Owl Survey dated 10-26-10](#)
[Appendix F: Previously Approved \(10-16-2002\) Tentative Development Plan \(Superseded\)](#)

SECTION 1 - ANALYSIS

Oro Valley Town Centre at *Rooney Ranch*

SECTION I

ANALYSIS

INTRODUCTION

This document has been prepared to meet the rezoning requirements of the Town of Oro Valley. It includes an inventory and analysis of the approximately 141-acre site presently known as Rooney Ranch, Parcels H, I & J, and makes a zoning and land use proposal. A large portion of the ranch was annexed into Oro Valley from unincorporated Pima County and rezoned from SR to the Oro Valley equivalent R1-144. On February 8, 1989, the Town Council approved the rezoning of the majority of the property from R1-144 to PAD, subject to the conditions of OV9-89-6. This PAD proposes rezoning the remaining area, which was referred to as Parcels H & I in the earlier rezoning for the development of an urban village or Town Center at this key intersection in the geographical center of Oro Valley.

Considerable engineering and other alterations have been made to this site over the years because of the increasing pressure to accommodate traffic and drainage, making it all the more prime and appropriate for urban development.

This ~~family owned~~ land is held in a partnership called Cañada del Oro Partners with Kitchell Development Company, ~~E. Blake Hastings of Tulsa, Oklahoma,~~ as manager and E. Blake Hastings of Tulsa, Oklahoma, who represents the Rooney Family interests. Attorneys representing the partnership ~~is include Frank S. Bangs, Jr. and Keri Lazarus~~ Silvyn of Lewis and Roca LLP in Tucson, Arizona. The Planning and Engineering firm retained as a consultant to the project is The WLB Group, Inc., of Tucson with ~~Charles W. Hulsey, AICP,~~ as ~~Project Manager,~~ and Robert G. Longaker, III, ASLA as Project Manager.

A. EXISTING CONDITIONS

1. Site Location (Exhibits A-1 and A-2)

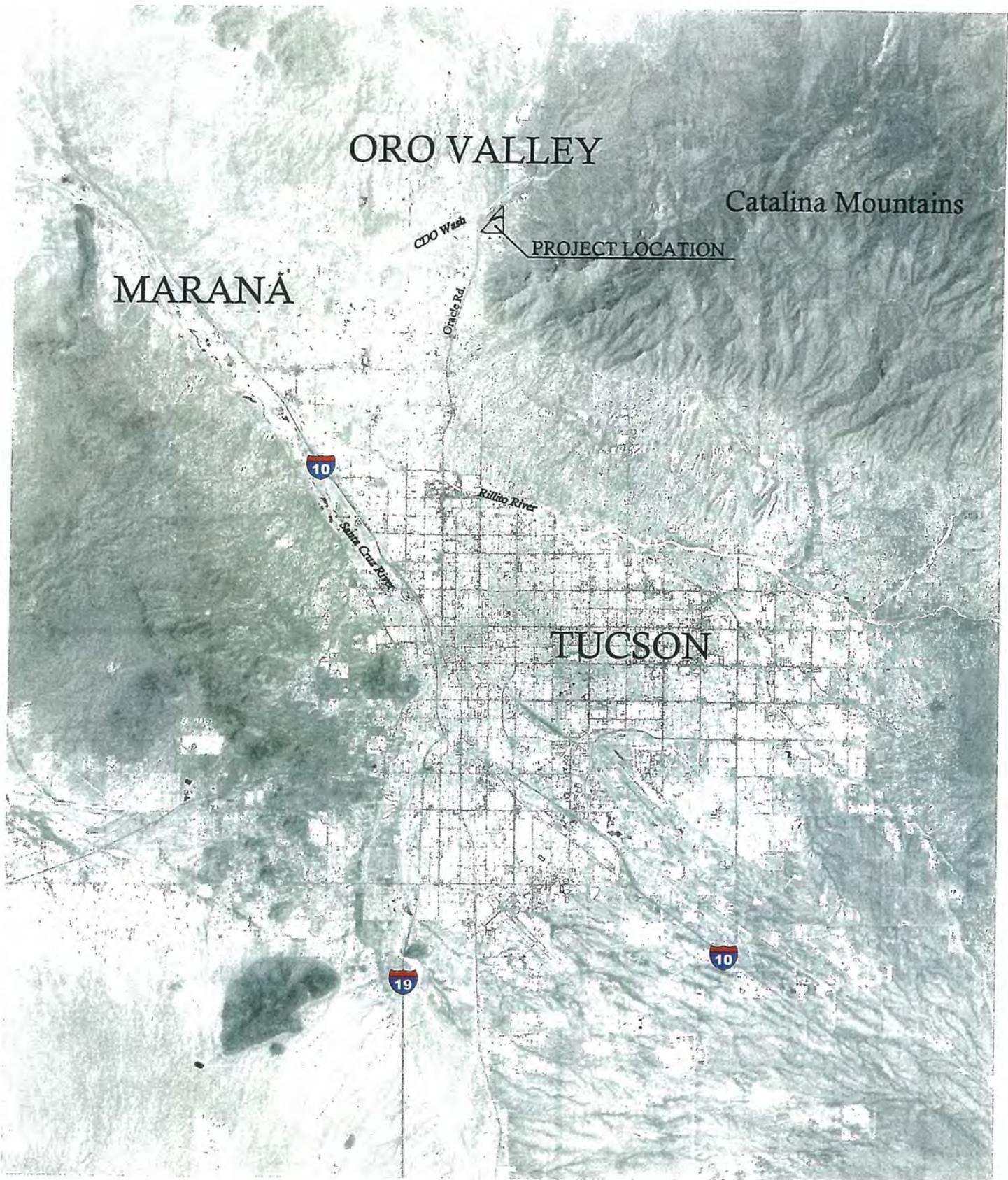
The subject property is what remains of a more than 5,000-acre working ranch owned by the Rooney family since 1946. El Conquistador, Honeywell, The Foothills Business Park, La Reserve, the Oro Valley Country Club, the Target Center, Fry's and Home Depot fell under this single ranch ownership. In the metropolitan perspective, the site is situated eight miles north of Tucson on the Tucson/Florence Highway also known as Oracle Road and as Arizona State Highway 77. Locally, it straddles the intersection of North **First1st** Avenue and Oracle Road. The western boundary is Oracle Road, the south boundary is generally the northern edge of the El Conquistador Resort, and the east line abuts the La Reserve project south of Oracle Road. Over the years, as urban development surrounded the ranch and infrastructure requirements such as streets and drainageways were needed, the Rooney family dedicated to Pima County and the Town of Oro Valley considerable acreage for:

- a. The Canada del Oro embankment and drainageway project.
- b. The widening of Oracle Road (State Highway 77).
- c. The widening and realignment of North **First1st** Avenue and the bridges (including adequate land for a parallel set of lanes to be built later).
- d. The widening and extension of Lambert Lane.
- e. Drainage channels east and west of North **First1st** Avenue north of Lambert Lane.
- f. The Foothills Channel Project.
- g. The Rooney Wash Project.
- h. The new interceptor sewer project north of Canada del Oro.
- i. The easement for the extension of **First1st** Avenue from Oracle Road to La Reserve Drive.
- j. Donated land to the Town of Oro Valley located at the southwest-northwest corner of **First1st** Avenue and Lambert Lane for a water pump station. (Parcel # 220090170 is approximately 0.10 acre.)

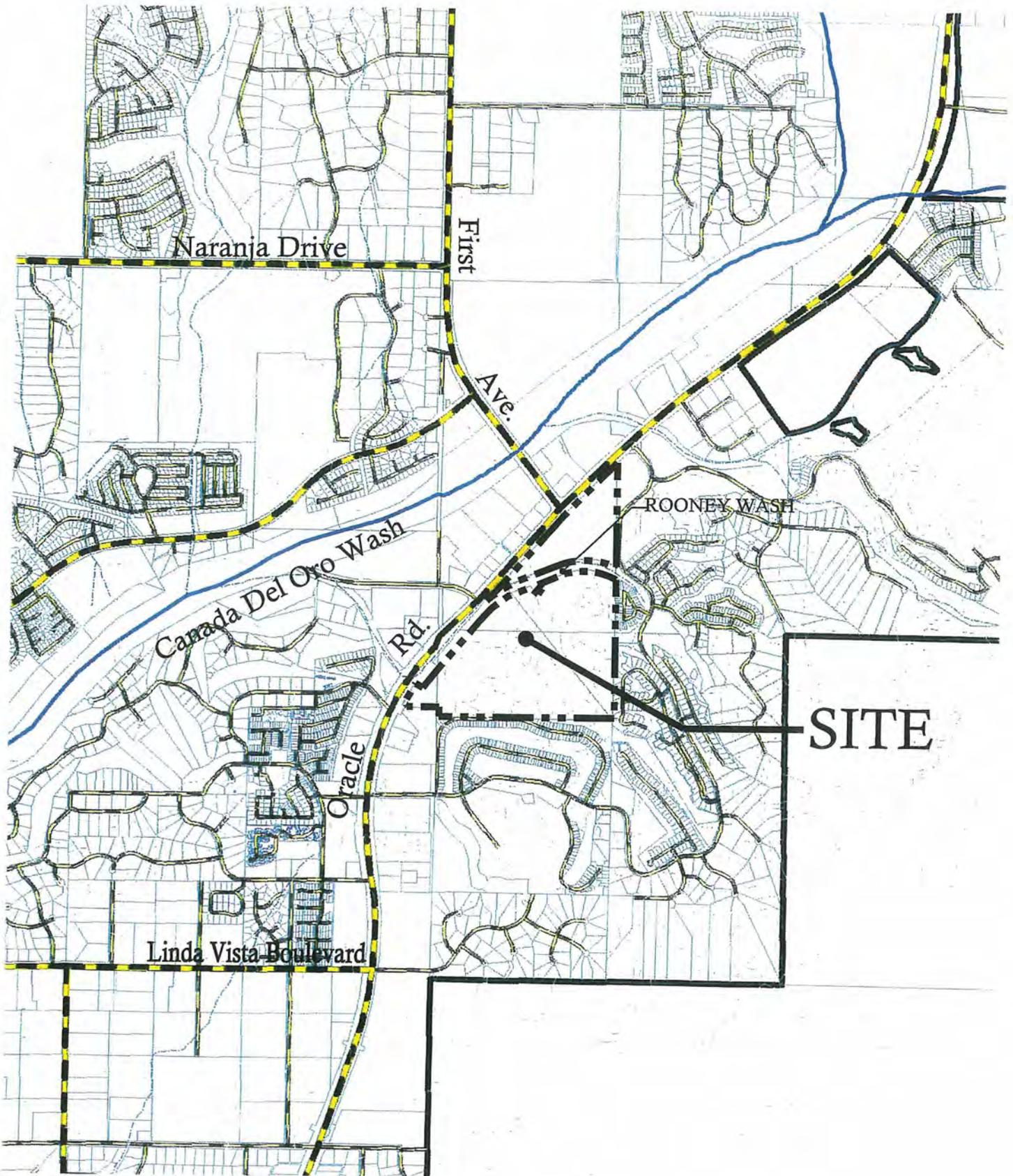
An oblique aerial photograph is included to show the site relative to surrounding development in the Town of Oro Valley as well as Pima County (Exhibit A-3, Aerial Photograph).

2. Onsite Land Use

The site is currently vacant land, and has rapidly become surrounded by commercial business activity and residential development and subsequent improvements in infrastructure.



**EXHIBIT A-1:
REGIONAL LOCATION MAP**



**EXHIBIT A-2:
VICINITY MAP**

1" = 2000'



3. Surrounding Land Uses

- a. South of the property - Land is developed as the "casita" area of the El Conquistador Resort along the eastern three quarters of the south property line. The western one-quarter is partially developed as San Jose Plaza.
- b. West of the property - Directly across Oracle Road, the entire length is developed as a regional commercial center featuring major tenants, including Target, Office Max, PetSmart, Fry's, Albertson's, and Home Depot.
- c. North of the property - The northern edge abuts an assisted living apartment complex.
- d. East of the property - The eastern boundary abuts the commercial, then multifamily, then single family tracts of La Reserve along the eastern boundary.

4. Surrounding Zoning (Exhibit A-4)

- a. South of the property - Beginning with the southeast corner and running west approximately 2,640 feet is El Conquistador Resort, which is zoned R-4R in Oro Valley.
- b. West of the property - This property is zoned Rooney Ranch Oro Valley Center PAD, Commercial.
- c. North of the property - Lands north of the property are currently zoned TR.
- d. East of the property - The property south of Oracle Road and north of the southeast corner of the site is in the Town of Oro Valley and is within the La Reserve PAD. The northern forty-acre tract is zoned for commercial/retail and multi-family. The middle forty acres is generally for medium density multifamily, while the southern-most forty acres is for single-family detached housing.

5. Onsite Zoning

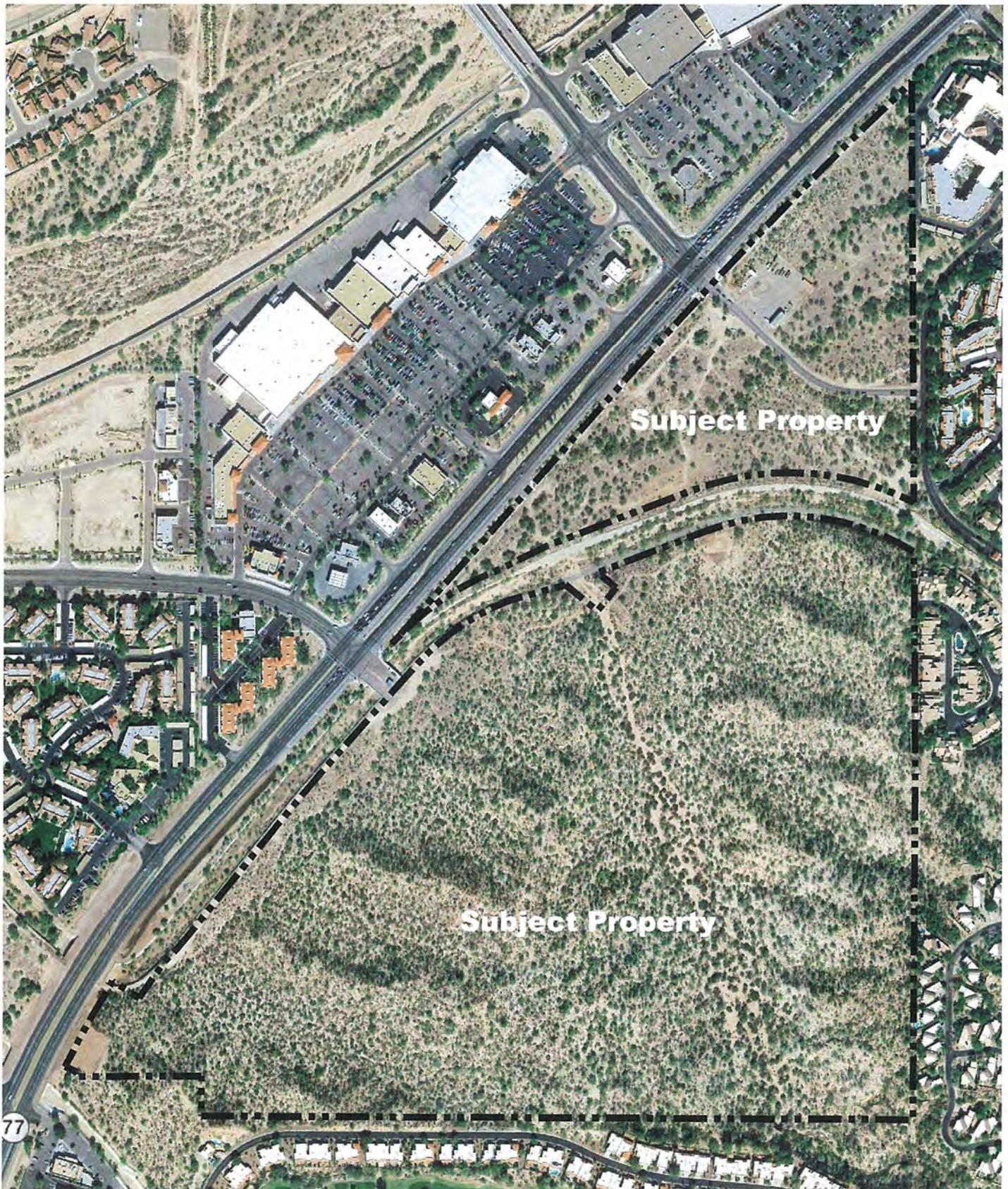
The subject property is currently zoned ~~R1-144 in Oro Valley~~ Oro Valley Town Centre Planned Area Development.

6. Acreage

The total acreage being included in this PAD is ~~141.4~~ 2 acres.

7. Building Heights on Adjacent Properties

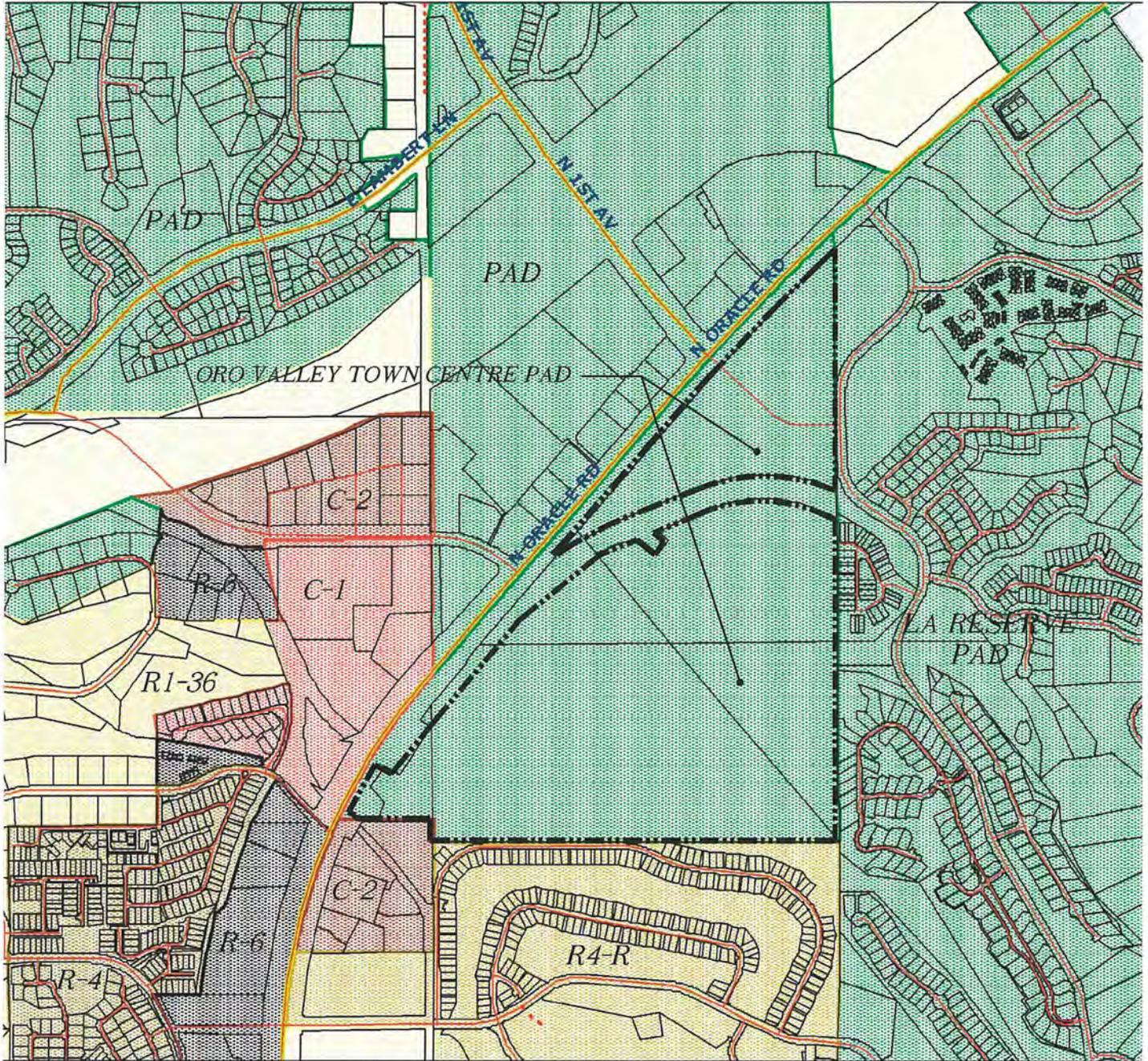
Existing building heights in the immediate area consist primarily of single-family homes at 24 feet, apartments in La Reserve at 35 feet. The assisted living development to the north is three stories and approximately 35 feet in height. The regional commercial center to the west has height limitations of 33 feet.



2009 AERIAL PHOTOGRAPHY

EXHIBIT A-3: AERIAL PHOTOGRAPH





**EXHIBIT A-4:
EXISTING ZONING**

1" = 1000'



B. TOPOGRAPHY

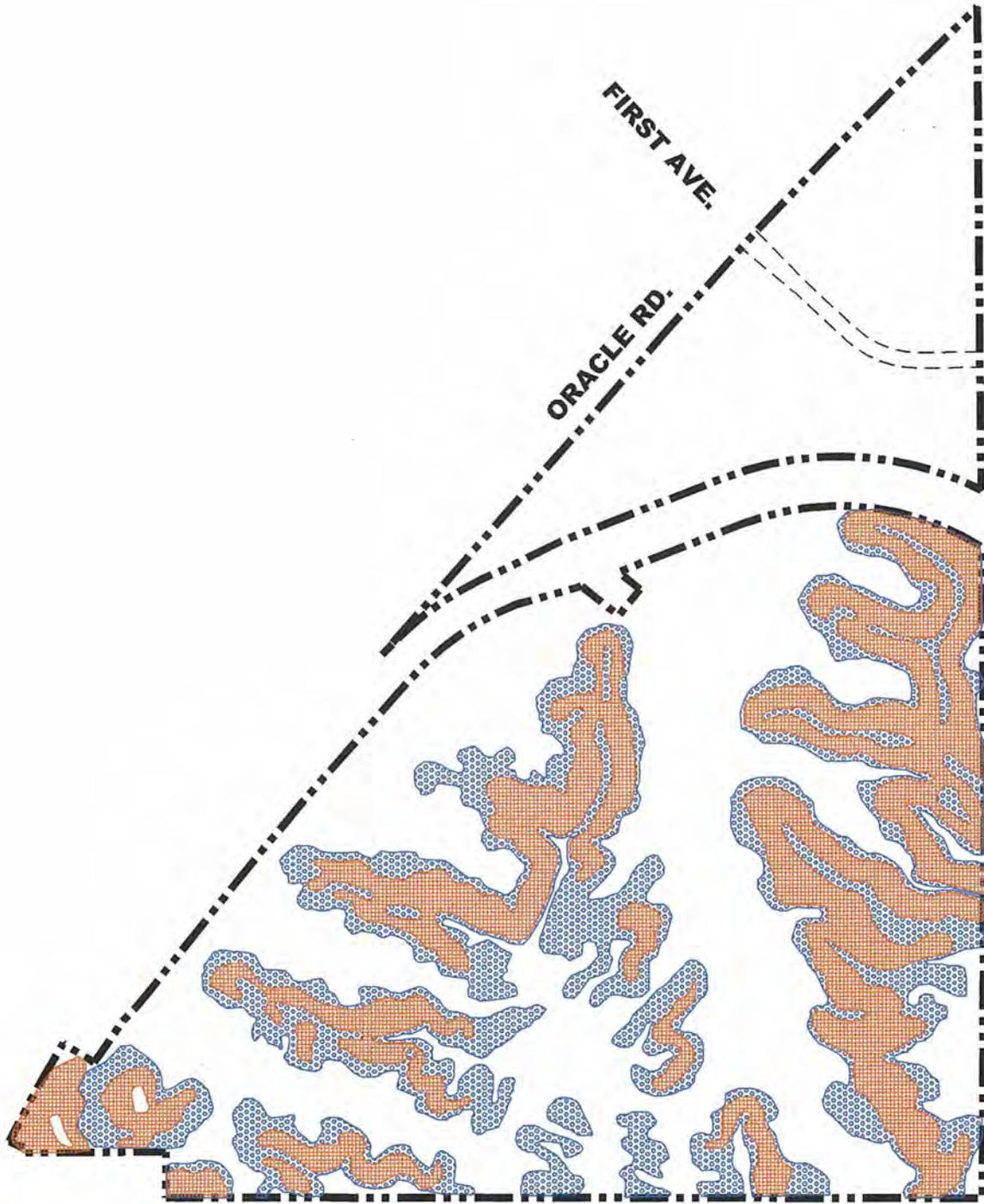
1. Topographic Characteristics: South of Oracle Road and its accompanying side wash (Rooney Wash) lie the foothills, which are the eroded or incised alluvial fans of the Santa Catalina Mountains, and more specifically the northwestern face of Pusch Ridge. They are similar in makeup and character to the foothills in the Tortolita fan to the north with the exception that they form a tilting plane sloping downward to the northwest offering excellent views back to the Santa Catalina Mountains. The hills consist of sand and gravel aggregate with no stone outcroppings. The gravel tends to be slightly larger stones due to the proximity of the mountains from which they eroded. The slope areas, 0 to 15 percent, 15 to 25 percent, and in excess of 25 percent, are shown on Exhibit B-2, Slope Analysis.
2. Other Topographic Observations:
 - a. There are no significant restricted peaks or ridges on or immediately adjacent to the site.
 - b. There are no rock outcrops. This finding is concluded by:
 1. Aerial photographic study, which gives no indication of submerged ridge alignments.
 2. Observation of gravel pits, development excavations, and road cuts in all areas surrounding the site, including North ~~First~~1st Avenue, the Henry Zipf borrow pit, the Conquistador, and the La Reserve Project.
 3. Soil maps and texts, which generally indicate deep gravel soils and the general characteristics of ancient river washes and alluvial fans.
 4. Extensive site visits looking for evidence (ground truth).



NOTES:
CONTOUR INTERVAL = 1 FOOT
INDEX CONTOURS ARE EVERY 5TH CONTOUR

EXHIBIT B-1: SITE TOPOGRAPHY





**EXHIBIT B-2:
SLOPE ANALYSIS**

-  15-25% SLOPES
-  >25% SLOPES

1" = 500'

 4.28.2011
 WLB No. 181007 R011

C. HYDROLOGY

1. Offsite Drainage

Offsite storm water flow enters the site from the east and the southeast. Drainage conveyed through a residential development adjacent to Rooney Ranch enters the site from the east. Drainage from the southeast is conveyed from Pusch Peak to Rooney Ranch through natural topography as well as the Sheraton El Conquistador Pusch Ridge Golf Course.

2. Hydrology Results

Four soils groups have been identified at the site:

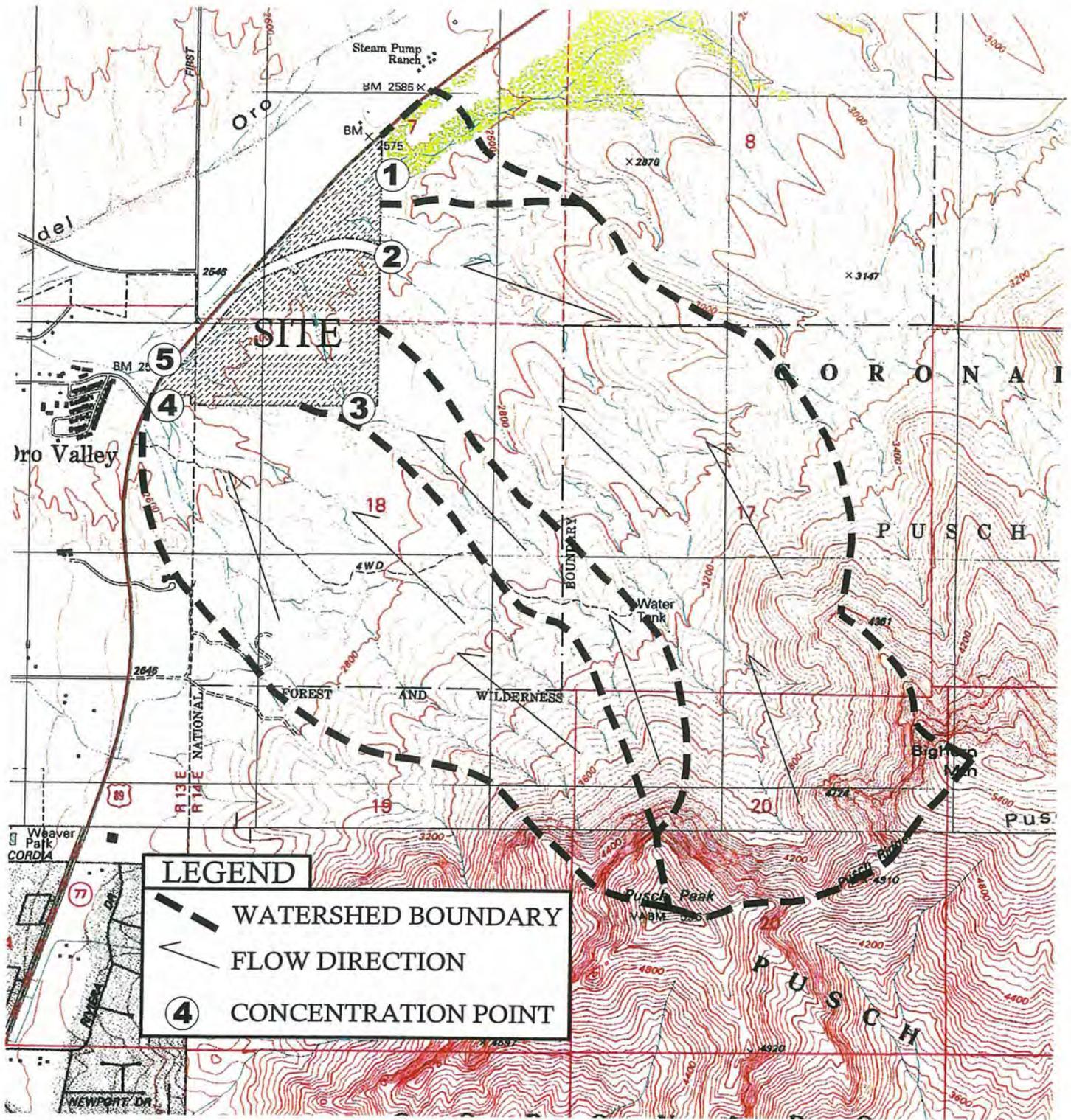
- Pinaleno-Nickel-Palos Verdes (28C), which consists of 80 percent soil type B and 20 percent Soil Type D.
- Arizo-Riverwash Complex (34), which consists of 100 percent Soil Type B.
- Pinaleno Very Cobbly Sandy Loam (28A), which consists of 100 percent Soil Type B.
- Oracle Romero Rock Outcrop Complex (31A), which consists of 100 percent Soil Type D.

Five watersheds have been defined at the site for pre-developed conditions. Watershed areas range from 55.5 to 1,842.5 acres, with corresponding 100-year peak discharges ranging from 379 to 10,619 cfs. The basin runoff factors used were 0.025 and 0.030; vegetative cover densities of 25, 30 and 40 percent were used to model natural and landscaped areas.

3. Table of 100-Year Peak Discharges

Concentration Point	Drainage Area (AC)	Q100 (cfs)
1	46.3	345
2	883.80	3,480
3	174.12	1,125
4	584.42	2,507
5	N/A	4,752

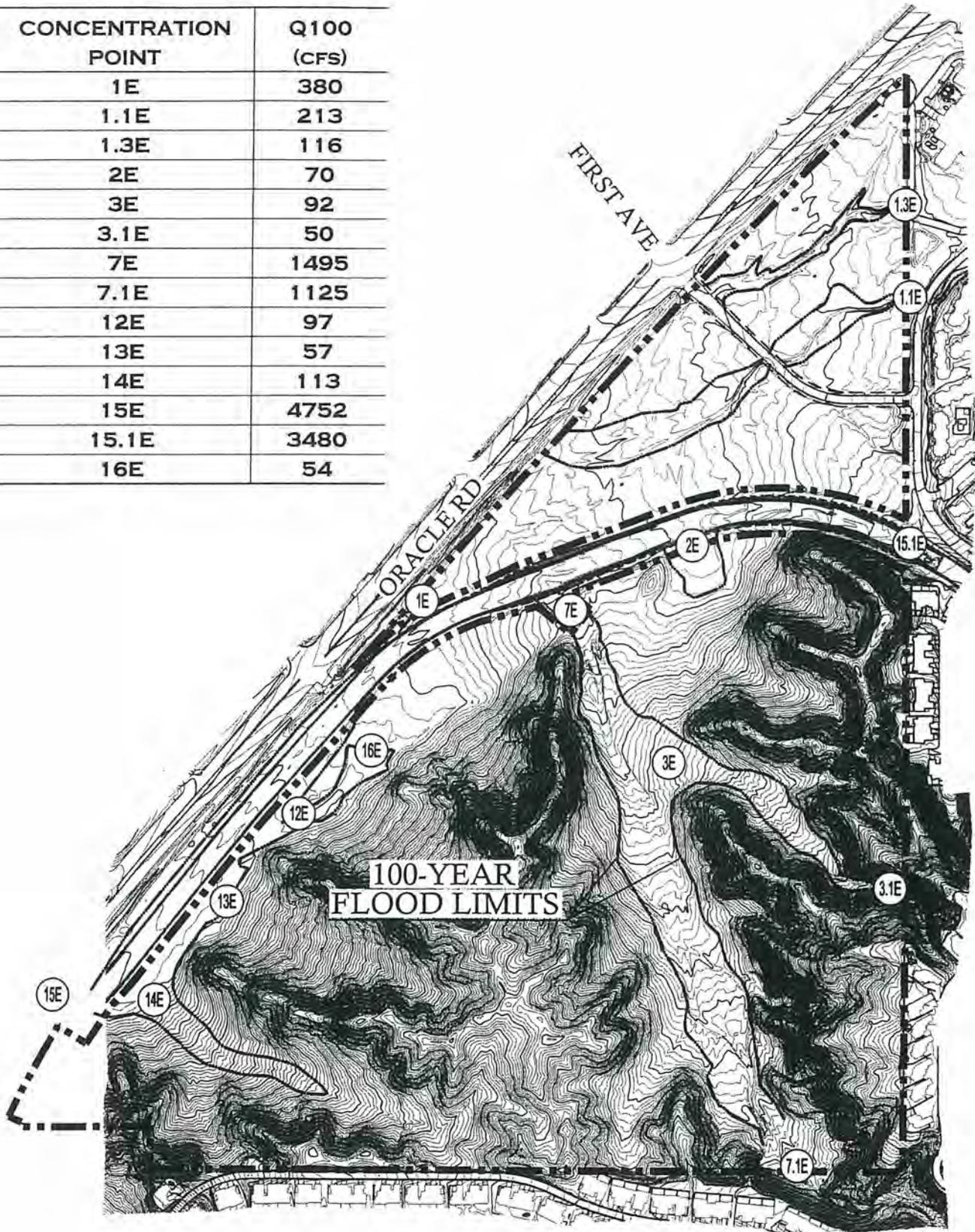
(Refer to the Preliminary Drainage Report (separate document) [has been prepared for this site and is available upon request for additional information.](#))



**EXHIBIT C-1:
OFFSITE WATERSHEDS**

CONCENTRATION POINT	DRAINAGE AREA (AC)	Q100 (CFS)
1	46.3	345
2	883.80	3480
3	174.12	1125
4	584.42	2507
5	N/A	4752

CONCENTRATION POINT	Q100 (CFS)
1E	380
1.1E	213
1.3E	116
2E	70
3E	92
3.1E	50
7E	1495
7.1E	1125
12E	97
13E	57
14E	113
15E	4752
15.1E	3480
16E	54



**EXHIBIT C-2:
100-YEAR FLOOD LIMITS FOR
FLOODPLAINS WITH FLOWS OF 50 CFS
OR GREATER**

1" = 500'



D. VEGETATION

1. Vegetative Region

According to the Soil Conservation Service (Map 7-02226), the site is located well within the Central Arizona Basin and Range area designation. The area is typically mountains and valleys with considerable alluvial deposition. The alluvial plains and fans are cut down further by intermittent streams and washes. It is a semi-arid desert and according to Brown (Biotic Communities, 1994, pp. 200-203), the typical vegetation of the Rooney Ranch would fall within the classification of the Arizona Upland Division of the Sonoran Desert.

2. General Plant Community on Site

Within the Arizona Upland Subdivision, the plant communities generally associated with the site are those commonly found along valley bottoms and washes as well as the very lowland edge of foothills and alluvial fans. The site has representation from three communities.

- a. Saguaro/Palo Verde (Upland Community): This is a mature plant community found near the base of mountains ranges in the foothill areas. As one moves downward and away from the range and foothills, saguaro and ocotillo occur less frequently. The Rooney Ranch is on the very outer margin of the Pusch Ridge foothills along the southern edge of the property near the La Reserve and El Conquistador tracts. The northern areas of the ranch are so distant from the Tortolita range and foothill influences in terms of plant communities that very little evidence of the Saguaro/Palo Verde Community group is evident. The community is most evident with 25 to 30 specimen saguaro cacti in the higher elevations in the extreme southeast corner of the ranch adjacent to La Reserve (See Exhibit D-1, Vegetative Communities Exhibit).

Primary Species: Foothills Palo Verde, Saguaro

Other Species: Whitethorn and Catclaw Acacias, Mesquite, Cholla Cactus, Barrel Cactus, perennial grasses and flowers, Bursage, Brittlebush, Pincushion Cactus, and Prickly Pear.

- b. Foothills Palo Verde/Cholla Cactus (Upland Community): This plant community is generally associated with the more common, well drained, uplands between the foothills and the river washes. It is similar to the foothills community but with less diversity. This plant group occurs in the hill areas south of Oracle Road below the Saguaro Cacti locations.

Primary Species: Foothills Palo Verde (very common), Whitethorn, Catclaw Acacias, and Cholla Cactus.

Other Species: Mesquite, Bursage, Creosote, Barrel Cactus, Brittlebush, Desert Hackberry, Crucifixion Thorn, Pincushion Cactus, and perennial grasses and flowers.

- c. Whitethorn/Catclaw Acacias (Desert Riparian Communities): This plant community is focused primarily in the flat alluvial plans of the valley floor.

Primary Species: Mesquite, Whitethorn and Catclaw Acacia, Desert Hackberry and Desert Broom.

Other Species: Blue Palo Verde, Desert Willow, Turpentine Bush, Creosote, and perennial grasses and flowers.

3. Cumulative Plant Inventory/List

Trees

Acacia constricta
Acacia smallii
Acacia greggii
Canotia holocantha
Cercidium microphyllum
Cercidium floridum
Chilopsis linearis
Prosopis veluntina
Eucalyptus

Whitethorn Acacia
Sweet Acacia
Catclaw Acacia
Crucifixion Thorn
Foothills Palo Verde
Blue Palo Verde
Desert Willow
Mesquite

Shrubs

Ericameria larcifolia
Asclepias subulata
Baccharis sarathroides
Celtis pallida
Encelia farinosa
Fouquieria splendens
Ambrosia deltoidea
Larrea tridentata
Sapindus saponaria.
Yucca elata

Turpentine Bush
Milkweed
Desert Broom
Desert Hackberry
Brittlebush
Ocotillo
Triangle-Leaf Bursage
Creosote Bush
Soapberry
Soaptree Yucca

Cactus

Carnegieia gigantea
Echinocereus fasciculatus
Ferocactus wislizenii
Opuntia arbuscula
Opuntia bigelovii
Opuntia fulgida
Opuntia leptocarpus
Opuntia phaeacantha Var.
Opuntia versicolor

Saguaro
Pincushion Cactus
Fish-Hook Barrel
Pencil Cholla
Teddy-Bear Cholla
Chain-Fruit Cholla
Desert Christmas Cactus
Discanta Prickly Pear
Staghorn Cholla

Ground Covers

Ericameria larcifolia
Baileya multiradiata

Turpentine Bush
Desert Marigold

4. Threatened or Endangered Species

a. There are no known federally listed threatened or endangered species on the site.

5. Vegetation Density

Aerial Photo interpretation (canopy cover) and ground truth (site examination) were used to grade the site in terms of tree and shrub cover density.

Low Density Coverage	0% - 25%
Medium Density Coverage	25% - 75%
High Density Coverage	75% - 100%

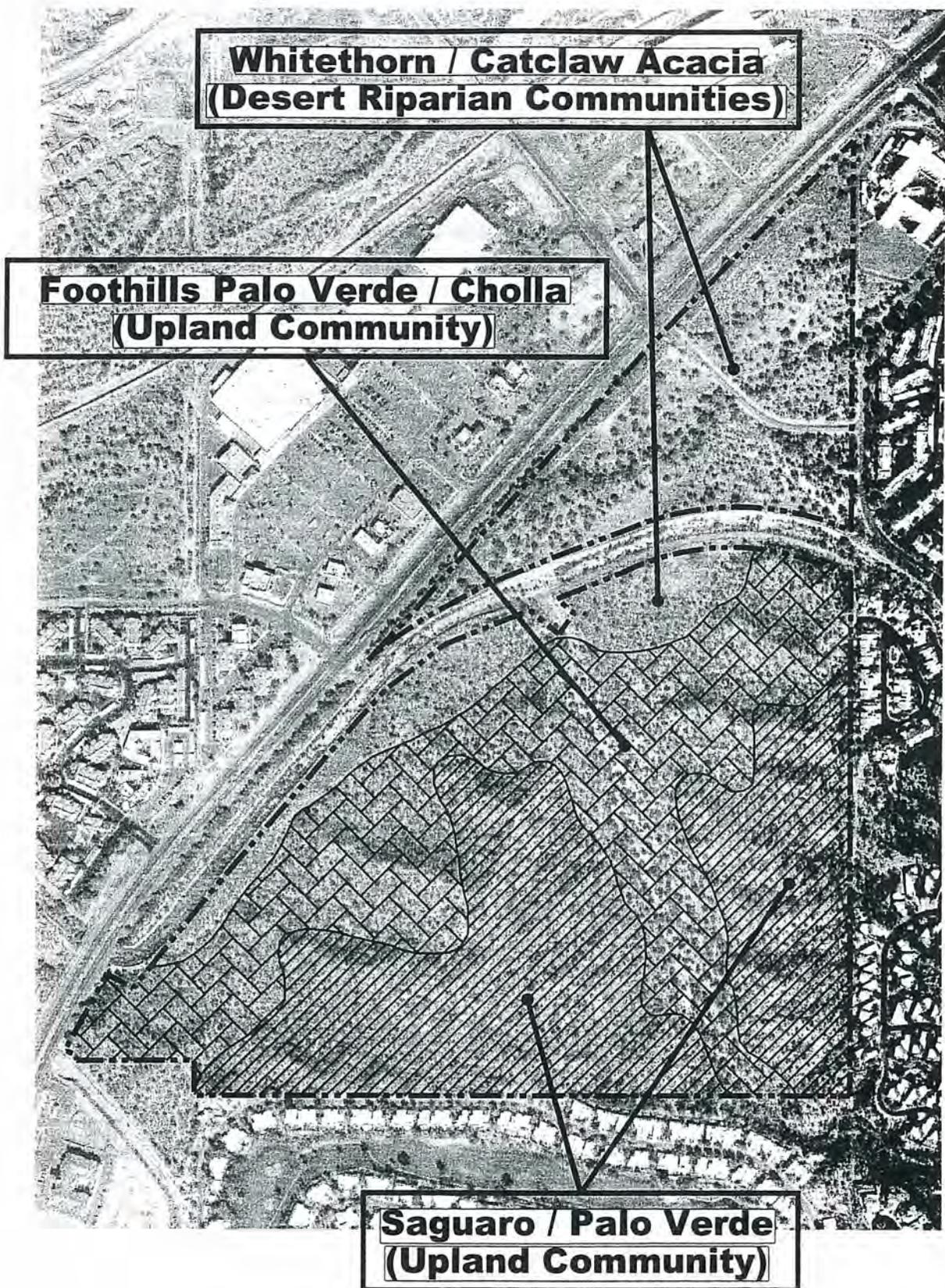
- a. Saguaro/Palo Verde Community: The foothills Palo Verdes range in canopy size from 7 to 15 feet with a few larger specimens of as much as 25 feet. The various Acacias in the upland area range between 7 and 12 feet. They are typically spaced over the hills with a medium density cover of approximately 35 percent to 45 percent.
- b. Foothills Palo Verde/Cholla Cactus Community: Since most of this community exists on the hills and slopes to the washes and riparian areas, the cover is of medium density with fairly large Palo Verdes typically of the 10 to 20 foot range. Acacias tend to be slightly larger and in the 10 to 15 foot range. As in the other upland community, the canopies appear to almost be mechanically spaced, causing a "stippled" look on the landscape. Cover is generally in the 35 percent to 45 percent range.
- c. Whitethorn/Catclaw Acacias (Desert Riparian): On the site, the riparian community is really a series of dense groves of Acacias (15 to 20 feet) and Blue Palo Verdes and Mesquites (20 to 25 feet) interspersed with open sand and gravel washes, which have little or no vegetation. Sixty to seventy percent of this community, which followed the immediate edges of the washes, were displaced by the stabilized embankments, drainage channel work, and bridge approaches.

6. Vegetative Characteristics and Usage

- a. Scenic Value: Typically, the riparian communities are comparatively rich, diverse, and give the wash areas an attractive verdant appearance. The value of the less dense upland vegetation serves less as a shading and screening material than it does preserving the "sense of place" that is the Arizona desert.
- b. Screening and Buffering: As it stands, the vegetation has limited screening and buffering value. In effect, it will likely need to be relocated and densified to serve such purposes. The site and its vegetation, however, provide an excellent nursery for plant material, which can be reworked around sensitive development.
- c. Soil Stabilization: Much of the wash and bank stabilization is artificial. However, there is ample evidence that the vegetation elsewhere protects the site from wind and water erosion.
- d. Uniqueness: As previously noted, the uniqueness lies in its presentation as a native desert environment apart from other regions of the country. The combination of vegetation and the two mountain ranges causes the Oro Valley site to be very unique even within the Tucson region. There are no unique or rare species of plants known to be on the site.

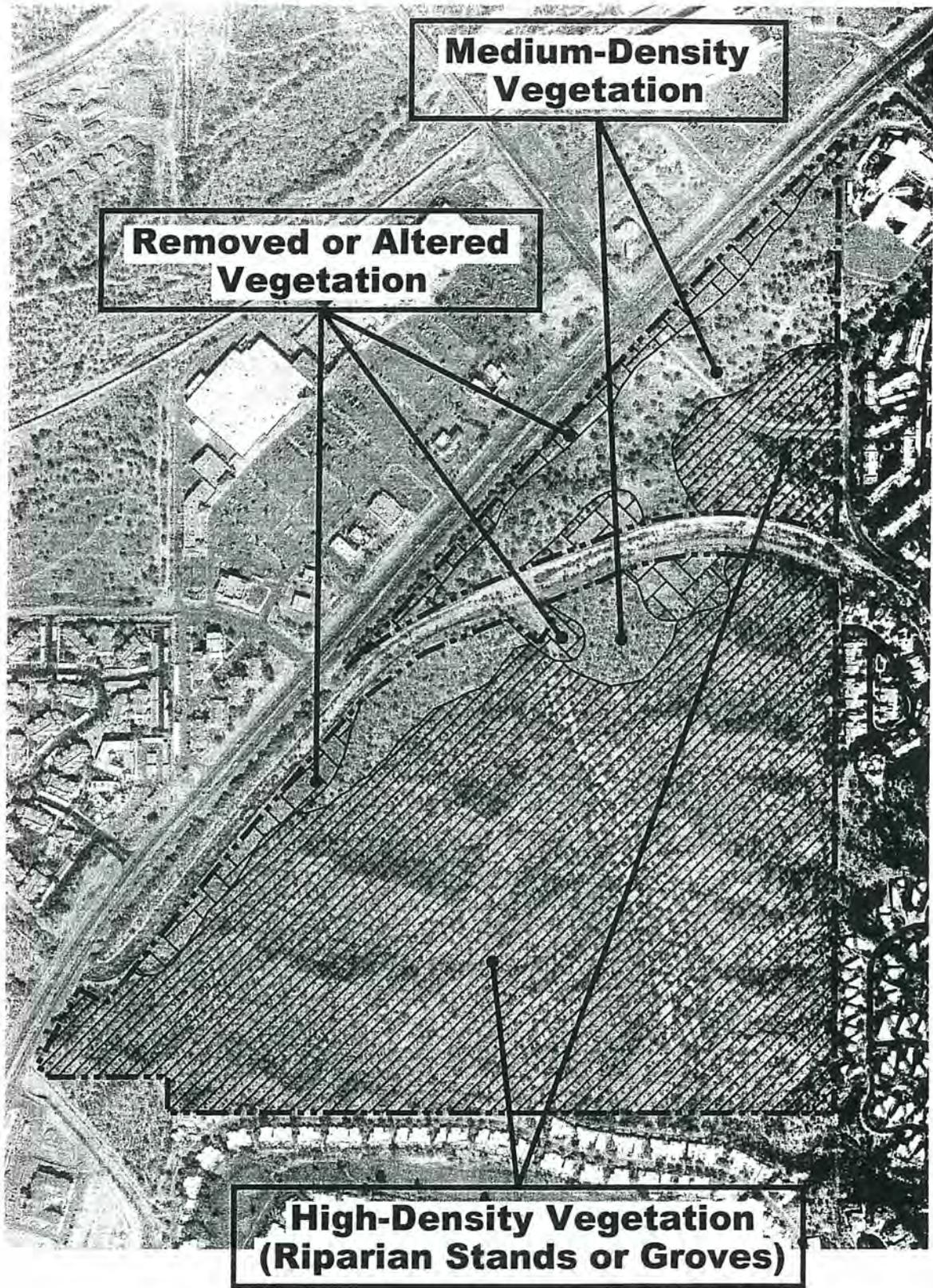
7. Significant Vegetation Survey

Exhibit D-3 maps the significant vegetation on site as determined by field reconnaissance and aerial photographs.



**EXHIBIT D-1:
VEGETATIVE COMMUNITIES**

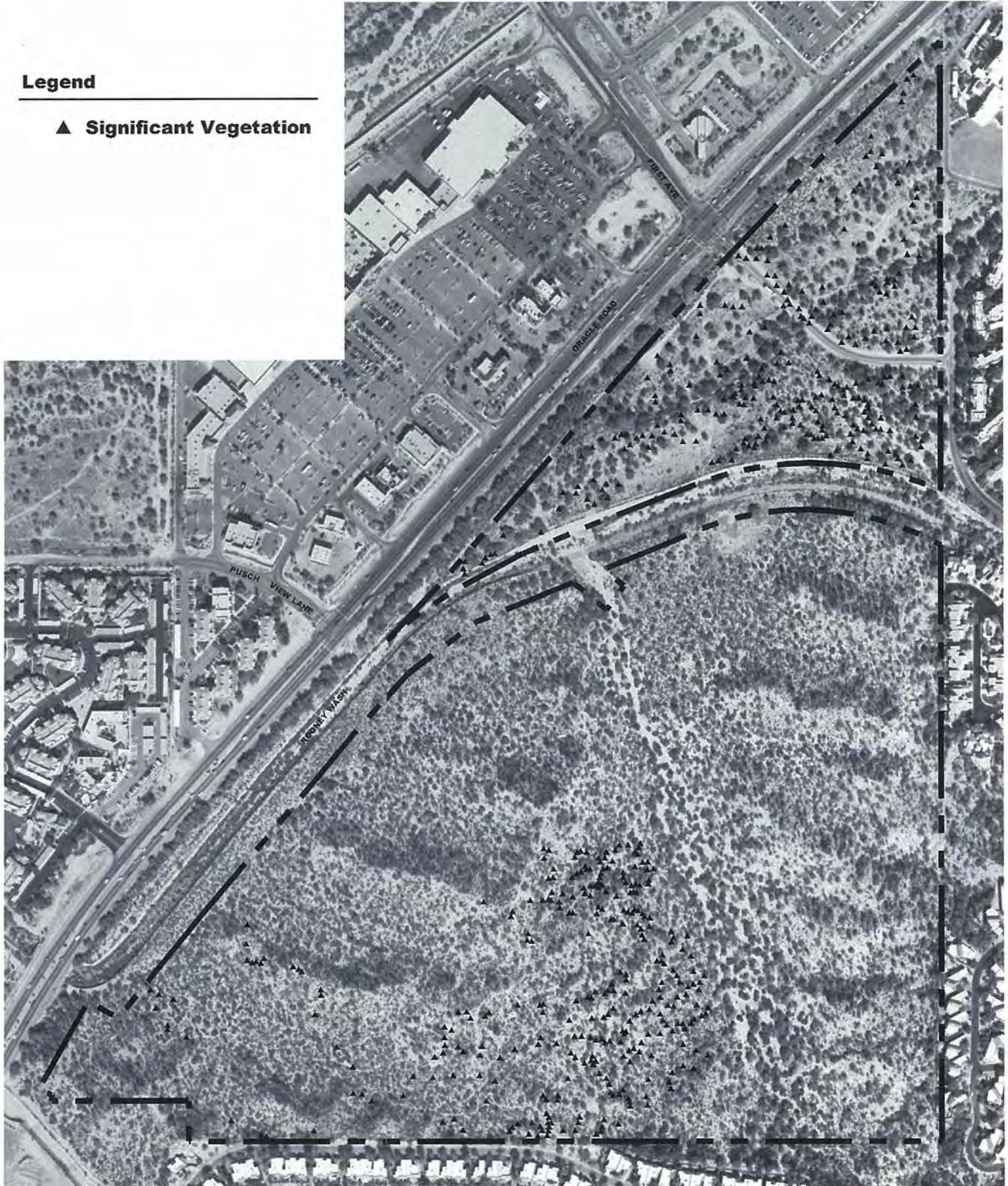




**EXHIBIT D-2:
VEGETATIVE DENSITIES**

Legend

▲ Significant Vegetation



**EXHIBIT D-3:
SIGNIFICANT VEGETATION SURVEY**

E. WILDLIFE

1. Letter (Exhibit E-1): A letter has been included, concerning wildlife and habitat areas of the Rooney Ranch, from the Tucson Regional Office of the Arizona Game and Fish Department, Ms. Sherry A. Ruther, Region V (Observations made on Section 7, Township 12 South, Range 14 East).
2. Description of Wildlife Habitats
 - a. Federal and State listed threatened or endangered species - Only one is listed, and is the Cactus Ferruginous Pygmy-Owl. ~~To date, three surveys have been conducted and have provided negative results.~~ Surveys have been continuously conducted over the past 9 years. The most recent survey was conducted on 10/26/2010. To date, these surveys have provided negative results. These studies are available upon request.



THE STATE OF ARIZONA
GAME AND FISH DEPARTMENT

2221 WEST GREENWAY ROAD, PHOENIX, AZ 85023-4399
 (602) 942-3000 • WWW.AZGFD.COM

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 DUANE L. SHROUFE
 DEPUTY DIRECTOR
 STEVE K. FERRELL



Tucson Office, 555 N. Greasewood Rd., Tucson, AZ 85745

August 2, 2001

Mr. Gustav Orland
 The WLB Group
 4444 E. Broadway Blvd.
 Tucson, Arizona 85711

Re: 144-Acre Parcel at Oracle Road and 1st Avenue; T12S, R14E, Sections 7 & 18.

Dear Mr. Orland:

Due to excessive workloads and limited personnel availability, the Arizona Game & Fish Department (Department) is, at this time, only able to provide you with limited information regarding your proposed project. Enclosed, you will find a set of recommendations that relate to Federal/State regulatory compliance and 'wildlife friendly' development practices. Also included is a list of special status species that are known to occur in the vicinity of the above-referenced parcel. This list is based on the review of records in the Department's Heritage Data Management System¹ (HDMS). Any of these species are likely to occur on-site to the degree that the parcel provides the species' habitat requirements. For information that will assist you in identifying the on-site native vegetation communities and their values as wildlife habitat, the Department recommends the following references:

- Brown, D.E. (ed). 1994. *Biotic Communities - Southwestern United States and Northwestern Mexico*. University of Utah Press, 342 pp.
- Shaw W.W., L.K. Harris, M. Livingston, J.P. Charpentier, and C. Wissler. 1996. *Pima County Habitat Inventory - Phase II*. Arizona Game & Fish Dept. Contract No. G50028-001, Phoenix, AZ. 94pp. (Pima County maintains GIS coverages from this report.)
- Pima County's 1986 Map of Critical and Sensitive Wildlife Habitats.

¹ Information contained in the Department's HDMS is dynamic and updated on a periodic basis. Any information, therefore, is likely to become outdated shortly after its release. Such information is intended to serve as a guide regarding what species may be found in a particular area. It does not represent the results of comprehensive species-specific surveys.

AN EQUAL OPPORTUNITY REASONABLE ACCOMMODATIONS AGENCY

**EXHIBIT E-1:
 ARIZONA GAME AND FISH DEPARTMENT LETTER
 (PAGE 1 OF 4)**

Mr. Orland
August 2, 2001
2

Federal/State Regulatory Compliance:

The following measures that relate to Federal/State regulatory compliance should be applied when appropriate.

- It appears that the subject parcel falls within Zone 2 of the Cactus Ferruginous Pygmy-Owl Survey Zones. Apply the Guidance for Private Landowners from the U.S. Fish & Wildlife Service (USFWS) and contact them as appropriate. The Landowner Guidance and accompanying information can be found in the Documents Library section of the USFWS's website: <http://arizonaes.fws.gov/>.
- If plants protected under the Arizona Native Plant Law are likely to occur on the subject parcel, contact the Arizona Department of Agriculture for additional information regarding potential restrictions which may apply to the salvage or removal of plant species.

James McGinnis
Manager, Native Plant Law
Plant Services Division
Arizona Dept. of Agriculture
1688 W. Adams
Phoenix, Arizona 85007
602/542-3292

- Adhere to the attached tortoise handling guidelines for development projects if Sonoran desert tortoise are likely to occur on the subject parcel.
- Contact the Department's Tucson Regional Office immediately for direction regarding the disposition of an active bat roost site(s) if one is found on the property.
- During pre-construction and construction activities, contact the Department's Tucson Regional Office immediately for direction regarding the disposition of an active raptor nest(s) if one is found on the property. (Please note that an active raptor nest can also be located in a burrow as well as the more common arboreal situation. Nests of the burrowing owl are one example.)

Landscape Design/Site Planning:

The recommended landscape design and site planning practices are practices beneficial in maintaining habitat elements compatible with native desert wildlife. Implementation of these landscape design/site planning practices will not totally mitigate for the loss of native desert habitats, however, evidence shows that incorporation of these practices will foster the retention of those native wildlife species which can exist in urban/suburban environments. The Department recommends these landscape/site planning practices be implemented as part of any anticipated on-site development.

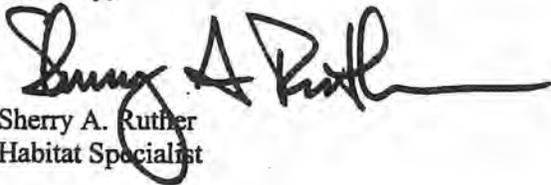
**EXHIBIT E-1:
ARIZONA GAME AND FISH DEPARTMENT LETTER
(PAGE 2 OF 4)**

Mr. Orland
August 2, 2001
3

- Maximize the amount of interconnected open space within the development.
- Utilize native plant species for all on-site vegetation and revegetation.
- Employ revegetation schemes that re-establish and maintain vertical diversity (ground cover, shrub layer, and canopy cover) with native plant species.
- Retain in place or salvage woody vegetation including saguaros and ironwoods (mature adults as well as immatures).
- Maintain the vegetative and hydrologic integrity of all washes, especially those which Pima County's 1986 Map of Critical and Sensitive Wildlife Habitats identifies as Class I or II Riparian Habitats.

Please call me at 520/628-5982 Ext. 137 if you have questions.

Sincerely,



Sherry A. Ruther
Habitat Specialist

SAR:sr

cc: Bob Broscheid, Project Evaluation Program Supervisor, Habitat Branch, PHX (AGFD Log No.7-10-01/16a)
Sherry Barrett, USFWS, Assistant Field Supervisor, Az Ecol. Services Field Ofc, TUC
James McGinnis, AZ Dept. of Ag, Plant Services Div., PHX

Attachments

C:\PROJECTS\CITIES\VOROVLLY\144@1* & Oracle.doc

**EXHIBIT E-1:
ARIZONA GAME AND FISH DEPARTMENT LETTER
(PAGE 3 OF 4)**

Special Status Species within 5 miles of T12S,R14E Sec 7, 18

Arizona Game and Fish Department, Heritage Data Management System
July 24, 2001

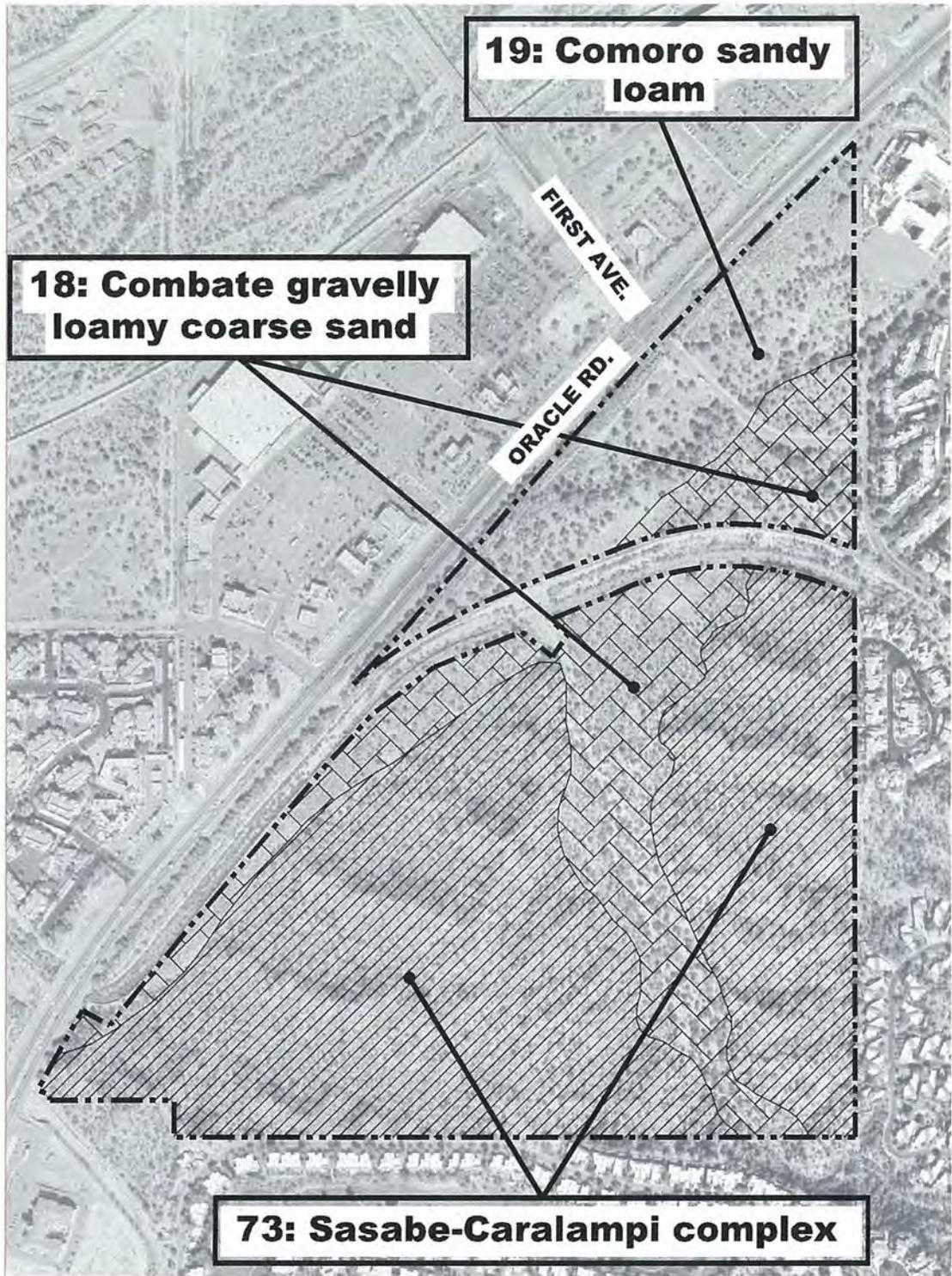
Scientific Name	Common Name	ESA	USFS	BLM	WSCA	NPL
<i>ABUTILON PARISHII</i>	PIMA INDIAN MALLOW	SC	S			SR
<i>AGAVE SCHOTTII</i> VAR <i>TRELEASEI</i>	TRELEAVE AGAVE	SC	S			HS
<i>CALEPHELIS RAWSONI ARIZONENSIS</i>	ARIZONA METALMARK		S			
<i>CHOERONYCTERIS MEXICANA</i>	MEXICAN LONG-TONGUED BAT	SC		S	WC	
<i>CNEMIDOPHORUS BURTI STICTOGRAMMUS</i>	GIANT SPOTTED WHIPTAIL	SC	S	S		
<i>FALCO PEREGRINUS ANATUM</i>	AMERICAN PEREGRINE FALCON	SC	S		WC	
<i>GLAUCIDIUM BRASILIANUM CACTORUM</i>	CACTUS FERRUGINOUS PYGMY-OWL	LE			WC	
<i>GOPHERUS AGASSIZII</i> (SONORAN POPULATION)	SONORAN DESERT TORTOISE	SC			WC	
<i>HACKELIA URSINA</i>	CHIHUAHUAN STICKSEED		S			
<i>HEDEOMA DENTATUM</i>	MOCK-PENNYROYAL		S			
<i>HERMANNIA PAUCIFLORA</i>	SPARSELEAF HERMANNIA		S			
<i>MUHLENBERGIA XEROPHILA</i>	WEeping MUHLY		S			
<i>NOTHOLAENA LEMMONII</i>	LEMMON CLOAK FERN	SC				
<i>RANA YAVAPAIENSIS</i>	LOWLAND LEOPARD FROG	SC	S		WC	
<i>THELYPTERIS PUBERULA</i> VAR <i>SONORENSIS</i>	ARAIPA WOOD FERN			S		

Critical Habitat for the cactus ferruginous pygmy-owl within project area (~ 3 miles west). AGFD #7-10-01(16a); Oro Valley.

EXHIBIT E-1: ARIZONA GAME AND FISH DEPARTMENT LETTER (PAGE 4 OF 4)

F. SOILS

1. Floodplains: The site is protected by a series of engineered drainageways consisting of an excavated channel with soil cement sides and backfill. The underlying soils, however, are typical of a major geological floodplain.
2. Soils Exhibit and Development Suitability: There are ~~two~~three soil groups within the subject property (Exhibit F-1, Soils) and these soil groups are per the U.S. Department of Agriculture, Natural Resources Conservation Service:
 - a. Arizo Riverwash Complex #34—This soil complex (0 to 3 percent slopes) is on nearly level flood plains and channel bottoms. It occurs at the base of the gravel hills along the southern parcel edge. According to the U.S. Geological Survey maps and soil texts, this complex is comprised largely (50 percent) of Arizo fine sandy loam and secondly (20 percent) of riverwash. Another 10 percent is Tanque sandy loam with the balance in various mixes of Arizo soils. Comoro Sandy Loam #19 (Group B) – This soil complex occurs on slopes of 0 to 2% and typically exists in flood plain areas at elevations of 2,600 to 3,800 feet. It is typical in areas of 12 to 16 inches of precipitation. This soils complex consists largely of Comoro and similar soils (80%). (21 Acres or ~15% of the site)
 - b. Pinaleno Nickel Palos Verdes Complex #28C—The balance of the property being analyzed is within the Pinaleno Nickel Palos Verdes soil complex. The complex covers an area of gravel hills of 10 to 35 percent slopes. This unit is 35 percent Pinaleno very cobbly sandy loam, 35 percent Nickel very gravelly sand loam, and 15 percent Palos Verdes gravelly sandy loam. Pinaleno tends to occur on the shoulders and crests of the fan terraces (10 to 35 percent slopes). Nickel tends to occur on the backslopes of the fan terraces (20 to 35 percent slopes). Palos Verdes tends to occur on the summits of terrace remnants (10-15 percent slopes). The area tends to appear as a gravelly, cobbly hill region. The soil group is moderately alkaline and calcareous. At depths of 40 inches or more, some caliche may be found. The only significant limitation to urban development is slope and a moderate permeability, which limits septic use. Combate Gravelly Loamy Coarse Sand #18 (Group B) – This soil complex occurs on slopes of 2% to 8% and typically exists in alluvial fans at elevations of 2,900 to 4,600 feet. It is typical in areas of 12 to 16 inches of precipitation. This soils complex consists largely of Combate and similar soils (85%).- (32 acres or ~23% of the site)
 - ~~c.~~ Sasabe-Caralampi Complex #73 (Group B 40% and Group C 60%) - This soil complex occurs on slopes of 1% to 15% and typically exists in fan terraces at elevations of 3,100 to 3,700 feet. It is typical in areas of 12 to 16 inches of precipitation. This soils complex consists largely of Sasabe and similar soils (45%) and Caralampi and similar soils (30%). (88 acres or ~62% of the site)



**EXHIBIT F-1:
SOILS ANALYSIS**

1"=600'



4.27.2011
WLB No: 181057-R011

G. VIEWS/VISTAS

1. Important Vistas from the Site (Exhibit G-1, 1a)

The site is primarily made up of three general view areas:

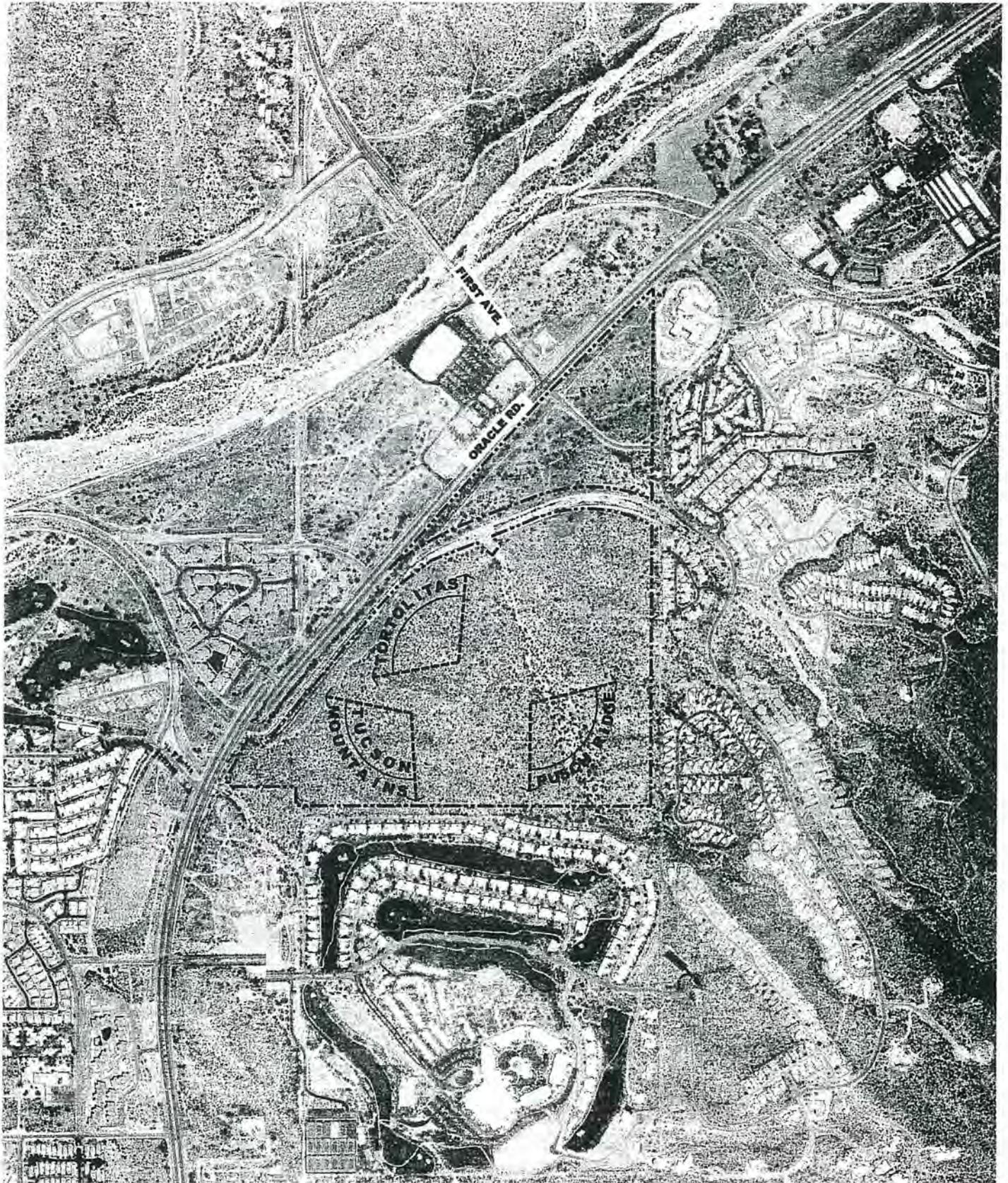
- a. Views from the central area (between Oracle Road and the base of the foothills south of Oracle Road) are the low, flat parcels with limited views primarily to the panorama of the Catalina Mountains or Pusch Ridge to the south and east. Due to the of the ridgelines north of **First1st** Avenue and southwest on Oracle Road, the Tortolita and Tucson Mountains are completely obscured. Instead, the development on the foothills surrounding the "central plain" will provide limited middle range views.
- b. Views from the south foothill area (the area south of the Rooney Wash) are perhaps the most comprehensive in terms of views. The strongest and most immediate viewplane is to the south and around to the east, which takes in the Catalina Mountains or Pusch Ridge, which are virtually upslope from the site. The ridge is so close and so completely dominant that it can be viewed from virtually any point on the south foothills area. The foothills are also high enough in elevation and far enough south of the ridgeline north of the Canada del Oro that a panorama view of the Tortolitas is available to all of the ridge tops and sides. These same locations also afford another interesting and valued vista of the opening across the upper plains between the Catalina and Tortolita. The higher elevations along the western boundary of the south foothills area also afford a distant view of the Tucson Mountains.

2. Important Vistas to the Site - Onsite Views (Exhibit G-2, 2a, 2b, 2c)

Views onto and toward the site are equally as important as views from the site. Buildings and other site elements should be placed in a manner sensitive to the viewsheds created by access corridors leading to the site. The uniqueness of this site stems from its form as a central bowl into which all approaches focus. In other words, the intersection of Oracle Road and North **First1st** Avenue is a natural focal point when the site is viewed from all directions. Both sides of a gravel ridge to the north as viewed from the perimeter of the "bowl" serve as a secondary focus.

- a. Approaching northbound on Oracle Road - As you round the corner near the entrance to the El Conquistador Resort, the projected mixed use commercial town center area on the broad and flat middle area comes into view below. The southern commercial elements of the town-center proposed development south of Oracle Road come into view just before the bottom of the hill on Oracle Road.
- b. Approaching southbound on North **First1st** Avenue, and above the bridge over the Canada Del Oro Wash, one is provided with a full panoramic view of the mixed use commercial town-center development.
- c. When viewing the site from the southern foothill area, the commercial hub area of the town is most obvious below.

- d . The north-side foothills "bowl" affords very locally contained intimate views to the surrounding ridges as well as to Pusch Ridge in the distance.



**EXHIBIT G-1:
VIEWS FROM SITE**

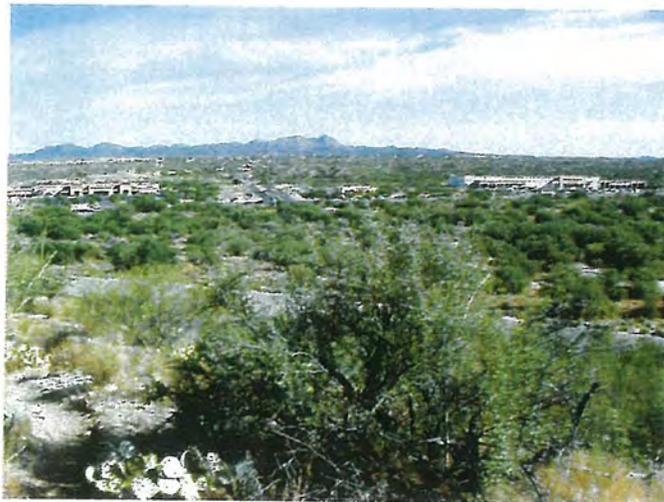




View of Pusch Ridge

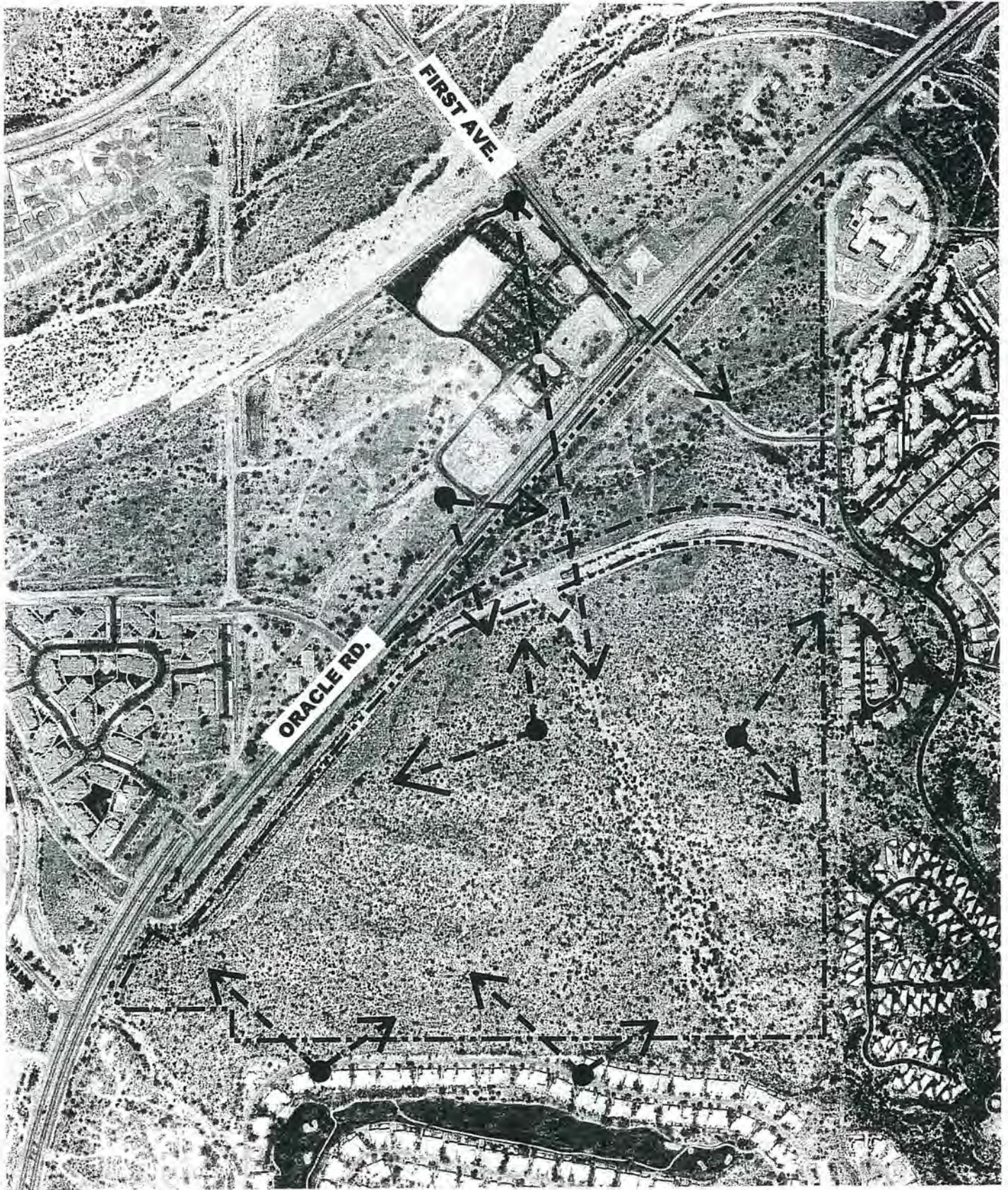


View of Tucson Mtns



View of Tortolitas

**EXHIBIT G-1 A:
PHOTOS OF VIEWS FROM SITE**



**EXHIBIT G-2:
ON-SITE VIEWS**





View From 1st Ave.



View From Blockbuster

EXHIBIT G-2A: PHOTOS OF ON-SITE VIEWS



View to Rooney Commercial Center

**EXHIBIT G-2C:
PHOTOS OF ON-SITE VIEWS**

H. TRAFFIC

1. Existing and Proposed Streets

Access to the Oro Valley Town Centre PAD is provided from Oracle Road (State Highway 77), First1st Avenue and La Reserve Drive. Oracle Road provides access from the north and south and First1st Avenue from the west. Oracle Road is a major link between Tucson and the communities of Catalina, Oracle and San Manuel to the north as well as Rancho Vistoso. First1st Avenue to the north and west connects with Tangerine Road, which is a major arterial roadway providing access between Interstate 10 to the west and Oracle Road.

2. Arterial Streets within One Mile of Project

Oracle Road

- a. The right-of-way is 200 feet.
- b. This right-of-way conforms to the standards for Major Arterial roads as outlined in the Oro Valley General Plan.
- c. Public ownership.
- d. The rights-of-way are continuous along the frontage of the subject property.
- e. The road contains 6 travel lanes and the posted speed limit is 50 mph.
- f. According to the most recent data from the Pima Association of Governments (2006), the portion of Oracle Road south of First1st Avenue carries 50,000 Average Daily Trips (ADT) and the portion north of First1st Avenue carries a volume of 30,000 ADT.
- g. The road was recently improved as a result of the Oracle Road Improvement District and the pavement is in good condition. Curb cuts and turnouts were constructed and a bridge over the Rooney Channel on the Pusch View Lane alignment was also constructed as part of the Improvement District.
- h. At this time, the only improvements that would be required to Oracle Road involve the east facing traffic signal lights – they were not installed and would need to be installed in order to provide access into the site from the Pusch View Lane alignment.

First1st Avenue

- a. The right-of-way is 200 feet.
- b. This right-of-way conforms to the standards for Major Arterial roads as outlined in the Oro Valley General Plan.
- c. Public ownership.
- d. The rights-of-way are continuous.
- e. The road contains 4 travel lanes and the posted speed limit is 45 mph.
- f. According to the most recent data from the Pima Association of Governments (2004), First1st Avenue carries 34,000 Average Daily Trips (ADT).
- g. The pavement is in good condition.
- h. No improvements are required to this road to provide access to the subject property.

Pusch View Lane

- a. The right-of-way is approximately 90 feet and then widens to approximately 140 feet about 500 feet west of Oracle Road.
- b. This right-of-way conforms to the standards for Major Arterial roads as outlined in the Oro Valley General Plan.
- c. Public ownership.
- d. The rights-of-way are continuous.
- e. The road contains 4 travel lanes and the posted speed limit is 45 mph.
- f. The most recent data from the Pima Association of Governments does not include information for Pusch View Lane, and as such the Average Daily Trips (ADT) is not known.
- g. The pavement is in good condition.
- h. No improvements are required to this road to provide access to the subject property.

Roads and Streets

The section of Oracle Road adjacent to the proposed development has been fully improved to a six lane divided highway. Bike lanes have been provided and a continuous turn land exists along the western boundary of the site. The improvements to Oracle were made via a past Improvement District that was formed for the purpose of making improvements to Oracle Road, First1st Avenue and Pusch View Lane.

The extension of First1st Avenue through the property is a two lane paved road with extruded curb and no sidewalks. The posted speed limit is 25 mph.

3. Existing and Proposed Intersections

Traffic from this project will utilize the following intersections within one mile of the site:

Oracle Road and First1st Avenue
Oracle Road and Pusch View Lane
First1st Avenue and Lambert Lane

4. Existing Bicycle and Pedestrian Ways

There is a 5 foot sidewalk along the entire western edge of the subject property, as well as along both sides of First1st Avenue and on the north side of Pusch View Lane. There is a 5 foot sidewalk along the west side of Oracle Road. There is a 6 foot wide sidewalk on the north side of the bridge that was constructed over the Rooney Channel on the Pusch View Lane alignment.

There is also a 6 foot wide bicycle lane on both sides of Oracle Road, both sides of First1st Avenue and both sides of Pusch View Lane.

There is a 10 foot wide asphalt multi-use path along the south side of Lambert Lane.

Access

Access to the Oro Valley Town Centre is currently provided from Oracle Road (State Highway 77), First Avenue and La Reserve Drive. Oracle Road provides access from the north and south and First Avenue from the west. Oracle Road is a major link between Tucson and the communities of Catalina, Oracle and San Manuel to the north as well as Rancho Vistoso. First Avenue to the north and west connects with Tangerine Road, which is being developed as a major highway between Interstate 10 to the west and Oracle Road.

2. Existing Conditions

Roads and Streets

The section of Oracle Road adjacent to the proposed development has been improved to a four lane divided highway. Bike lanes have been provided. An Improvement District is currently being formed for the purpose of making improvements to Oracle Road, First Avenue and Pusch View Lane.

Traffic Volumes

Current traffic volumes in the area of 28,000 Average Daily Traffic (ADT) are being adequately carried by Oracle Road, which has a capacity of approximately 37,000 ADT at level of service D operation. Future traffic volume assignments indicated in Table 1 will warrant additional widening at some future time.

First Avenue currently carries a volume of 21,400 ADT.

3. Traffic Impact Analysis

A Traffic Impact Analysis (April 2002) has been completed for this project by DMJM Harris. A copy of this report is available from the Town Engineer.

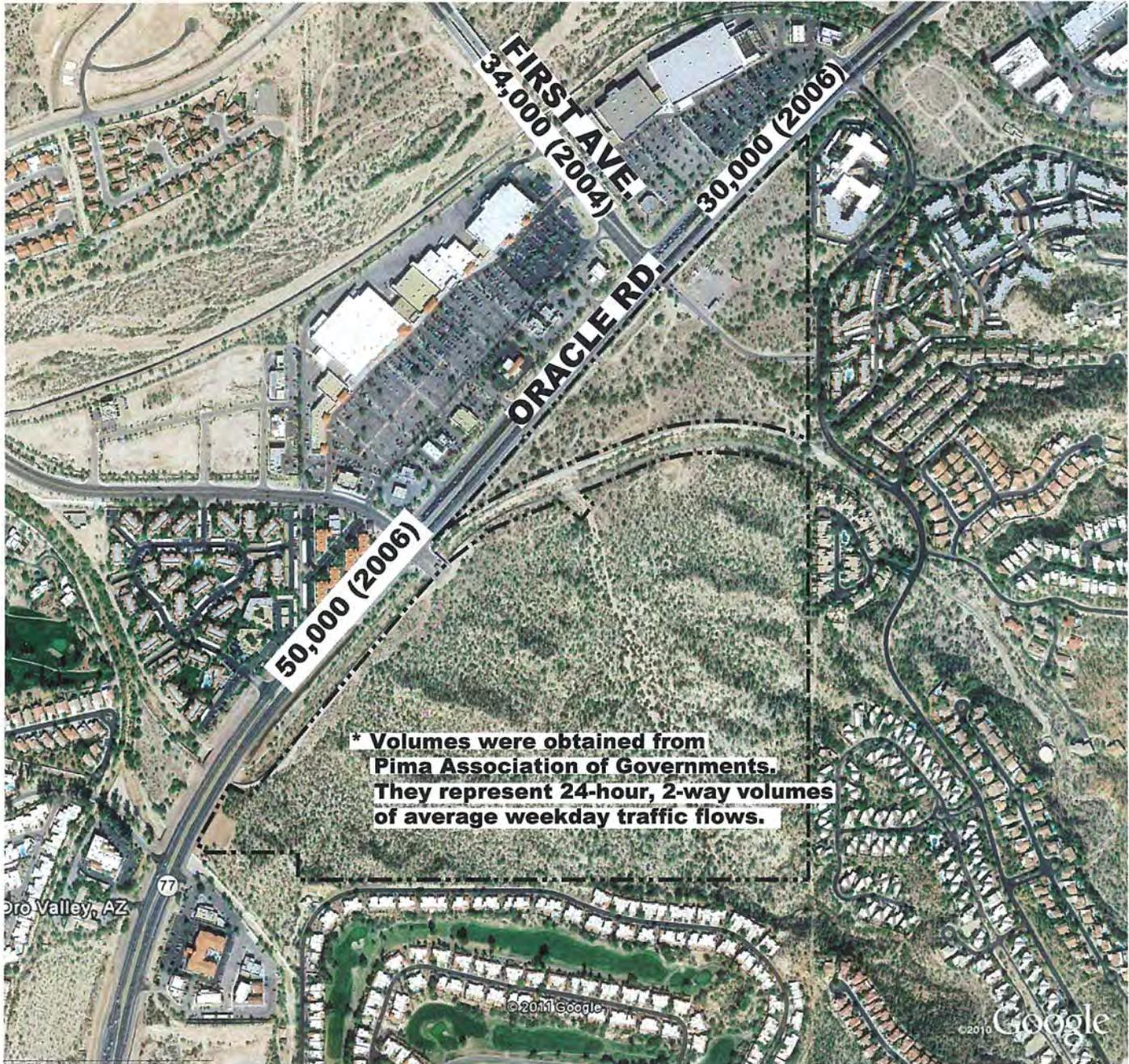


EXHIBIT H-1: TRAFFIC VOLUMES

I. SEWER/WATER/OTHER UTILITIES

1. Existing Public Sewers

The project envisions only the use of publicly owned gravity flow sanitary sewers. The existing lines are all upstream lines of the Pima County's Department of Wastewater Management's Canada del Oro interceptor. The existing 21-inch sewer line adjacent to Oracle Road is shown on Exhibit I-1.

2. Pima County Wastewater Management Department Capacity Response Letter - Letter follows as Exhibit I-2.

3. Projected Sewers

Where possible, all sewer lines will gravity flow into the existing 21 inch sewer line adjacent to Oracle Road.

4. Existing Water

The proposed PAD lies within the certified area of the Oro Valley Water Utility. Existing lines are shown on Exhibit I-1.

5. Proposed Water Improvements

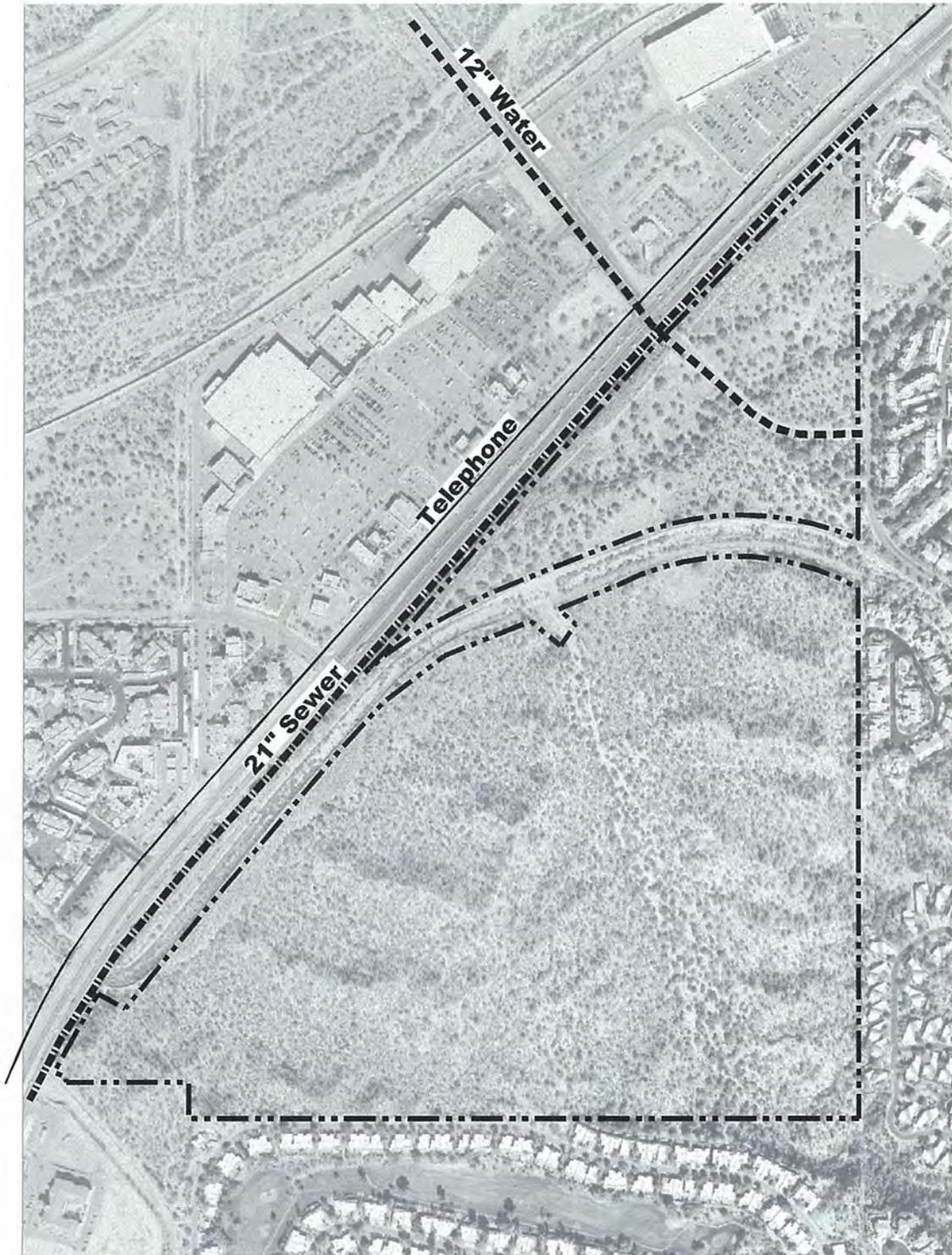
None proposed directly impacting the site. The developer must design and pay for the installation of the necessary infrastructure to serve this site along with the replacement of the existing water main which may traverse the property.

6. Water Service Availability

The project is within the service area of the Oro Valley Water Utility. ~~Preliminary discussions with a company spokesperson have indicated that Oro Valley Water Utility will work with the developer of this project to provide water to the project.~~ Preliminary discussion with a company spokesperson have indicated that the Oro Valley Water Utility (OVWU) will serve the project.

7. Other Existing Utilities

Other existing utilities are shown on Exhibit I-1.



**EXHIBIT I-1:
EXISTING UTILITIES**



**Pima County
Regional Wastewater Reclamation Department**

Michael Gritzuk, P.E.
Director

201 N. Stone Ave., 8th Floor
Tucson, Arizona 85701
(520) 740-6500

Visit our website:
<http://www.pima.gov/www>

December 2, 2010

Ms. Wendy Fowler
Kitchell Development Company
1707 E. Highland Avenue, #100
Phoenix, AZ 85016

Capacity Response No. 10-185 Type I

**RE: The Village at Oro Valley, 220 Lots on Parcel # 220-09-0020.
Estimated Flow 50,600 gpd (ADWF).**

Greetings:

The above referenced project is tributary to the Ina Road Wastewater Reclamation Facility via the Cañada del Oro Interceptor.

Capacity is currently available for this project in the 21-inch public trunk sewer G-81-030, at manhole #2729-20.

This letter is not a reservation or commitment of treatment or conveyance capacity for this project. It is an analysis of the system as of this date and valid for one year.

Note: Conditions within the public sewer system constantly change. An update to this letter must be obtained to verify that capacity exists in the downstream public sewer system just prior to submitting the development plan or subdivision plat for review and approval.

If further information is needed, please feel free to contact us at (520) 740-6500.

Respectfully,

A handwritten signature in cursive script that reads "Mary M. Hamilton".

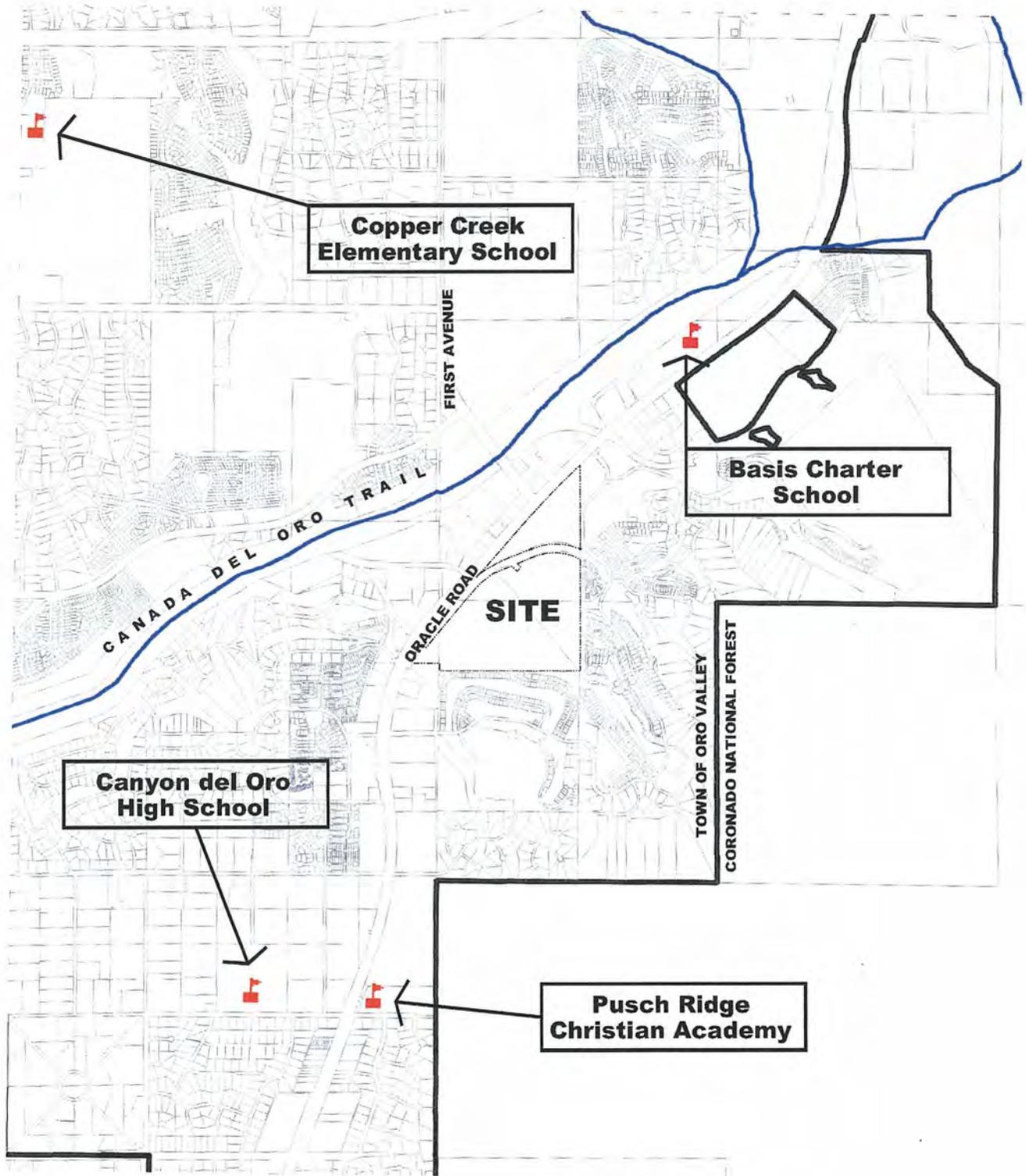
Mary Hamilton, P.E.
PCRWRD Planning Section Manager

MH:ks

c: T12, R14, Sec. 07

J. SCHOOLS

1. Existing Schools (Exhibit J-1). The site lies within the Amphitheater School District. No school sites are planned within the proposed PAD.
 - a. Junior/Senior High Schools - Cross Junior High School is located five miles south of the site. Amphitheater School District has constructed a new high school, Ironwood Ridge High School, on Naranja Road and the existing Canada Del Oro High School is located three miles to the south of the site.
 - b. Elementary Schools - The nearest elementary school, called Copper Creek, is located approximately one and one-half miles to the west of the site.
 - c. Charter Schools - Basis Oro Valley was opened in 2010. It is located approximately one mile to the northeastwesteast of the site.



**EXHIBIT J-1:
SCHOOLS**

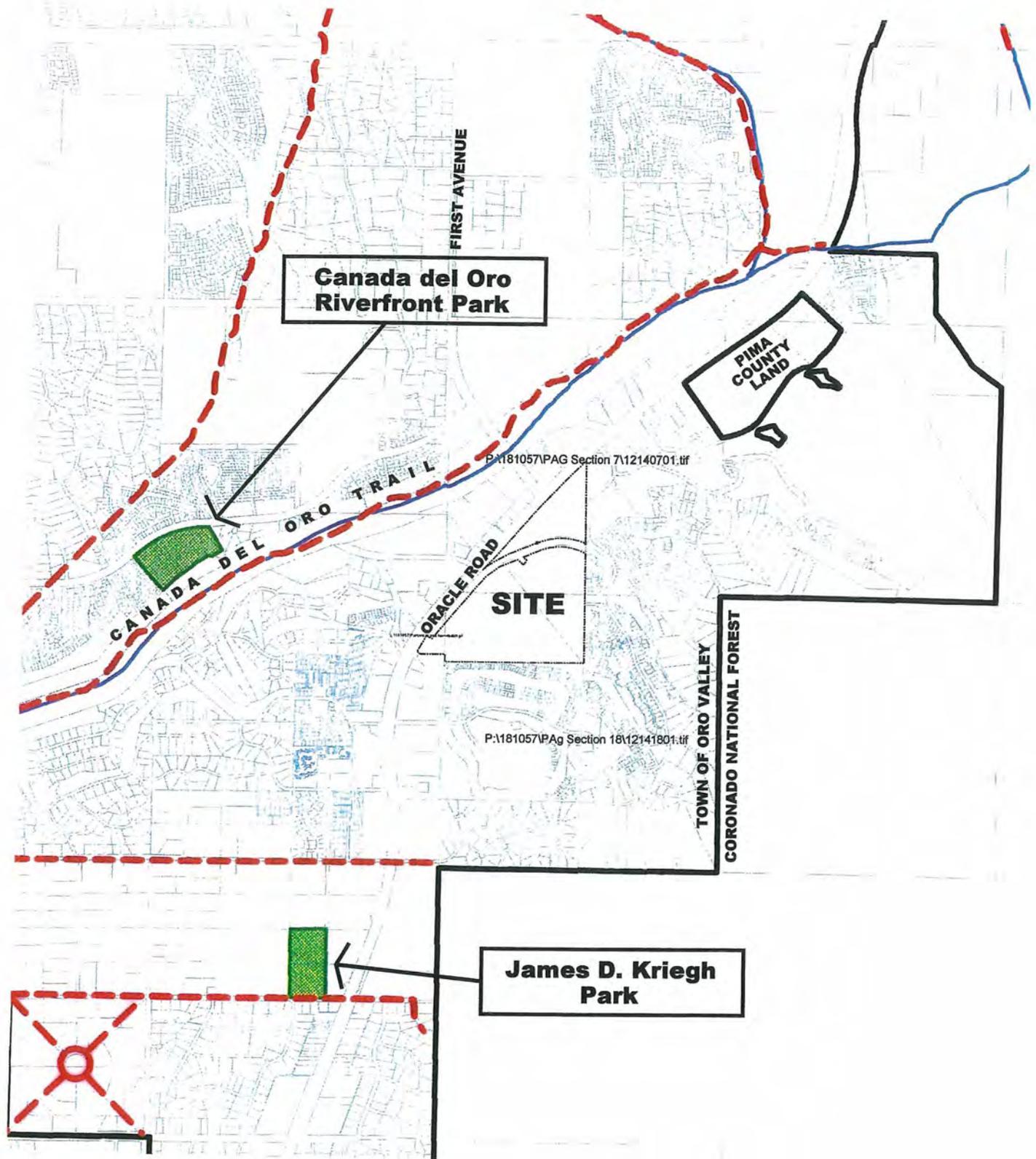
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4.27.2011
WLB No. 161067-R011

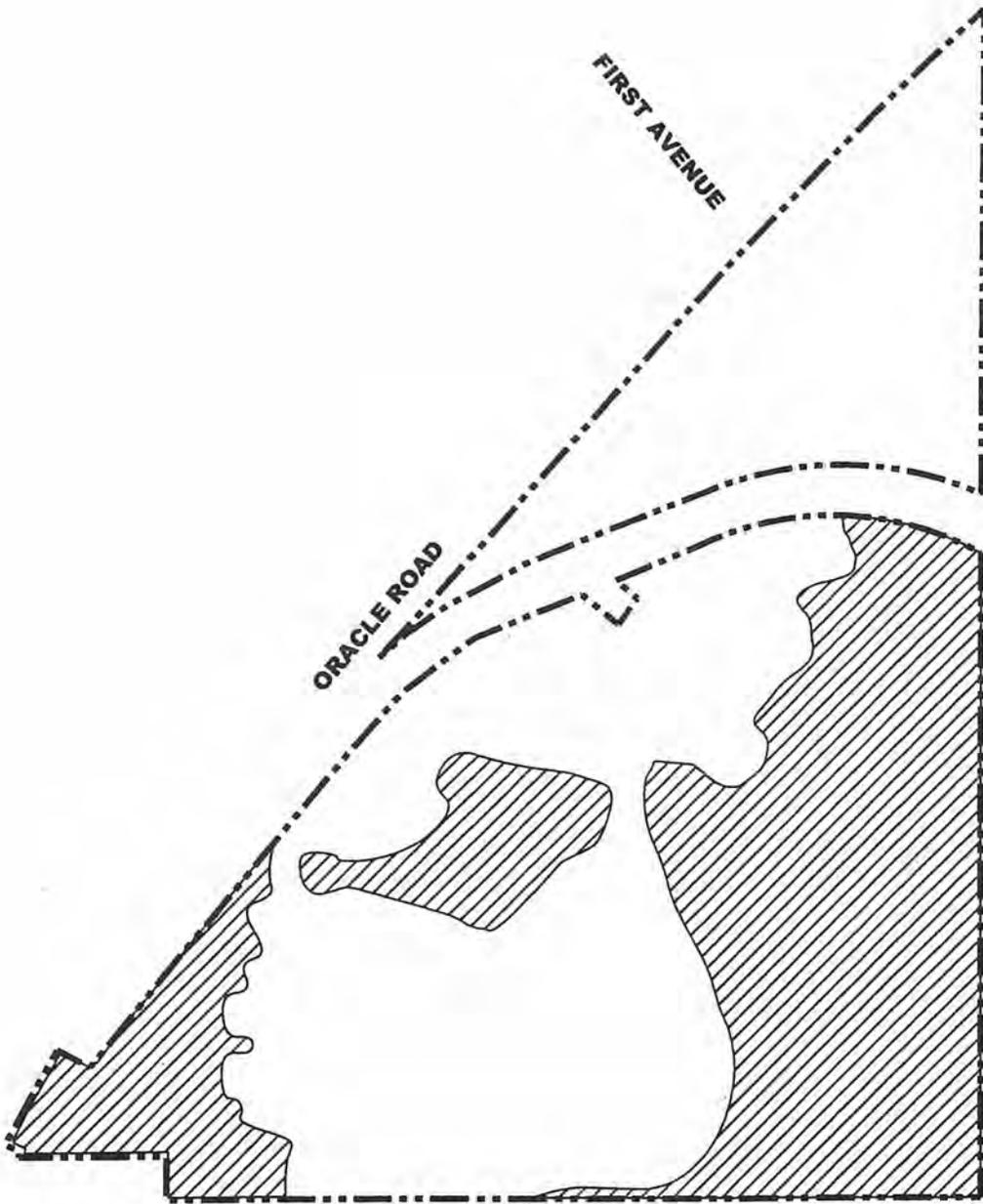
K. RECREATION AND TRAILS

1. General Offsite Parks and Recreational Areas (Exhibit K-1) - There are innumerable and diverse recreational opportunities within five miles of the site. They include:
 - a. Catalina State Park - 5,511 acres, two miles east of the site off Oracle Road. The park is a full service active and passive recreation area.
 - b. The Coronado National Forest - The Coronado National Forest can be accessed through Catalina State Park and various other trailheads immediately south of the site. It is an extensive national resource area for hiking, horseback riding, camping, skiing, and picnicking.
 - c. Tortolita Mountain Park and The Tortolita Mountains - Generally considered a publicly held conservation area, the mountain reserve contains thousands of acres for recreational use. The mountains are approximately five miles northwest of the site.
 - d. James D. Kriegh Park and Canada Del Oro Riverpark - Originally known as Dennis Weaver Park, James D. Kriegh Park is located on Calle Concordia, just west of Oracle Road. The centerpiece of park activity in Oro Valley, this comprehensive facility includes an Olympic-size swimming pool, picnic ramadas, playground equipment, racquetball courts, and sports fields for Little League, softball, and soccer. Canada Del Oro Riverpark features an outdoor performance and community events center to seat approximately 500, two softball/little league baseball fields with lights for night use, two soccer/multi-purpose fields with lights, basketball and tennis courts, four picnic ramadas, children's play area, horseshoe pits, and a 3/4 mile walking/multiple use path. This park opened in June 2000.
 - e. Golfing/Swimming/General Recreation - Within close proximity of the site are numerous resort areas and golf clubs, including the following:
 1. Oro Valley Country Club (1/2 mile)
 2. The various courses at Rancho Vistoso (2-4 miles)
 3. The El Conquistador Country Club (2-1/2 miles)
 4. Sheraton El Conquistador Resort (abutting the site)
 - f. Linear Trail System - Pima County is planning a linear Park and Trail System along the Canada del Oro Wash.
2. Undisturbed Natural Open Space (Exhibit K-2)
3. Additional Information - The proposed PAD will not have a large residential component but it views open space and recreation systems more as a provision of visitor and customer amenity and to accommodate and encourage pedestrian access to and movement within the proposed commercial area.



**EXHIBIT K-1:
OFF-SITE PARKS AND RECREATION AREAS**

1"=0.5 MI.



**EXHIBIT K-2:
UNDISTURBED NATURAL OPEN SPACE**



**APPROXIMATE AREA OF UNDISTURBED
NATURAL OPEN SPACE**

1"=600'



L. CULTURAL RESOURCES

1. Letter from the Arizona State Museum. A letter from the Arizona State Museum has been included in this document as Exhibit L-1.
2. Archaeological Report. Prior to any ground modification activities, an archaeological report shall be completed.

PIMA COUNTY ARCHAEOLOGICAL SITE RECORDS SEARCH RESULTS

E-mail Request Received: 4/26/2011

Search Completed: 4/29/2011

Requester Name and Title: Wendy Fowler, Development Administrator
Company: Kitchell Development Company
Address: 1707 E. Highland Avenue, Suite 100
City, State, Zip Code: Phoenix, AZ 85016
Phone/Fax/or E-mail: (602) 631-6102

Project Name and/or Number

Planned Area Dev. / Pars. 22009-0020/-0030, 22013-0010/-0020, 22431004B

Project Description

New planned development

Project Area Location: SWC & SEC of 1st Ave & Oracle Rd, Pima County, Arizona

Legal Description: A portion of the SW, S7, & the NW, S18, & the NE, S19, T12S, R14E, G&SR B&M, Pima County, Arizona.

Search Results: A search of the archaeological site files and records retained at the Arizona State Museum (ASM) found that a records search was completed on the subject project area in 2001. In a letter dated 5 July 2001 to Mr. Oland of the WLB Group, Inc., the ASM public archaeologist recommended that the area now encompassed by the subject project area be resurveyed before any development begins (a copy of that letter accompanies the present records search). Although the property had been surveyed in 1988, the ASM and the Pima County Cultural Resource Office found that significant time had elapsed from the 1988 survey to 2001 and that cultural resources could be newly exposed. The present records search finds that the project area has not been resurveyed subsequent to 1988. One prehistoric site has been identified within the project area, and an additional site may also lie within it. The present search finds that 41 additional archaeological inspections were completed within a mile radius of the project area between 1976 and 2008 and 16 additional historic and prehistoric cultural resources are identified within a mile. A color orthophotograph taken of the proposed project area in 2010, enclosed, depicts a relatively unmodified ground surface covered with native vegetation.

Sites in Project Area: One, maybe two. Others are possible

Recommendations: Because Pima County has jurisdiction in this project area, the county will make decisions for the proposed project using its own search results and it may use the ASM's search results and / or others. Should the county require additional archaeological work in this parcel, you will need to contact a qualified archaeological contractor whose name is maintained on a list posted on the ASM website at the following address: <http://www.statemuseum.arizona.edu/crservices/permits/index.shtml>.

Pursuant to *Arizona Revised Statutes* §41-865 et seq., if any human remains or funerary objects are discovered during your project work, all effort will stop within the area of the remains and Dr. Todd Pitezal, assistant curator of archaeology, will be contacted immediately at (520) 621-4795.

If you have any questions about the results of this records search, please contact me at the letterhead address or the phone number or e-mail address as follows.

Sincerely,



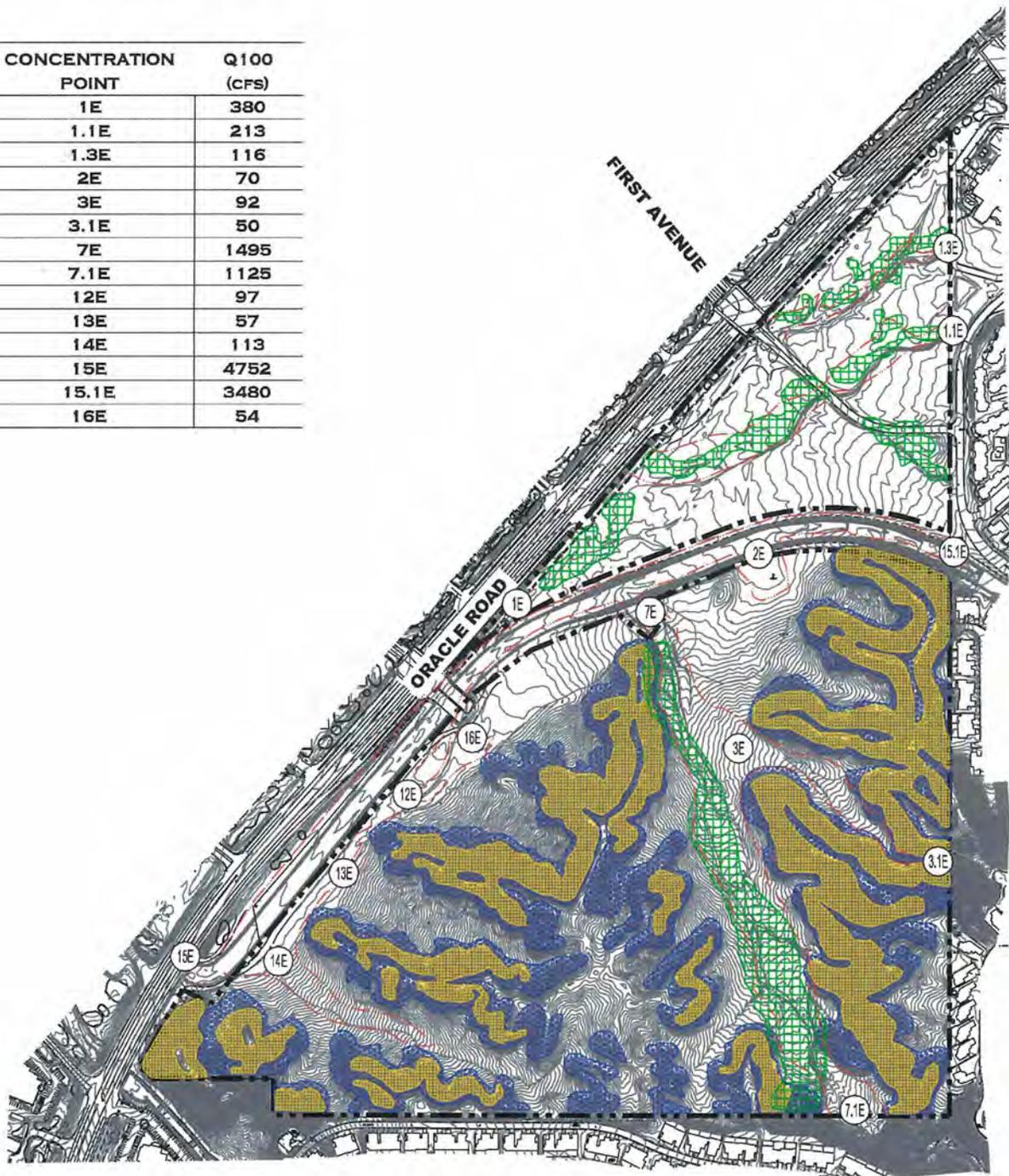
Nancy E. Pearson
Assistant Permits Administrator
(520) 621-2096
npearso@email.arizona.edu



M. COMPOSITE EXHIBIT

1. General Composite Exhibit - Exhibit M-1 shows a collection of environmental considerations. Soils were not included since all three soils groups, though each dictating a different design in terms of load-bearing or landscaping, are suitable for development.
 - a. Hydrology - Engineered channel bottoms are shown as well as an unprotected area on the north parcel and an undeveloped side-wash area on the south property flowing into the Rooney Wash. Approximate 100-year floodplains and concentration points are also shown.
 - b. Topography - Areas having slopes in excess of 25 percent are shown. These areas would dictate restricted low density development or should remain undeveloped.
 - c. Vegetation and Wildlife - ~~The high density vegetation areas (and accompanying wildlife habitats) are shown~~ Areas containing significant vegetation are shown.

CONCENTRATION POINT	Q100 (CFS)
1E	380
1.1E	213
1.3E	116
2E	70
3E	92
3.1E	50
7E	1495
7.1E	1125
12E	97
13E	57
14E	113
15E	4752
15.1E	3480
16E	54



LEGEND

-  AREAS CONTAINING SIGNIFICANT VEGETATION
-  AREAS OF >25% SLOPE
-  AREAS OF 15% TO 25% SLOPE
-  CONCENTRATION POINT
-  100 YEAR FLOODPLAIN LIMIT

**EXHIBIT M-1:
COMPOSITE MAP**

1"=600'



4.28.2011
WLB No. 101.007A-R011

SECTION II - LAND USE PROPOSAL

SECTION II

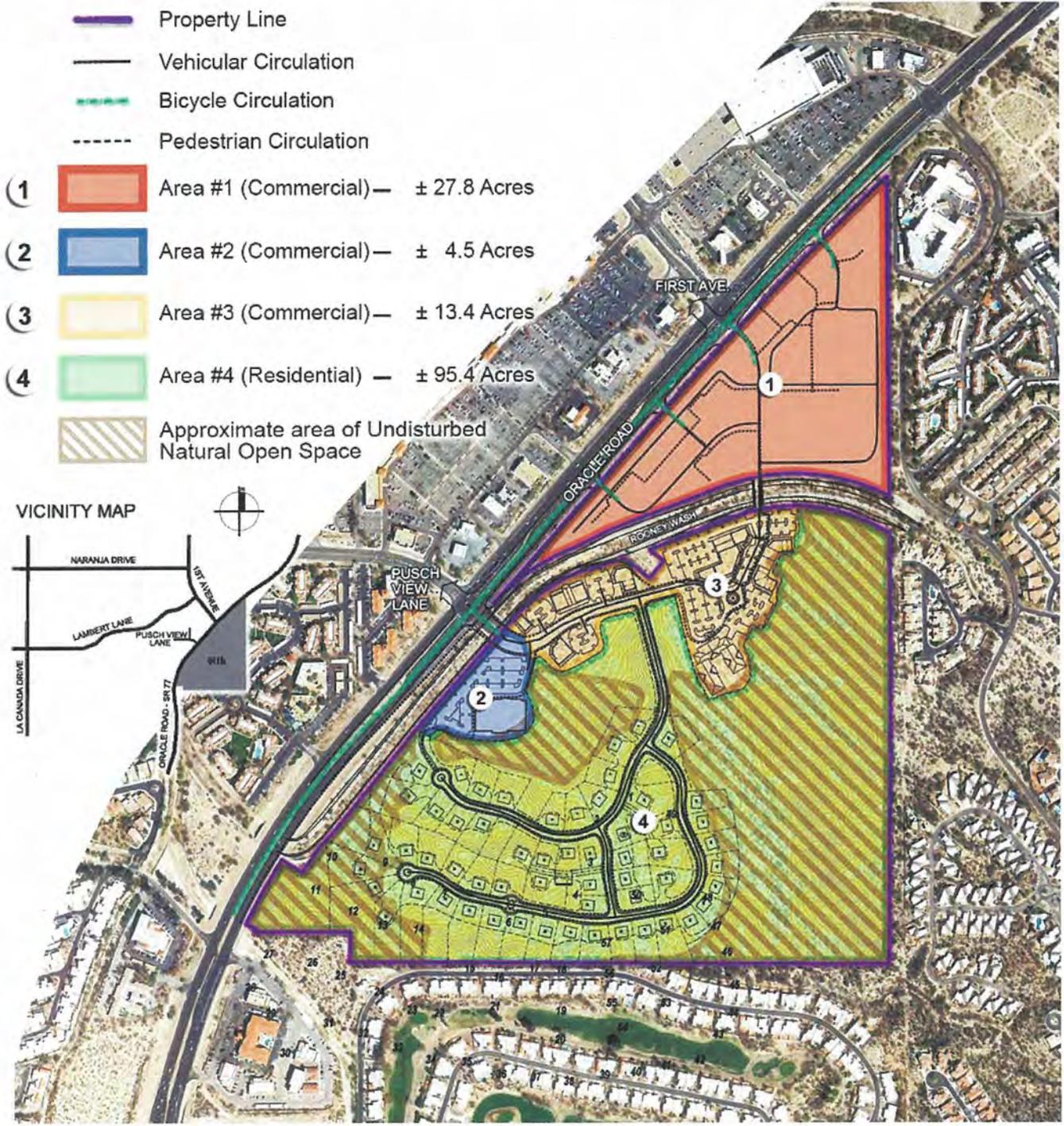
LAND USE PROPOSAL

A. PROJECT OVERVIEW

General Urban Land Use Strategy - The Town of Oro Valley General Plan "Focus 2020" recognizes that lands in the immediate vicinity of Oracle Road and North ~~First-1st~~ Avenue are appropriately projected to be higher density urban and commercial developments than lands away from the intersection and the contributing corridors. It is the intent of the proposed amended PAD ~~that there be created to create~~ a high quality ~~and discernable Oro Valley Town Centre~~ mixed multiple use development, ~~which focuses on that major intersection,~~ which ~~also~~ is located near the very geographical center of the Town's projected incorporated area. The proposal is for a commercial core, ~~which includes~~ ing residential, office, hotels, retail, restaurant, ~~and~~ entertainment facilities, medical facilities, and ~~neighborhood~~-convenience retail. ~~The mix of uses is not only intended to extend the times during which the center is active, but also to maximize the use of amenities and infrastructure in a series of often non-conflicting peak periods of demand.~~ The land use mix also is designed to create a destination critical mass for services and a potential urban synergy. Because of the nature of the street and drainage network, the project is primarily segmented into commercial/office/apartment uses north of the proposed Pusch View Lane extension and single family residential south of the proposed Pusch View Lane extension. Exhibit AA-1, Preliminary Conceptual Site Tentative Development Plan, demonstrates the general land use proposed for the development.

The Land Use Plan and Illustrative Site Plans for this project ~~have~~ been developed ~~based on design principles of the New Urbanist Movement to allow a horizontal mix of uses.~~ These include pedestrian scale, pedestrian access and movement, traffic control via physical barriers, mix of ~~retail with residential~~ retail, residential and office, and access to natural open space. ~~The primary focus of the development is an old "main street theme" which features on-street parking, buildings located close to the street, office and apartments above the retail uses with sit-down restaurants focused around a village commons area. Buildings are architecturally "five sided" with parking located in small groups on all four sides of the buildings. Landscaped pedestrian pathways connect the various retail areas emphasizing the importance of pedestrian movement rather than automobile movement. The design principles of New Urbanism will be further utilized to evaluate the Development Plan and Architectural review for each individual building. The primary focus of the architectural design provisions will be to create a foundation for design that will ensure development of an attractive, high quality mixture of architectural styles with primary emphasis on mixed use commercial retail, office, and residential.~~

Note: The circulation patterns shown are conceptual, and may ultimately be different from that which is shown depending on the final configuration of the site



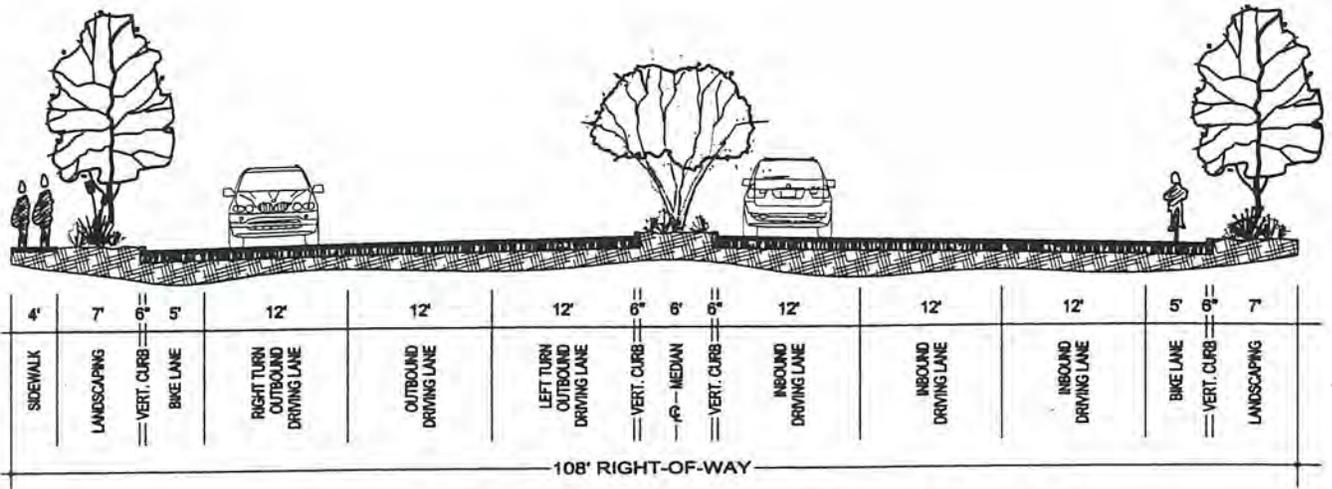
Tentative Development Plan (TDP)

04152 05.10.11

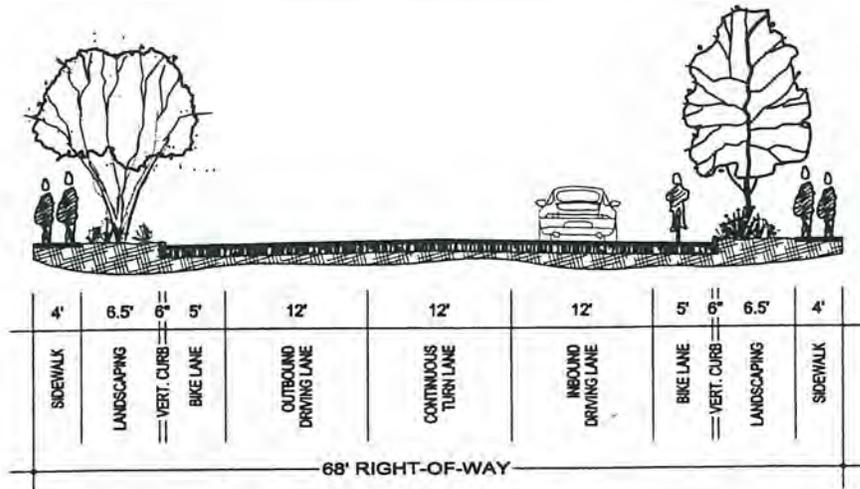


ORO VALLEY *Towne Center*
 ORACLE ROAD & FIRST AVENUE
 TOWN OF ORO VALLEY, ARIZONA



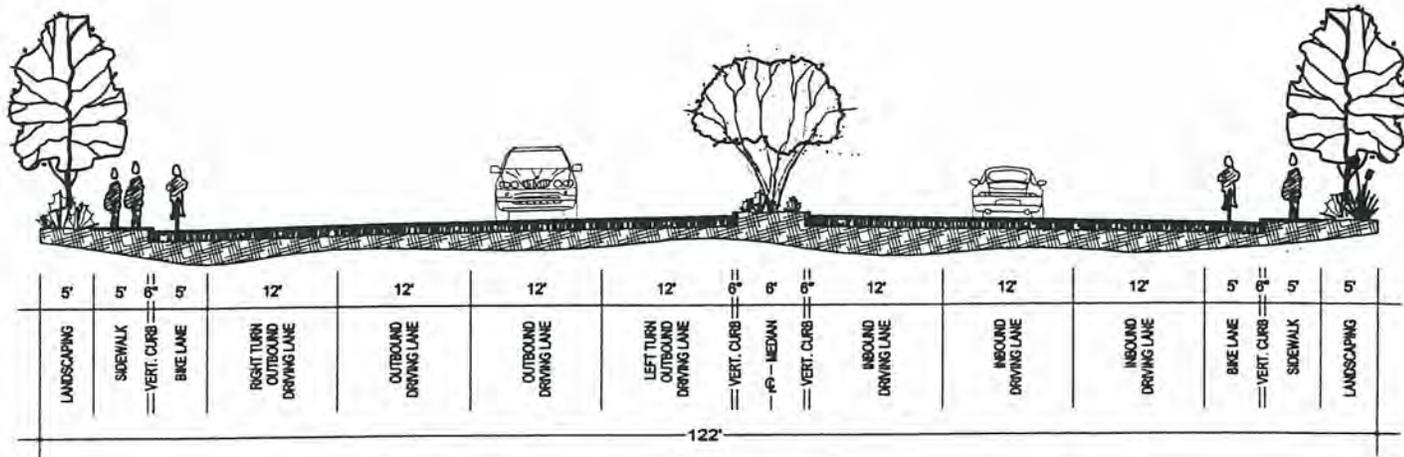


PUSCH VIEW LANE SECTION (INTERSECTION AT ORACLE ROAD)
N.T.S.



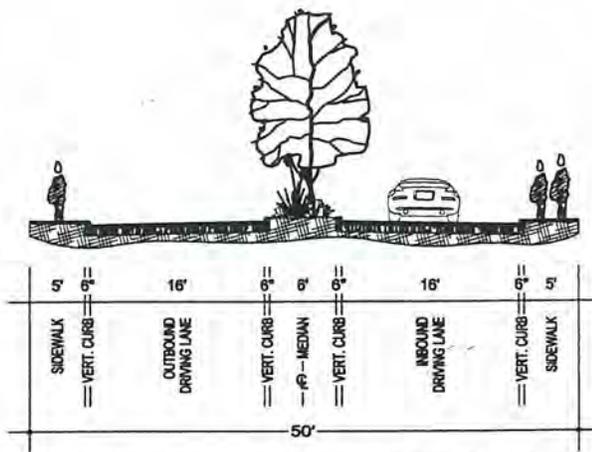
PUSCH VIEW LANE SECTION
N.T.S.

EXHIBIT AA-2: PUSCH VIEW LANE SECTIONS



FIRST AVENUE SECTION (INTERSECTION AT ORACLE ROAD)

N.T.S.



TWO-LANE ENTRY SECTION (TYP.)

N.T.S.

EXHIBIT AA-3: FIRST AVENUE AND ENTRY SECTIONS

B. COMMUNITY GOALS AND POLICIES

Goals

1. To create a high quality horizontally integrated mixed use master planned community development that, which effectively servesing the Town of Oro Valley as an efficient and discernable “center,” or commercial core, and which at the same time is compatible with surrounding uses as well as the town’s vision for this area.
2. Through the comprehensive planning approach on a significantly large, centrally-located tract, establish an economically viable critical mass of urban services to cause it to be a regionally important commercial destination.
3. Through the PAD process, comprehensively plan higher development intensities on environmentally sound sites while planning lower densities or eliminating development altogether where slopes and unique vegetation warrant.
4. Through a master planned urban design, position and develop elements to maximize views, minimize the loss of views of adjacent land uses and create a very “readable” urban texture or “sense of place” and “function.”
5. ~~Through the vegetation and landscaping plans, create and preserve excellent microclimates, which become quality amenities for tenants, customers, and other visitors while perpetuating the sense maintaining of “indigenous” Arizona upland landscape.~~
- 5.6. ~~Through the use of sensitive grading plans and re-vegetation, create and treat cut slopes such that they will appear not to have been disturbed in the single family residential development areas.~~
6. ~~Through the use of sensitive grading plans and re-vegetation, create and treat cut slopes such that they will appear not to have been disturbed.~~
7. Through vision, experience, thoughtful planning, quality design and creativity, develop an excellent ~~commercial core mixed-use project, which is effectively new~~ that provides a comfortable and interesting experience, exciting, and different to the extent that it offers a distinctive and excellent alternative to other business, retail, and residential areas in the northern Tucson metropolitan region.

Policies

1. Oracle Road Scenic Corridor Overlay District - The subject parcel is located within the jurisdiction of the Oracle Road Scenic Corridor Overlay District (ORSCOD); therefore, it is subject to the provisions of that overlay district. The Oro Valley Town Centre PAD controls and coordinates approximately 141 acres in this corridor. With a few exceptions, this PAD complies with the ORSCOD. The primary exceptions involve five areas, listed as follows:

building heights, setbacks along Oracle Road, floor area ratio, free-standing building pads and landscape/screening treatment standards.

As stated in the ORSCOD, the intent of the ordinance is to establish the physical form and continuity of character in the ORSCOD before uncoordinated development occurs, depriving the area of its natural scenic beauty. The scenic beauty presented by the corridor consists primarily of the background views of the Santa Catalina Mountains and Pusch Ridge. This commercial portion of this project strives to protect these views by placing buildings and other site improvements in the valleys, thereby preserving ridge tops in their natural condition.

The rationale for deviating from ORSCOD in these ~~four~~five areas is discussed below:

- a. Height Limitations - The Oro Valley Town Centre at Rooney Ranch proposes various building heights necessary for one, ~~two and through~~ five story ~~development structures~~ (office buildings are limited to three (3) stories maximum) appropriate for a strong commercial core in a mixed-use neighborhood/community commercial land use designation. However, ORSCOD restricts the heights of buildings within 300 feet of the Oracle Road ROW to 18 feet. This limitation would severely constrain implementation of the General Plan and PAD policies.

Also, based on the results of the View Corridor Analysis completed for Oro Valley Town Centre, a minimum of 60% of the frontage to a depth of 300 feet along the east side of Oracle Road will be maintained as a view corridor and will not be used for building purposes. Although the buildings within 300 feet will, under this proposal, exceed 18 feet, they will not negatively affect the view corridors.

- b. Setbacks - The apparent intent is to preserve both foreground views and background views of the mountains. There are areas along Oracle Road where a 100-foot buffer is appropriate. Those areas are where the viewshed is at essentially the same elevation as the roadway. In the case of Oro Valley Town Centre at Rooney Ranch, the viewshed is the background views of the Santa Catalina Mountains and Pusch Ridge beyond the site. The dense vegetation located in a 30 foot wide strip adjacent to the right-of-way, which will for the most part be retained, limits the foreground viewshed. ~~It is the intent of the Oro Valley Town Centre at Rooney Ranch to preserve this strip of natural vegetation as a part of the overall effort to preserve significant natural vegetation on the site.~~ In short, this PAD proposes a 30-foot enhanced landscape buffer adjacent to the east right-of-way line of Oracle Road.
- c. Floor area ratio – The ORSCOD permits a floor area ratio (FAR) of .25 for sites two acres or larger. The FAR of the Oro Valley Town Centre, based on the total square footage shown will be determined at the time of final site planning but will not be limited to .25 on the TDP, and further based only on the net commercial acreage, is approximately .29. it should be noted hHowever, ~~the approximate FAR, when including the there are approximately~~ 79 acres of open space planned in Area 4 designated within this project, is .11. The project will be viewed holistically when calculating allowable FAR. ~~The purpose of these calculations is to demonstrate that this project is sensitive to the natural environment, through both the preservation of open space and the placement of commercial development in areas requiring little topographic manipulation.~~

- d. Free-standing building pads – The ORSCOD states that free-standing building pads only be permitted with a minimum of 50,000 square feet of gross floor area in the principal structure. The changes proposed to this timing issue are specifically addresses in Section (II)(B)(8).
- e. Landscape/screening treatment standards – This PAD complies with the ORSCOD landscape standards and guidelines with the one exception. The ORSCOD requires that within 100-feet of the Oracle Road right-of-way, tree species be restricted to the following: Blue and Foothills Palo Verde (*Cercidium floridum* and *C. microphyllum*), Mesquite (*Prosopis* spp.) and Ironwood (*Olneya tesota*). It further states that all introduced shrubs, accents and ground covers shall comply with the Oro Valley Approved Plant List.

Oro Valley Town Centre will announce its entries in part through the use of vegetation. As a means of creating visual interest and a unique identity for the project, each entry to the project will have a unique blend of plants and will have its own unique species of tree. In order to accomplish this, trees other than those identified in the ORSCOD must be located within 100-feet of the Oracle Road right-of-way. The species proposed are discussed in detail in Section (II), (E) of this document.

- 2. Hydrology – With any form of development comes the compaction of soils and the coverage of surfaces with impervious materials, both of which tend to reduce the ability of the ground to absorb rainfall in addition to accelerating runoff. The Oro Valley Town Centre PAD is unique in the sense that, for typical rainfall events, the runoff from the proposed development areas have a sufficient opportunity to be absorbed locally in the sand channel which transects the site (Rooney Wash). In the less common rainfall events where intensity and duration are considerable, the ground will become saturated and cause runoffs comparable to developed surfaces. In any event, it shall be the policy of the PAD to adhere to the following:
 - a. Not to disturb surfaces and vegetation in areas which will remain undeveloped.
 - b. Outside of roofed areas, streets, parking areas, and sidewalks, to minimize the use of impermeable materials on the surfaces of the developed areas.
 - c. To develop local retention in swales and other re-vegetated open spaces following the completion of development.
 - d. On larger local drainageways (in excess of 500 cfs) where stabilized side embankments may be needed to protect against erosion, the channel bottoms will be designed to maximize infiltration by leaving them as sand and gravel, cobbles, native vegetation, or a combination of the three.
 - e. On smaller local drainageways (less than 500 cfs), the design will accommodate maximum infiltration by utilizing stone, gravel and sand, and vegetation where feasible. Where not feasible, drainage may be through underground pipe systems.

f. It is the intent of Canada Del Oro Partners to bridge or cross both Rooney Wash and the unnamed wash coming from the El Conquistador Resort to the south in several places. These crossings may be in the form of clear span bridges, box culverts, pipe crossings as required by the hydrology report, and in compliance with OVZCR and the Town's Floodplain Management Ordinance. Crossing shall be for either pedestrians or vehicles.

g. A Letter of Map Amendment (LOMA) dated March 31, 2003 has been received from the Federal Emergency Management Agency. This letter indicates that the subject property is not located within a Special Flood Hazard Area (SFHA). The area is now designated as Zone X (shaded), an area of moderate flooding outside the SFHA. This letter is included in this document as Appendix D.

g.h. This project will request a detention waiver in accordance with the Town of Oro Valley Drainage Criteria Manual, Section 11.4. This project is directly adjacent to the Rooney Wash and outflows from the developed site will be demonstrated not to affect the peak flow rate within this wash.

3. Grading – Recognizing that since the adoption of Rooney Ranch Oro Valley Center PAD in February 1989, the Town of Oro Valley has adopted numerous grading ordinances and revisions to those ordinances. The intent of these ordinances and their revisions have been to protect our Sonoran Desert and to assure that any disturbance of the existing landscape would be mitigated. That is also the intent of this Grading Standard for Rooney Ranch Oro Valley Town Centre. This Grading Standard adopts the current Oro Valley Grading Ordinance with only a few exceptions. These exceptions are Section ~~15-404~~27.9.E.1 and Section ~~15-405~~27.9.E.5 of the Oro Valley Zoning Code Revised.

In large part, the area north of Rooney Wash complies with ~~Chapter 15~~Chapter 27.9 of the Oro Valley Zoning Code Revised, Grading Ordinance, with the possible exception of Section ~~15-409~~27.9.E.9, Phased Grading.

Given the nature of the property south of Rooney Wash, it will be necessary to make cuts and fills which exceed the limitations of Section ~~15-404~~27.9.E.1. A grading plan for this area is included in this PAD. Once approved by Council, ~~it shall serve as the future grading plans may generally conform to this~~ Grading Concept by which any subsequent development must comply and adhere. This plan shall be accompanied by a landscape mitigation plan defining mitigation procedures for exposed slopes.

With regard to Section ~~15-405~~27.9.E.5, 25 percent slopes will be mapped and any encroachment will be mitigated on a 1:1 basis via a set-aside of land with slopes less than 25 percent.

These considerations will allow the site to be developed and at the same time avoid scarring and other adverse visual impacts from cut, fill and any other type of ground disturbance.

It should also be noted that approximately 70% of the property south of Rooney Wash will remain in a natural, undisturbed condition. A portion of this undisturbed area will act as an approximately 800-foot buffer yard between the proposed residential development and the existing residential communities to the east of the subject property.

Refer to section (II)(D) for a detailed discussion of the grading concept.

4. Landscaping – The more specific criteria for re-vegetation of areas disturbed by approved grading follows the development proposal. However, from a general policy standpoint:

- a. All trees that can be reasonably salvaged will be boxed or transplanted by tree spade ~~immediately to a temporary on site nursery and then ultimately distributed throughout the site. These transplanted trees will be replanted and will remain to a landscape buffer area along a nearby roadway where final plans allow it to be left as a permanent part of the landscape and will be located in, including but not limited to, parking islands and landscape areas.~~ These trees will be ~~irrigated over a couple of seasons to allow them to become established and acclimated to survival on rainfall.~~ maintained by the overall property manager.
- b. ~~All other more local development projects will salvage trees from the building pads and move them to local parking islands and landscape areas by tree spade, thus utilizing the PAD area as its own nursery.~~
- e. — Salvageable trees ~~that cannot~~ will be spaded ~~shall be~~ or side-boxed.
- dc. Common Bermuda grass, mulberry trees and olive trees are specifically excluded from use in the landscaping of this PAD.
- de. For re-vegetation purposes, installation of long-term irrigation subsequent to the removal of temporary irrigation may be required.
- ef. Along Oracle Road there shall be a 30-foot landscape area (except at vehicle access points). One-third of the required landscape strip may be provided within the public right-of-way if approved by the Arizona Department of Transportation, the Zoning Administrator, and Town Engineer. Where Rooney Wash is adjacent to Oracle Road the wash in its existing state may serve as the 30-foot landscape area.
- fg. Along Pusch View Lane there shall be a 20-foot landscape area except at vehicle access points. Landscape frontage planting will be phased with construction of the road.
- gh. For the purpose of this PAD, natural open space is defined as any natural, completely undisturbed, desert area. Landscaped open space shall include all landscaped plazas, grass and trees, fountains, landscaped sidewalks within a landscaped setting, sitting areas, and landscaped areas exclusive of parking areas.
- hi. Within the landscape strip along Oracle Road and Pusch View Lane rights-of-way, a three-foot high berm or a three-foot masonry wall, or both, will be required in areas adjacent to parking.

5. Setbacks

- a. Building setbacks shall be a minimum of 5 feet from the Pusch View Lane right-of-way and a minimum of 30 feet from Oracle Road right-of-way.

6. Building Height

- a. For the purpose of this PAD and due to landform situations, building heights shall be defined as follows:

BUILDING HEIGHT OF shall mean the vertical distance measured from the grade found along the outside walls of a building to the highest point of the building, excluding any chimney. This definition applies only to a building footprint where the natural cross-slope is less than 6%.

BUILDING HEIGHT (SLOPED AREA) shall mean the maximum vertical distance measured from finished grade to the highest point of the building directly above, excluding any chimney. This definition applies only to a building footprint where the natural cross-slope is 6% or more.

- b. Architectural elements such as campaniles, clock towers, and steeples are encouraged. They may be freestanding as a campanile might be, or more commonly as an integrated part of a building or building group.
- c. Building heights shall be as defined by the Oro Valley Zoning Code Revised except C-1, C-2, C-N uses shall not exceed ~~35~~40 feet exclusive of architectural elements, ~~which elements which~~ can extend an additional ~~10~~5 feet (provided that the architecture provides visual relief to avoid bulk concerns), office uses shall not exceed ~~60~~50 feet inclusive of architectural elements (maximum of 3 stories), and hotel uses shall not exceed 75 feet inclusive of architectural elements. It is noted that the office uses are allowed a total of 5 feet of additional height compared to the other C-1, C-2, and C-N uses. These 5 feet of additional height will only be allowed for buildings that are not located directly along the Oracle Road frontage. Any office building located along the Oracle Road frontage shall not exceed 40 feet exclusive of architectural elements which can extend and additional 5 feet.

7. Signs

- a. Signs shall comply with the Oro Valley Zoning Code Revised. A comprehensive sign plan shall be developed for Oro Valley Town Centre and will comply with Chapter 28~~Section 12-104~~ of the OVZCR. The comprehensive sign plan ~~plan~~ will be submitted prior to obtaining any sign permits for the property.

8. Phasing

The residential and commercial portions of this project will be developed independently. Development may be phased within each portion of the project dependent upon market conditions.

~~Proposed Phase Associated Phase~~

~~A, B, C, or E Main Street; D and F or D and H or F and G or H and I~~

~~L J or K~~

~~Plaza~~

~~O, M, or N Pusch View Lane~~

~~Main Street~~

~~J or K Plaza~~

~~P, Q, R, S Pusch View Lane; 1st Avenue motor bridge over Rooney Wash~~

~~Residential Pusch View Lane~~

- a. A conceptual pedestrian master plan with associated conceptual landscaping and amenities (includes landscape pallet of materials to be used, approximate locations and plant types) is to be submitted with the first phase Development Plan Conceptual Site Plan and Landscape Plan.

9. Public Improvements

- a. Assessments. ~~CDO intends to~~ participated with an Oracle Road Improvement District ("ORID") and the improvements have been constructed. CDO Partners remains responsible for the assessments related to the ORID regardless of any future ownership transfers. under the following conditions:
 1. ~~No residential properties will be assessed as part of the District.~~
 2. ~~Any assessment of the commercial properties is contingent upon the adoption of this PAD.~~
 3. ~~Assessments are to be based solely on the zoning allowed by this PAD.~~
- b. The developer shall has dedicated the proposed extension of Pusch View Lane from Oracle Road to the east abutment of the bridge over Rooney Wash. All other internal roads shall remain private.
- c. ~~The developer shall participate on a pro-rata basis with respect to the right-of-way improvements, including right-of-way dedication, additional ingress/egress lanes,~~

additional travel lanes, and installation of medians and landscaping as defined by the Oracle Road Improvement District, and based on improvements recommended by the traffic impact report for this project.

10. General PAD Administration

a. This PAD is the controlling document for development of the Oro Valley Town Centre at Rooney Ranch. Any existing or future Town ordinances or regulations (including any design guidelines) that conflict with this PAD shall either not apply or shall be interpreted to allow the PAD regulations to control. In addition, the Oro Valley Environmentally Sensitive Lands Ordinance shall not apply to this PAD.

a-b. ~~All significant changes to the Oro Valley Town Centre at Rooney Ranch PAD shall be submitted to the Planning Commission and the Mayor and Council as amendments to the PAD in accordance with Article 3-1 of the Oro Valley Zoning Code Revised.~~ Any proposed changes to the PAD shall be submitted to the Planning and Zoning Administrator, who shall review the item and ascertain whether or not the change is significant based on the following criteria, 1 through 45. The Planning and Zoning Administrator may send any change to a hearing by ~~either DRB and Town Council or Planning and Zoning Commission and Town Council~~ the appropriate board, commission or Town Council. The representatives of the La Reserve Home Owner's Association and El Conquistador Homeowners Association will be notified in writing of any request made for any change to the PAD including any change requiring administrative review; they will have the opportunity to respond to such a notice and to participate in any such request for change.

For the purposes of the PAD, significant changes shall include, but not be limited to, the following:

1. Any change to the permitted use. Permitted uses shall mean ~~the primary and alternative-all~~ uses contained permitted in the PAD submittal.
2. Any change, modification or deletion to an approved PAD policy.
3. Any change to the development standards or zoning conditions set forth in the PAD, including proposed changes to height, setbacks, open space requirements, parking, floor area ratios, and density, as defined in this PAD.
4. Any change to the Tentative Development Plan (TDP) included as part of this rezoning, which would vary any material terms or conditions of the rezoning, which would modify any proposed density standards, ~~any kinds of street or land improvements proposed affecting the standards for vehicular circulation, signs and nuisance controls intended for the development.~~ DRB shall also review changes to the TDP. It is noted that the Illustrative Site Plans included in this package are meant to conceptually illustrate how the site might be developed and any changes to these plans would not require an amendment to the PAD.

b-c. Nothing in this section shall be deemed to authorize the Planning and Zoning Administrator to modify or approve any aspects of development reserved to the

Development Review Board, ~~pursuant to Article 3-3 of the Oro Valley Zoning Code Revised.~~

e.d. All ~~conceptual site plans~~ development plans, preliminary plats and submittals shall conform to the standards contained in Oro Valley Zoning Codes in effect at the time of that submittal, ~~which are not specifically modified by the provisions of the PAD. provided those standards do not conflict with any provisions of this PAD. If any conflict arises, the PAD document shall control.~~

d.e. Where an interpretation of the PAD is required, OVZCR Section 21.4.A and B ~~Section 1-502(l)~~ shall govern.

e.f. The Oro Valley Town Centre PAD may be amended from time to time. Proposed amendments shall be submitted by the owners of a development area to the Planning Commission and Town Council as outlined in Section 22.3 ~~Article 3-4~~ of the Oro Valley Zoning Code Revised.

f.g. If any provision, sentence, clause, section or subsection or phrase of this PAD is for any reason held to be invalid or unconstitutional, such decision shall not affect the validity of the remaining portion or portions of this PAD.

g.h. Where the PAD document is silent on an issue, OVZCR shall prevail.

11. Conceptual Site Plan Development Plan and/or Preliminary Plat Review

a. ~~The PAD shall be implemented via Conceptual Site Plans (formerly known as Development Plans and Preliminary Plats) as provided in the OVZCR. Any Conceptual Site Plans prepared for this PAD shall be in conformance with the provisions of the PAD and the Tentative Development Plan. The PAD will likely be developed in phases. As such, Conceptual Site Plans may be prepared for review and approval that address only the phase or portion of the PAD that is currently being developed. PAD shall be implemented via Development Plans and/or Preliminary Plats as provided in the OVZCR, Chapter 26. Any Development Plan or Preliminary Plat prepared for this PAD shall be in conformance with the provisions of the PAD and the Tentative Development Plan.~~

~~The PAD will likely be developed in phases. As such, Development Plans and/or Preliminary Plats may be prepared for review and approval that address only the phase or portion of the PAD that is currently being developed. PAD shall be implemented through Development Plan and/or Preliminary Plat review as provided in the OVZCR, Articles 3-3 and 4-5. The developer shall have the ability to determine the extent of any area to which a development plan and/or preliminary plat will apply, subject to the requirement that such individual development plans and/or preliminary plats shall be consistent with and implement the PAD and Tentative Development Plan (TDP).~~

~~The PAD will be approved with the TDP, and final development plans and/or preliminary plats will be processed for individual portions of the PAD area as they are developed.~~

C. PLANNED AREA DEVELOPMENT PROPOSAL

General

Keeping in mind the mixed use/~~commercial~~ core concepts discussed in the Project Overview Section, the Proposal Section deals specifically with the areas of development, their primary uses, and ~~the alternative uses as well as~~ development criteria.

Commercial Areas 1 & 2 (Commercial)

The limits of the Commercial Areas 1 & 2 are established on Exhibit CC-1. The more intense commercial activities ~~front on Oracle Road and Pusch View Lane near the intersection are located in these two areas.~~ The land use mix includes retail, including outdoor sales, theaters (movies and live) financial institutions, convenience uses, office, multi-family and hotel. These Commercial Areas will be allowed all uses permitted within the CN, C-1, and C-2 standards of the Oro Valley Zoning Coded Revised ("OVZCR"). All uses in the CN, C-1 and C-2 zoning districts which require a CUP shall also be permitted, provided the CUP is obtained through the Town's CUP process. In addition, a maximum of 15.5 acres may be used for multi-family/residential purposes with a maximum of 300275 multi-family/residential dwelling units are permitted. No more than three "Convenience Uses" as defined in the Oro Valley Convenience Use Ordinance shall be allowed. There shall be no fast food, drive-through or drive-in restaurants, gas stations, or car washes allowed unless specifically permitted by Mayor and Council. The combined commercial areas defined as areas 1 & 2 contains approximately 45.732.3 acres.

<u>Primary Uses</u>	<u>Restaurants, Hotels/Motels, Financial Institutions, Health Club, Lounge, Retail Center (C-2) including Outdoor Display, Theaters (including movies and live performances), Retail/Convenience Use subject to OVZCR Convenience Use Ordinance 9-110 (except 9-110Q), Business and Professional Offices, Multi-Family Residential (to be located on second stories of commercial buildings). Convenience Uses shall not require a conditional use permit, as the policies and conditions of the Oro Valley Town Centre PAD negate the need for a conditional use permit.</u>
<u>Prohibited Uses</u>	<u>Sanatorium, Auto Services (unless in conjunction with new auto sales and service bays are adequately screened from Oracle), Taxidermist, Pool Hall (unless in conjunction with a permitted restaurant use), Fortune Telling, Lumberyard, Helistop, Adult Book Store, Adult Theatre, Adult Amusement Facility, Pawn Shop, Flea Market, and Junk Yard.</u>

Development Criteria

1. Setbacks -
 - a. From Oracle Road right-of-way - 30 foot minimum ~~(Except where buffered by Rooney Wash).~~
 - b. From Pusch View Lane right-of-way - 5 foot minimum.
2. Building Heights - Maximum of ~~35~~40 feet for all buildings plus an additional ~~5~~40 feet for architectural statements. Office uses shall be limited to a 560 foot maximum height inclusive of architectural statements (Maximum of 3 stories). Hotel uses shall be limited to a 75 foot maximum height inclusive of architectural statements. It is noted that the office uses are allowed a total of 5 feet of additional height compared to the other C-1, C-2, and C-N uses. These 5 feet of additional height will only be allowed for buildings that are not located directly along the Oracle Road frontage. Any office building located along the Oracle Road frontage shall not exceed 40 feet exclusive of architectural elements which can extend and additional 5 feet.

3. Maximum Density - Floor Area Ratio of .40. Floor Area Ratio is the ratio of gross building floor area to the net lot area of the building site.
4. Minimum Landscape Requirements - ~~25 percent (subject to "I" of the Landscape Policy).~~ 15 percent minimum. No buffer yards will be required between similar uses. A minimum 15 foot Buffer Yard A shall be located along the rear property line. A 6 foot high wall shall be constructed the full length of the rear property line next to La Reserve, with landscaping provided on the Oro Valley Town Centre side of the wall as well as the La Reserve side of the wall. The landscaping on the La Reserve side of the wall shall be consistent with the existing La Reserve landscaping and color scheme.
5. Parking Requirements – ~~Parking shall comply with OVZCR Chapter 27.~~ Developer shall provide parking per a shared parking study, approved by Town staff.
6. Outdoor Displays - with the following conditions:
 - a. Subject to OVZCR ~~Chapter 25, 1.A Section A.4 § 9-118.~~
 - b. ~~The outdoor display area shall be clearly delineated by architectural features, and shall be screened by significant architectural elements such as arcading, columns etc. A minimum 6-foot wide sidewalk area shall remain clear for pedestrian circulation. Outdoor displays shall not be permitted within 6 feet of the entry doors.~~
 - c. ~~No items in the outdoor display area shall exceed six feet. (Plants, shrubs, trees, landscape display presentations, and items with significant vertical elements.)~~
 - d. ~~No outdoor display items shall be left out overnight. Plants, shrubs, trees, and landscape display presentations are exempt from this requirement.~~
 - e. ~~Outdoor storage of items is prohibited. Delivery items shall be placed within the store by the end of the business day.~~
 - f. ~~Seasonal outdoor sales events, such as Christmas tree sales, outside of the designated outdoor display area shall be subject to a Special Use Permit under the OVZCR.~~
 - g. ~~Outdoor display signage shall not include fluorescent or iridescent colors, and shall be limited to four square feet in size per display.~~
 - h. ~~Review and Regulation of Outdoor Displays—Outdoor displays shall be subject to the review and regulation of the Planning and Zoning Administrator of the Town of Oro Valley. A violation of the above outdoor display criteria shall result in a written violation notification addressed to the store manager.~~

~~Upon a violation of the outdoor display criteria, the offending party will be given a written notice of violation, and a copy of the notice shall be posted on the offending item(s). If the violation is not corrected within 72 hours, the offending party shall be issued a citation, and a copy of the citation shall be posted on the offending item(s).~~

- ~~• Upon five citations within a one-year period the Planning and Zoning Administrator shall review the outdoor display privileges of the offending party, and the party will be notified in writing of the review. The Planning and Zoning Administrator may suspend or revoke the outdoor display privileges of any or all items of the offending party. The Planning and Zoning Administrator will notify the party in writing of his or her decision within two weeks of the notice of review of outdoor display privileges. The decision of the Planning and Zoning Administrator may be appealed to the Board of Adjustment.~~

7. Pedestrian Connectivity

Hardscape design and pedestrian pathways are an integral component of the project. The movement of pedestrians throughout the development is intended to be comfortable and interesting. This will be done through the use of:

- Pedestrian paths and connections that are generally landscaped with canopy shade trees paralleling the walkway. Undergrowth, consisting of shrubs placed in alternating clusters and rows with strategically placed living ground covers will be included where feasible.
- Crosswalks will be enhanced by a landscaping focal point that features an accent tree with either shrubs and/or flowing ground cover.
- Hardscape designs involving decorative concrete or paving where adjacent to buildings and at entry drives.

A multiuse pathway will be included along the Rooney Wash similar in size and scale to the pathways depicted in the illustrative site plans.

Commercial Area 3 (Commercial)

The limits of the Commercial Area are established on Exhibit CC-1. ~~The more intense commercial activities front on Oracle Road and Pusch View Lane near the intersection.~~ The land use mix includes retail, including outdoor sales, theaters (movies and live) financial institutions, convenience uses, office, multi-family and hotel. No more than three "Convenience Uses" as defined in the Oro Valley Convenience Use Ordinance shall be allowed. There shall be no fast food, drive-through or drive-in restaurants, gas stations, or car washes allowed unless specifically permitted by Mayor and Council. The area contains approximately ~~45.7~~13.4 acres.

Primary Uses Restaurants, Hotels/Motels, Financial Institutions, Health Club, Lounge, Retail Center (C-2) including Outdoor Display, Theaters (including movies and live performances), Retail/Convenience Use subject to OVZCR Convenience Use ~~Ordinance 9-110~~Section 25.1 (except ~~9-110Q25.1.G.3.a~~), Business and Professional Offices, Multi-Family Residential (to be located on second stories of commercial buildings). Convenience Uses shall not require a conditional use permit, as the policies and conditions of the Oro Valley Town Centre PAD negate the need for a conditional use permit.

Development Criteria

1. Setbacks -
 - a. From Oracle Road right-of-way - 30 foot minimum.
 - b. From Pusch View Lane right-of-way - 5 foot minimum.
2. Building Heights - Maximum of 35 feet for all buildings plus an additional 10 feet for architectural statements. Hotel uses shall be limited to a 75 foot maximum height inclusive of architectural statements.
3. Maximum Density - Floor Area Ratio of .40. Floor Area Ratio is the ratio of gross building floor area to the net lot area of the building site.
4. Minimum Landscape Requirements - 25 percent (subject to "I" of the Landscape Policy). No buffer yards will be required between similar uses. A minimum 15 foot Buffer Yard A shall be located along the rear property line. ~~A 6 foot high wall shall be constructed the full length of the rear property line next to La Reserve, with landscaping provided on the Oro Valley Town Centre side of the wall as well as the La Reserve side of the wall. The landscaping on the La Reserve side of the wall shall be consistent with the existing La Reserve landscaping and color scheme.~~
5. Parking Requirements – Parking shall comply with OVZCR Chapter 27.
6. Outdoor Displays - with the following conditions:
 - a. Subject to OVZCR ~~§ 9-118~~Chapter 25, Section A.4.
 - b. The outdoor display area shall be clearly delineated by architectural features, and shall be screened by significant architectural elements such as arcading, columns

etc. A minimum 6-foot wide sidewalk area shall remain clear for pedestrian circulation. Outdoor displays shall not be permitted within 6 feet of the entry doors.

- c. No items in the outdoor display area shall exceed six feet. (Plants, shrubs, trees, landscape display presentations, and items with significant vertical elements.)
- d. No outdoor display items shall be left out overnight. Plants, shrubs, trees, and landscape display presentations are exempt from this requirement.
- e. Outdoor storage of items is prohibited. Delivery items shall be placed within the store by the end of the business day.
- f. Seasonal outdoor sales events, such as Christmas tree sales, outside of the designated outdoor display area shall be subject to a ~~Special~~ Use Permit under the OVZCR.
- g. Outdoor display signage shall not include fluorescent or iridescent colors, and shall be limited to four square feet in size per display.
- h. Review and Regulation of Outdoor Displays - Outdoor displays shall be subject to the review and regulation of the Planning and Zoning Administrator of the Town of Oro Valley. A violation of the above outdoor display criteria shall result in a written violation notification addressed to the store manager.

Upon a violation of the outdoor display criteria, the offending party will be given a written notice of violation, and a copy of the notice shall be posted on the offending item(s). If the violation is not corrected within 72 hours, the offending party shall be issued a citation, and a copy of the citation shall be posted on the offending item(s).

Upon five citations within a one-year period the Planning and Zoning Administrator shall review the outdoor display privileges of the offending party, and the party will be notified in writing of the review. The Planning and Zoning Administrator may suspend or revoke the outdoor display privileges of any or all items of the offending party. The Planning and Zoning Administrator will notify the party in writing of his or her decision within two weeks of the notice of review of outdoor display privileges. The decision of the Planning and Zoning Administrator may be appealed to the Board of Adjustment.

Residential Area 4 (Residential)

The Residential Area is proposed as a single family, detached, gated development and is depicted on Exhibit CC-1. The area contains 95.4 acres.

Primary Uses Recreational facilities (HOA maintained) and single family residential

Development Criteria

1. Setbacks - Front - 20 feet
Rear - 12 feet
Side - 5 feet (corner lots add 5 feet).

For the homes closest to El Conquistador, the homes shall be set back at least 100 feet from El Conquistador's northern property line. Patio walls and swimming pools shall be allowed within 20 feet of the El Conquistador northern property line.

2. Building Height – Single family residential - 25 feet; residential homes closest to El Conquistador and along Oracle Road (Lots 10, 11, and 27-41, as shown on the TDP) shall be limited to 18 feet.
3. Maximum Number of Units: 65.
4. Minimum Lot Size: 15,000 square feet.
5. Average Lot Size: 20,000 square feet.
6. Minimum Landscaping Requirement - 25 percent of gross land area. A minimum 100 foot natural buffer yard shall be required along the ROW for Oracle for residential development.
7. Parking Requirement - Per Oro Valley Zoning Code, Revised.
8. Outdoor Displays -There shall be no outdoor displays.

- ①  Area #1 (Commercial) — ± 27.8 Acres
- ②  Area #2 (Commercial) — ± 4.5 Acres
- ③  Area #3 (Commercial) — ± 13.4 Acres
- ④  Area #4 (Residential) — ± 95.4 Acres

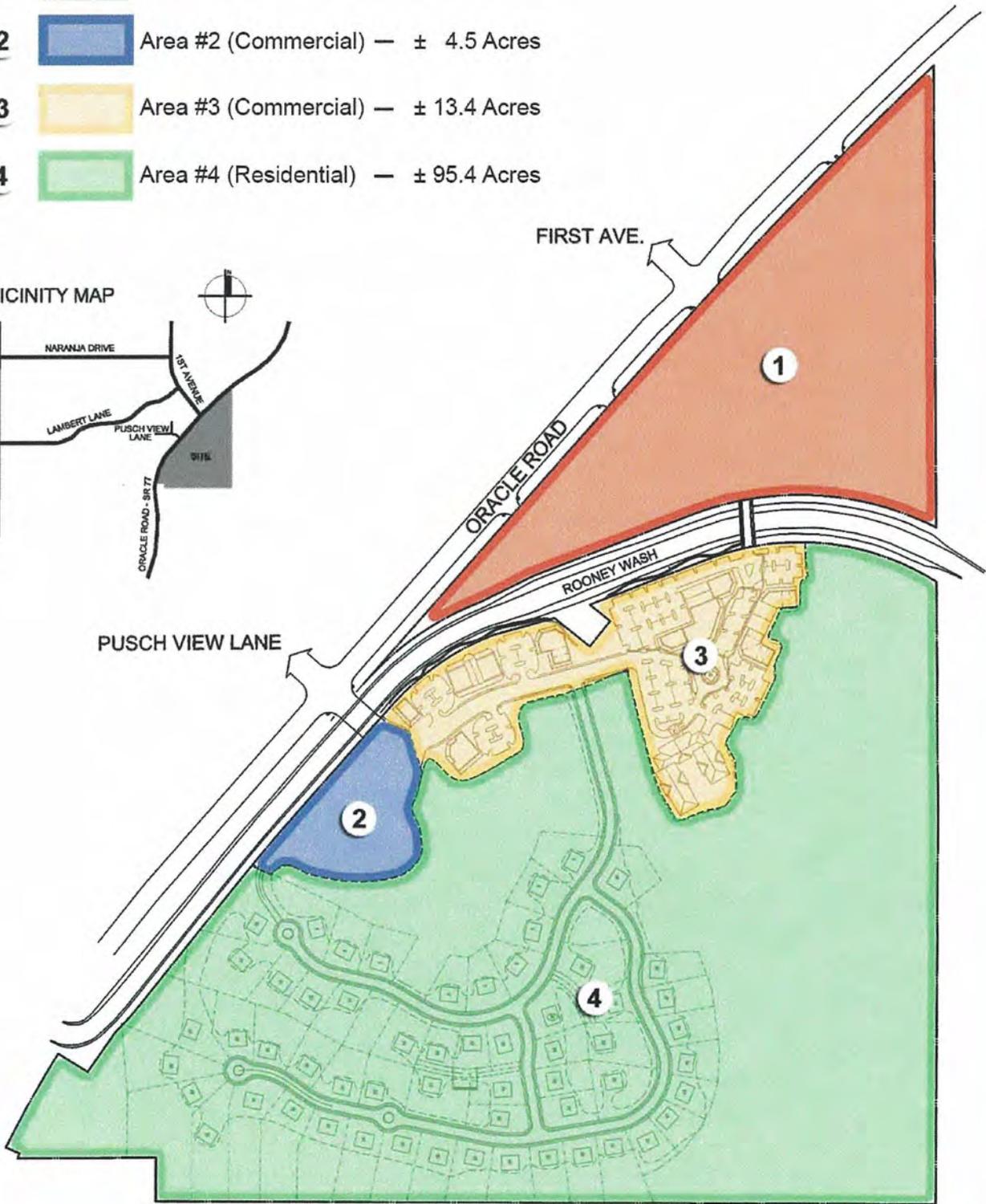


Exhibit CC-1
Limits of Commercial/Residential Areas

04152 03.14.11



ORO VALLEY *Towne Center*
ORACLE ROAD & FIRST AVENUE
TOWN OF ORO VALLEY, ARIZONA



D. CONCEPTUAL GRADING CONCEPT

1. General - All of the areas of the Oro Valley Town Centre will have some building pad and surface drainage alterations as would any typical development project.
 - a. Standards. The following grading standards (demonstrated in graphic format in Exhibits DD-4 thru DD-8) apply to Oro Valley Town Centre at Rooney Ranch:
 - The general thrust of the grading concept is to utilize contour grading and landscaping techniques in the creation of cut slopes to achieve appearances that emulate natural, undisturbed slopes.
 - All disturbed areas with 3:1 slopes or less will be re-vegetated or landscaped to control dust and stabilize the slope. The intent is to restore disturbed slopes to a condition that emulates the pre-disturbed condition. ~~The methodology used shall be consistent with the requirements as outlined in Exhibit DD-7. This methodology involves planting disturbed slopes with a minimum of 12 trees, 30 shrubs and 35 accents per every 10,000 square feet of graded area.~~
 - 25 percent slopes will be mapped and any encroachment will be mitigated on a 1:1 basis via a set-aside of land with slopes less than 25 percent.
 - ~~Long slopes will be designed to include bench terraces.~~ Terraces, walls or other approved treatment shall be required for cut and fill slopes greater than 10 feet in height. Refer to Exhibit DD-9 for a depiction of a ~~terraced~~-retaining wall.
 - The overall shape, height and grade of any cut or fill slope will be designed to simulate the existing natural contours and scale of the natural terrain of the site.
 - ~~In situations where cut or fill slopes are greater than 5 feet in height and exceed 100 feet in length, the contours of the slope will be manipulated and curved in an undulating fashion in order to reflect the natural terrain.~~
 - Rounded edges and smooth transitions will be utilized so that grading blends into the existing topography.
 - Careful site planning will minimize the potential for erosion, flood hazards or unsightly scars.
 - Vegetation in the bottom of the fill areas will be salvaged and reused on re-sculptured cut embankments and along rights of way.
 - This project will be developed in phases; grading of the site will generally follow these phases but there may be situations where larger areas should be disturbed prior to immediate development to balance the cut/fill calculations thereby minimizing the import and export of fill to the site. ~~, ensuring that only areas under immediate development are disturbed.~~ Furthermore, all graded areas shall be ~~re-vegetated~~, stabilized and/or constructed prior to the expiration of the grading permit. If any

portion of the phase is not developed within 12 months, the salvaged vegetation not used on the developed portion of the site shall be replanted on the undeveloped portion of the site in a temporary nursery located on the site.

- Cut slopes will be sculpted and re-vegetated to emulate naturally existing slopes.
- Create undulating slope banks and vary gradients to assist in the creation of slopes with natural appearances.
- Seeding and erosion control techniques shall be employed, such as wood fiber hydromulch, drilled seed with straw mulch and jute matting.
- Where possible, shielded cuts will be utilized.
- In the Residential Area, restrict cuts to particular sites where possible and make efforts to minimize cuts.
- Driveway slopes shall not exceed 14% within the right-of-way and 20% outside the right-of-way.

b. 25% Slope. No localized slope in excess of 25 percent, as designated by Exhibit B-1, topography and slope analysis may be graded or disturbed, except as provided in the attached grading plan. It is recognized that Exhibit B-1 may not be completely accurate and the developer shall resubmit a more accurate exhibit at the time of Conceptual Site Plan Development Plan submittal or Preliminary Plat submittal, which depicts all 25 percent or greater slopes. This exhibit shall be based on an in-field survey and staked in the field for review and verification by the Town Engineer prior to approval of development.

Slopes in excess of 25 percent may be graded as shown on the attached grading plan.

c. Compliance with Grading Ordinance. In large part, the property north of Rooney Wash complies with Chapter 15 Section 27.9 of the Oro Valley Zoning Code Revised, Grading Ordinance, with the possible exception of Section 15-40927.9.E.9, Phased Grading.

d. Open Space Buffer. It should also be noted that approximately 70% of the property south of Rooney Wash will remain in a natural, undisturbed condition. A portion of this undisturbed area will act as an approximately 800-foot buffer between the proposed residential development and the existing residential communities to the east of the subject property.

2. Average Cross Slope: The average cross slope for the site has been calculated as follows:

$$\text{ACS} = \frac{2 (\text{Contour Interval}) \times 523,081 (\text{Length of Contour Lines}) \times .0023}{141.12 (\text{Area in Acres})}$$

= 17.04%

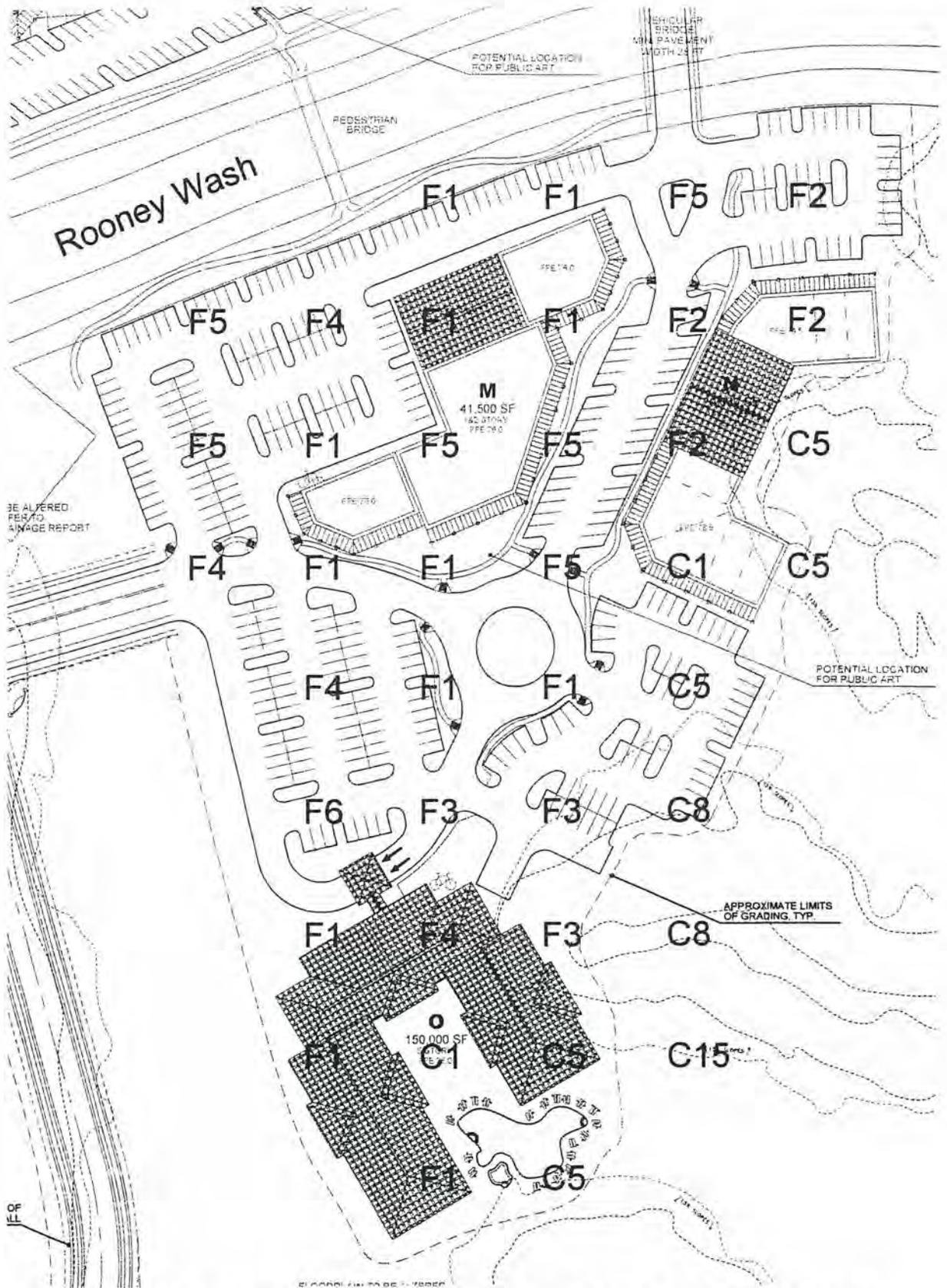


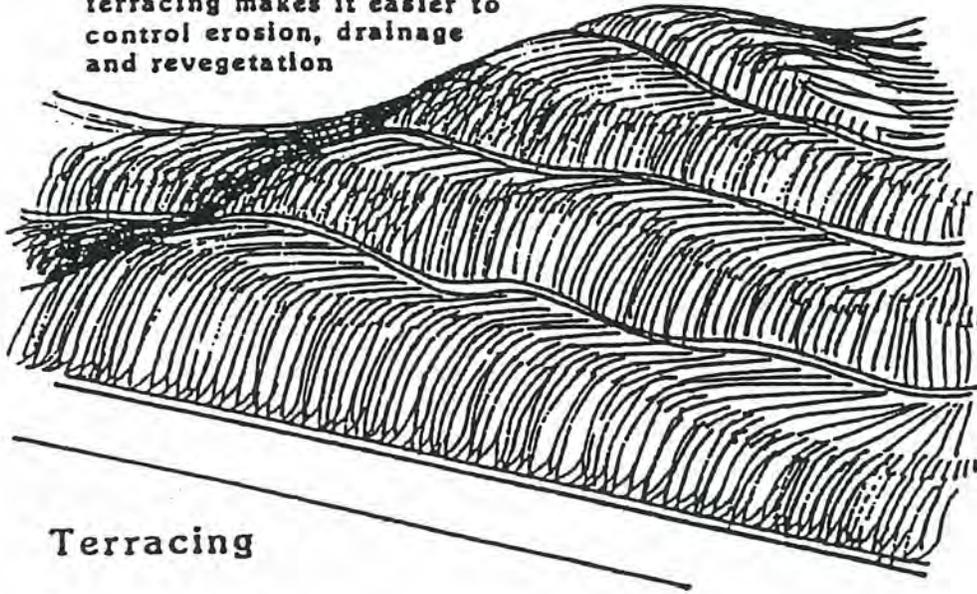
EXHIBIT DD-3: APPROXIMATE CUT & FILL AMOUNTS (SOUTHEAST QUADRANT OF COMMERCIAL AREA)

TOTAL ADJUSTED CUT: ±35,000 Cu. Yds.
TOTAL ADJUSTED FILL: ±90,000 Cu. Yds.
IMPORT REQUIRED: ±55,000 Cu. Yds.
 (IMPORT TO BE RECEIVED FROM SOUTHWEST QUADRANT)

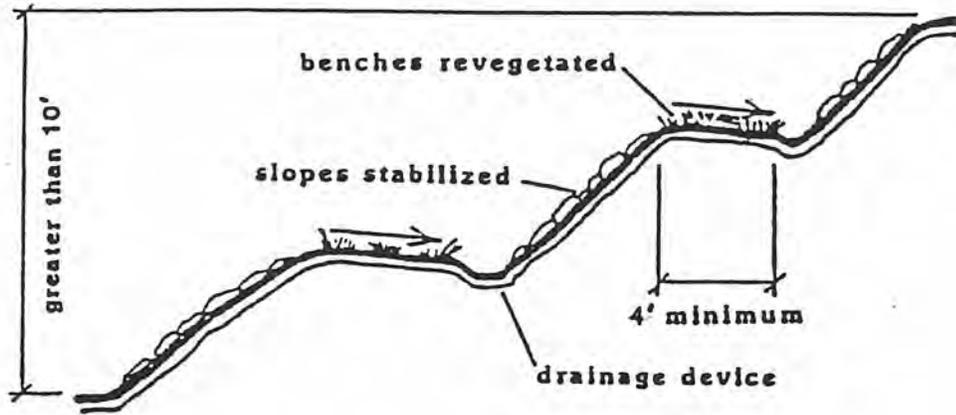
NOT TO SCALE



terracing makes it easier to control erosion, drainage and revegetation



Terracing



terrace section

EXHIBIT DD-6: GRADING AND TERRACING TECHNIQUES

Exhibit DD-7 Intentionally Deleted

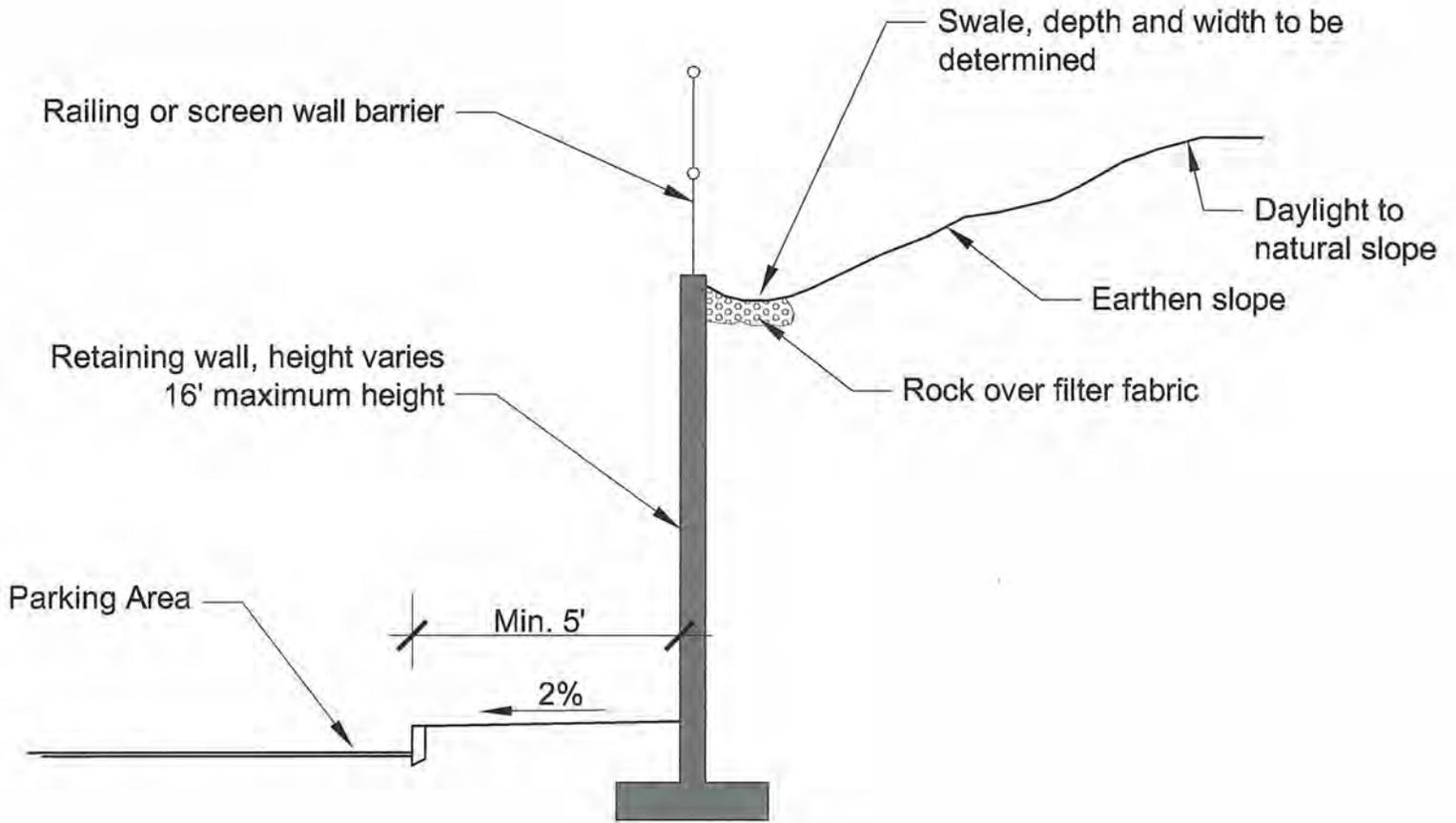


EXHIBIT DD-8: RETAINING WALL

E. PROJECT DESIGN CRITERIA

The purpose of these design guidelines is to provide an overall framework for development and to create a cohesive project at Oro Valley Town Centre. The guidelines will provide standards for architectural style, landscape standards, height, colors, exterior materials, a process for approval for all development projects and construction regulations. The Town's Design Standards, adopted March 2011, shall take precedence in situations where the PAD Land Use Proposal, the PAD Project Design Criteria, the PAD Exhibits, and/or the Illustrative Site Plans (in relation to Site Design Standards illustrated on the plans) are silent.

1. ARCHITECTURAL DESIGN CRITERIA

a. Statement of Intent:

The architectural style for Oro Valley Town Centre at Rooney Ranch is intended to contribute to and create a sense of place. The architectural flavor for this project will include specific elements that create a pleasing and attractive quality to the buildings. The character of the architecture is regional in form, derived from the regional historical styles. The intended project architectural character is illustrated by ~~the rendering~~ representative imagery of commercial, retail and office buildings, Exhibit EE-3. Building forms respond to and support the planning concepts, functional uses, environmental conditions and views toward the Catalina Mountains.

b. General Commercial Zone Design Criteria

The criteria discussed in this section apply to all architectural elements contained within the Oro Valley Town Centre Commercial Zone.

i. Design Standards

- Buildings will respond to their proposed use with a combination of massing, shapes and materials that will create an authentic, enjoyable place for shopping, working or relaxing.
- All buildings should have proportions and an overall scale that relates to the pedestrian. If the building height exceeds 18 feet, molding, trimming, and/or running relief work shall be applied to the façade between 15 and 20 feet above-grade to break up the building elevation. An over-head shade structure may be used to meet these criteria.
- Outdoor gathering spaces / common open spaces shall be provided throughout the site, similar in size scope and design to those depicted in Exhibit C-2. A minimum of 2% of the development shall consist of outdoor gathering spaces or common open spaces similar to those depicted in Exhibit C-2.
- ~~Building placement is such that it creates outdoor spaces where people may gather for activities~~
- ~~The base of buildings shall be accented by a transition in material, an applied molding, pedestal, and/or plinth.~~

- Buildings shall be placed close to the adjoining street and any breaks between buildings shall be wide enough to allow for pedestrian movement while at the same time restricting vehicular access. Where necessary, pedestrian sidewalk may be widened to allow for outdoor restaurant seating.
- Buildings are to use a multi-color palette to enhance the architectural detailing of the facades, i.e., reliefs, cornices, architraves, friezes, lintels, sills, trim, applied columns, pilasters and blind arcades.
- Finished building material must be applied to all exterior sides of buildings and structures ~~that face public streets~~. Each material will be used to express its characteristics in an appropriate manner with colors and textures compatible with the natural surroundings and other buildings and structures in the general vicinity.
- Flat roofs shall have a parapet that extends past the roofline and must hide all vent pipes and other mechanical systems protruding above the plane of the roof. Parapets must have an entablature consisting of a cornice, frieze and architrave. The cornice and architrave must be distinguishable from the frieze and the rest of the building by a change in material and/or color. Colors with a low light reflectivity value shall be used on flat roofs.
- Fenestrations should be recessed to allow a break in the building façade and provide articulation. All openings should be accented by trim, lintels, and/or sills, which should be accentuated by a different use of materials and/or color. Fenestrations should comprise the majority of the main entry elevation.
- Entryways should be recessed to break up the main building façade and should utilize archways ~~and-or~~ vaulted ceilings to provide further articulation.
- Where pedestrian access is planned, overhead shading should be provided. Acceptable shading strategies include overhead vegetation, awnings, trelliswork, arcades or a variation thereof. This will provide weather protection and further serve to articulate building facades and streetscape character.
- Roof lines will vary through elevation changes.
- Heights and massing should be varied in order to provide visual relief and to maintain views.
- Color selection is to reflect the rich and varied colors of the desert.

ii. Exterior Colors

- ~~Plans and specifications submitted to the Architectural Review Committee must include detail of the exterior color scheme including all exterior surfaces.~~ Exterior surfaces must be compatible with the other buildings in the neighborhood.
- ~~Any repainting or redecorating of exterior surfaces will also require submission of a color~~

~~scheme to the Architectural Review Committee for approval.~~

iii. Building Materials

- Finished building materials must be applied to all exterior sides of buildings and structures. Each material will be used to express its characteristics in an appropriate manner with colors and textures consistent with the architectural character of the project and expressed in Exhibits EE-1, 2 and 3 and compatible with the natural surroundings and other buildings and structures in the general vicinity.
- Permitted exterior finished materials include plastered unit masonry, adobe, slump, split or textured decorative block, and rough sawn wood. Other materials may be approved ~~by the Architectural Review Committee~~. Accent panels of wood or brick may be utilized ~~if approved by the Architectural Review Committee.~~
- ~~If C~~ construction materials, such as tilt-up concrete, smooth-faced concrete block, prefabricated steel panels, and other similar material ~~shall be avoided~~ are utilized, then, unless the exterior surface is to be covered with an architectural treatment, acceptable to the Architectural Review Committee.

iv. Roofs

- "Built-up" type roof covering materials shall not be visible from ~~view as determined by the Architectural Review Committee~~ Oracle Road.
- Generally acceptable roof covering materials shall be standing seam steel, concrete tile, or clay tile. ~~Other materials may be approved by the Architectural Review Committee.~~ Colors must conform to the overall natural desert color palette ~~and must be approved by the committee.~~
- Overhead screens, shade covers, patio roofs, and other similar structures shall be constructed of materials and color to match or complement the main roof.
- Colors and materials with a low light reflectivity value (not to exceed 50%) shall be used on flat roofs.
- The exterior visible portion of a skylight must be bronze or a similar dark color to blend in with the colors of the roof. The interior of the skylight may be white or a light color.
- All vent pipe stacks and any equipment protruding above the plane of the roof and visible from neighboring property must be painted and/or screened to match the roof ~~as approved by the Architectural Review Committee.~~

c. COMMERCIAL ZONE – SPECIFIC AREA CRITERIA

The criteria discussed in this section are specific to sub-areas with the Oro Valley Town Centre ~~and include the mini-department store area, the hotel area and the main street area~~ as shown on the map.

i. **Mini-Department Store and Hotel Area Areas 1 and 2 (Commercial)**

~~These two areas have~~ This area has been grouped together due to the relative similarity in size of the proposed buildings.

~~In addition to the general criteria outlined Section (E)(1)(b)(i) – General Commercial Zone Design Criteria, the following additional criteria apply to the Mini-Department Store and Hotel Areas:~~

- ~~Facades and Exterior Walls - The buildings~~ shall be designed in such a way that reduces the mass and impersonal appearance of the buildings and will provide visual interest consistent with the character, identity and scale of Oro Valley Town Centre. Long building walls shall be broken up with projections or ~~recessions~~ recessions with depths of at least three (3) percent of the façade length along all sides of the building.
- ~~Detail Features - Provide architectural features that contribute to visual interest at the pedestrian scale and reduce the massive aesthetic effects by breaking up the building wall, front, side or rear with color, texture change, wall offsets, reveals or projecting ribs. Utilize pedestrian-scale features at ground level, such as planters and benches.~~
- ~~Entryways - The building design shall provide design elements that provide users of the building orientation on accessibility and that add aesthetically pleasing character to buildings by providing clearly defined, highly visible building entrances.~~
- Pedestrian Connectivity – Hardscape design and pedestrian pathways are an integral component of the Commercial Area development. The movement of pedestrians throughout the development is intended to be comfortable and interesting. This will be done through the use of the following:
 - Pedestrian paths and connections that are generously landscaped with a canopy of shade trees planted in widened landscaped areas paralleling the walkway. Undergrowth, consisting of shrubs placed in alternating clusters and rows with strategically placed living ground covers, will be included where feasible.
 - Crosswalks will be enhanced by a landscape focal point that features an accent tree with shrubs and/or flowering ground cover.
 - Pedestrian inter-connectivity between all commercial areas creates an integrated feel to the overall commercial development.
- ~~For the mini-department store, OVZCR Chapter 16, Sections 16-103(4)(a-c) shall apply.~~

ii. **Mini-Department Store and Hotel Area 3 (Commercial)**

~~This~~ ese two ~~areas have~~ s been grouped together due to the relative similarity in size of the proposed buildings.

In addition to the general criteria outlined Section (E)(1)(b)(i) – General Commercial Zone Design Criteria, the following additional criteria apply to ~~the Mini-Department Store and Hotel Areas #3:~~

- Facades and Exterior Walls - The building shall be designed in such a way that reduces the mass and impersonal appearance of the building and will provide visual interest consistent with the character, identity and scale of Oro Valley Town Centre. Long building walls shall be broken up with projections or recessions with depths of at least three (3) percent of the façade length along all sides of the building.
- Detail Features - Provide architectural features that contribute to visual interest at the pedestrian scale and reduce the massive aesthetic effects by breaking up the building wall, front, side or rear with color, texture change, wall offsets, reveals or projecting ribs. Utilize pedestrian-scale features at ground level, such as planters and benches.
- Entryways - The building design shall provide design elements that provide users of the building orientation on accessibility and that add aesthetically pleasing character to buildings by providing clearly defined, highly visible building entrances.
- ~~For the mini-department store, OVZCR Chapter 16, Sections 16-103(4)(a-c) shall apply.~~

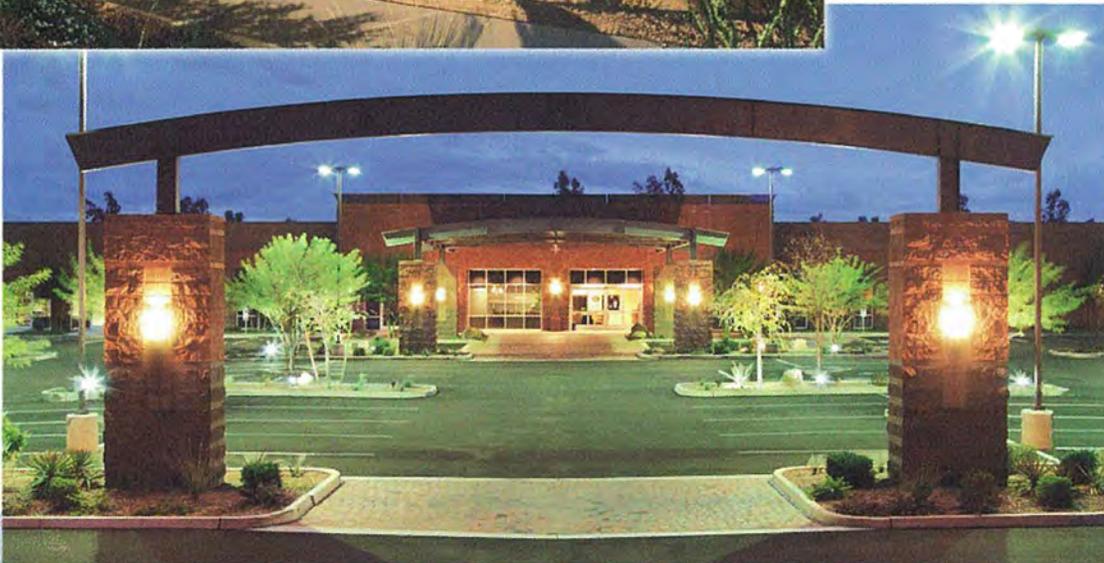
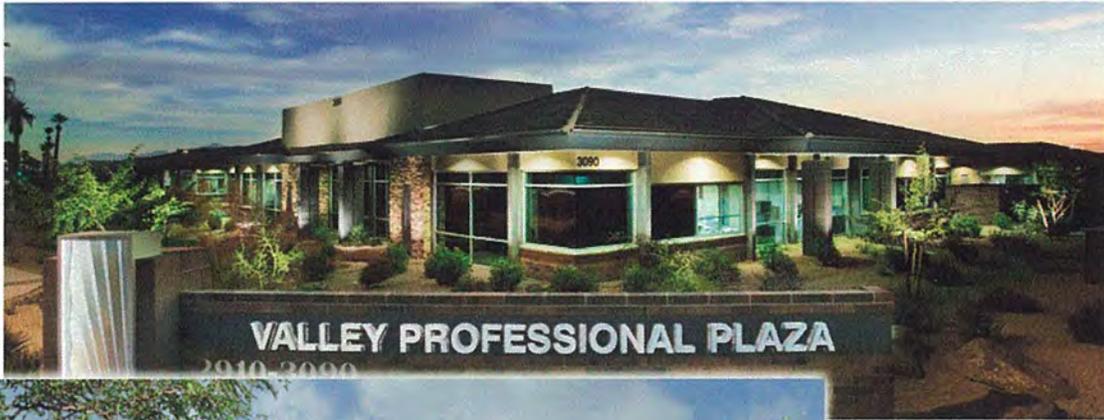
ii. Main Street Area

In addition to the general criteria outlined Section (E)(1)(b)(i) — General Commercial Zone Design Criteria, the following additional criteria are proposed to apply to the Main Street Area.

Continuity of Architectural Forms and Elements and Recognition of Experience/Sense of Place— The Statement of Intent and Overall Design Criteria (described earlier in Section E of this PAD) provide the specific architectural guidelines for this area; however, due to the presence of the main street area as a focal point within the development and due to the fact that its elements serve significantly in the creation of a sense of place and unique identity for Oro Valley Town Centre, its importance cannot be overstated. In order to convey a character synonymous with a traditional main street theme, the backbone of the development, this area depends heavily on architectural articulation, attention to scale, connectivity of architectural elements and buildings that stand close to the street for the establishment of a character synonymous with a traditional main street theme. The intent of the area is to provide the user of the space, whether they be moving through as a pedestrian or traveling through in a vehicle, with an experience founded upon the design principles of New Urbanism. As such, it is particularly important that the buildings in the main street employ as many of the design criteria outlined in this section as possible.

As a means of further guiding the development and creation of the main street experience, photographs, character vignettes and an architectural rendering have been included in this PAD as Exhibits EE 1, 2 and 3. These exhibits depict many key architectural elements, including the following:

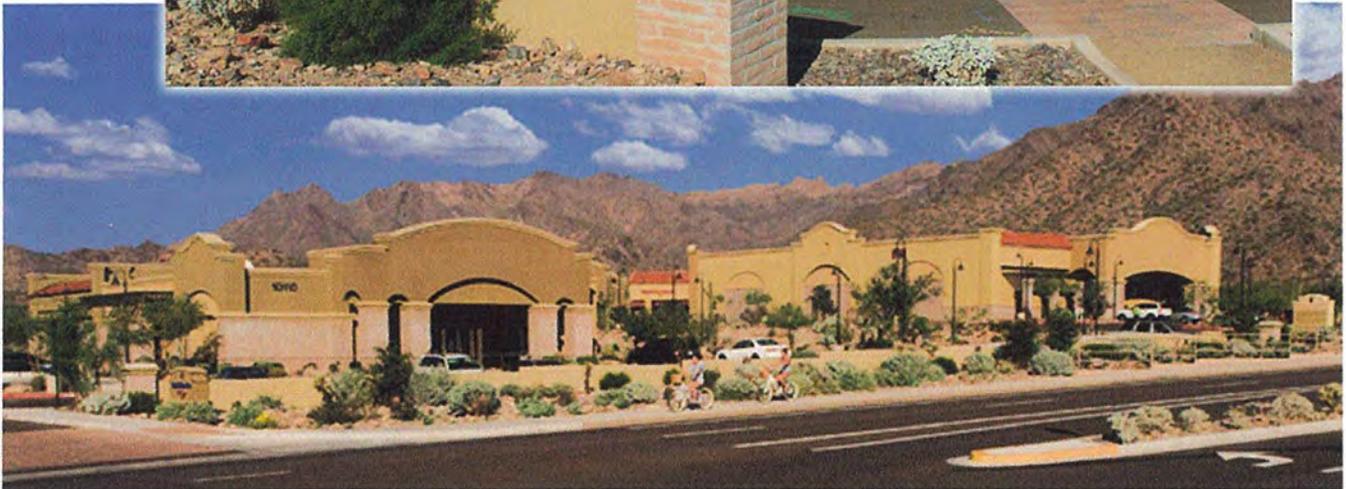
- Arcades and other shading strategies to serve pedestrians (both on street level and second stories), such as awnings above window headers on the first floor, or canopies along with landscaping to provide shade
- Variety of roof types and lines
- Fenestrations and accent trim to provide building articulation
- Placement of buildings close to the adjoining street
- Variety of colors respectful of tones native to the desert environment





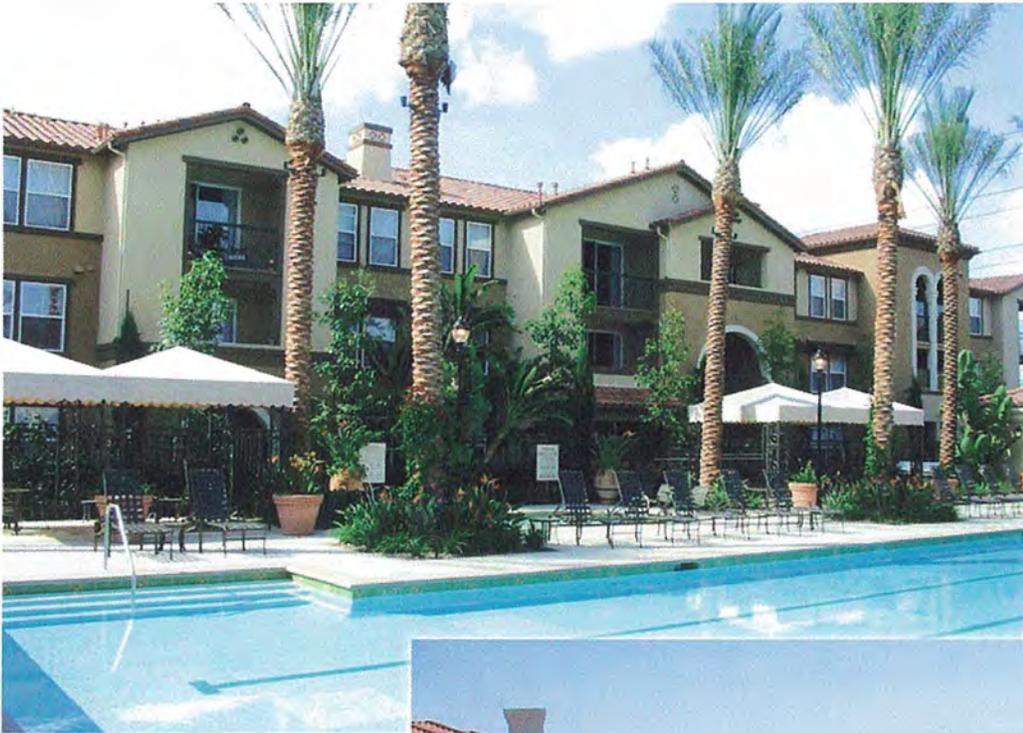






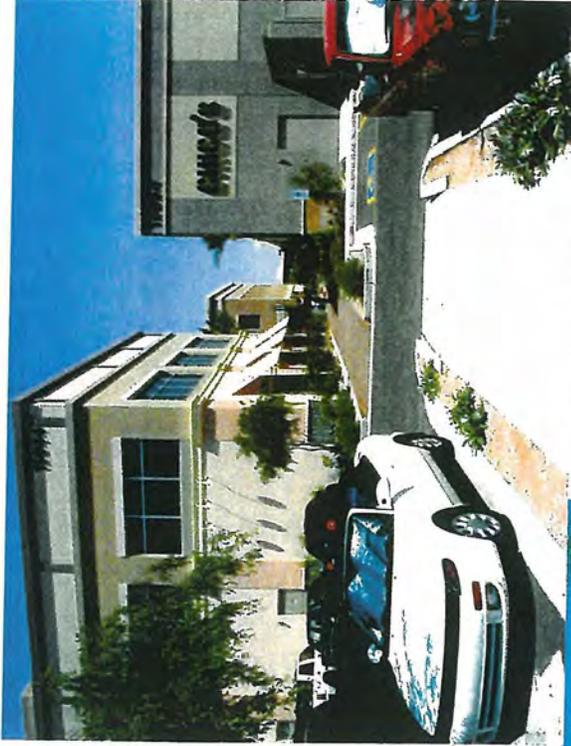








EACH BUILDING SHOULD HAVE DIFFERING THEMES AND STYLES



EACH BUILDING SHOULD HAVE DIFFERING HEIGHTS, COLORS AND FINISHES



EACH BUILDING SHOULD HAVE CANOPIES TO SHADE PEDESTRIANS

EXHIBIT EE-2 ARCHITECTURAL THEME AND DESIGN ELEMENTS

d. Residential Zone Design (Area 4)

i. Criteria

- Residential structures and community features shall be coordinated in architectural materials, details and quality. Community features include bus stops, recreational facilities and pedestrian access features.
- Colors used on any buildings in the residential area shall not exceed 50% reflectivity value.
- Building mass is probably the most prominent design feature of a project. The design of residential units should avoid long, unbroken building facades without the use of offsets as an integral part of the facade design.
- Units will be designed to have a low level profile and integrate into the natural terrain of the site to minimize views from Oracle Road. Residential units highly visible from Oracle Road shall not exceed 18 feet in height.
- ~~Garage design shall comply with Section 16-1 of the OVZCR.~~
- Chimneys shall be compatible in materials to the accompanying structure.

ii. Roofs

- Roofs shall be colored to blend with surrounding geology.
- A range of roof forms and roof pitch adds an appealing visual context to the community/streetscape.

e. Public Areas

i. Roadway Entries

- In the area where Pusch View Lane enters the site, an entry statement and sense of arrival should be created through landscaping, public art, and/or monumentation.
- The entry to the residential area must be designed to have a sense of arrival by incorporating monumentation, landscaping, or gates.
- Decorative paving shall be used at major intersections.

ii. Motor and Pedestrian Bridges

- DRB shall review pedestrian and motor bridges for consistency with overall project design at such time that the above bridges are required to be constructed in association with that phase of development.

iii. Pedestrian System

- The pedestrian system within the project shall include amenities such as benches, shade structures, and water fountains to encourage pedestrian use. Landscaping will also be an integral part of the pedestrian system to offer shade and to define the trail.
- Pedestrian crossings of roads shall adhere to the standards as established by the Manual on Uniform Traffic Control Devices (MUTCD).

f. Procedures

~~i. All buildings, roof types, designs, covering color and material, exterior building materials, exterior colors (color chips to be submitted) and other improvements erected within Oro Valley Town Centre must be approved by the Architectural Town of Oro Valley during the review process. Review Committee prior to submittal to Town of Oro Valley or the commencement of construction.~~

~~ii. Preliminary architectural designs for all buildings and structures must be reviewed and tentatively approved by the Architectural Review Committee prior to the preparation of final plans to be submitted to the Town.~~

~~iii. The Architectural Review Committee encourages building designs and the use of materials consistent with the architectural character of the project and expressed in Exhibits EE-1, 2 and 3. Architectural design should also be sensitive to and compatible with the natural desert environment.~~

~~iv. Developer shall control the Architectural Review Committee.~~

2. LANDSCAPE DESIGN CRITERIA

Landscape Design Guidelines shall be per Section 27.6 of the Oro Valley Zoning Code (including native plant salvage, landscaping, water harvesting, and irrigation standards) unless specifically conflicted elsewhere in the PAD, in which case the PAD shall supersede the Oro Valley Zoning Code.

a. Statement of Intent:

~~The landscape architecture of the project, and specifically the types and placement of plants, is a critical element in the creation of a sense of place. Through the use of different effects and strategies to create several themes throughout the project, plants will serve to provide this project with a unique sense of identity. For instance, the buffer yards around the perimeter of the site will, in large part, adhere to the plant list found in the newly proposed landscape section of the OVZCR. It is, however, in the interior portions of the project that a different palette is proposed for this project. The proposed plant palette contains species of plants, some of which are not indigenous to the Southwest or the Sonoran Desert; they are, however, recommended by the following books widely used by Landscape Architects in dry climates:~~

~~—————“Plants for Dry Climates,” by Warren Jones and Mary Rose Duffield~~

~~—————“Native Plants for Southern Landscapes,” by Judy Mielke~~

~~—————“Low Water Use Plants,” by Carol Shuler~~

In order to create a hierarchy of vehicular passages within the project, a particular tree species will be chosen to represent different areas of the project. For instance, the "main street" area entry will have its own tree species which lines the vehicular passage and serves to further differentiate the area from other portions of the site. Also, designed within the project are several courtyards or plazas intended to attract pedestrians for sitting, gathering, or for passing through to other areas of the project (see Exhibits EE-5 and 6). These areas will be enhanced through the use of shade trees, lush appearing shrubs and richly colored groundcovers. Turf will also be used in these areas. In essence, the plants will contribute to the creation of microclimates, which are especially desirable in heat of summer.

Project entries will also be enhanced through the use of vegetation. Each entry to the project will have a unique blend of plants and will have its own unique species of tree. See character sketch of entry monumentation and landscaping in Exhibit EE-4.

The landscaping of this project is not only functional, but is also a crucial element in the creation of a sense of place. It will be used to announce arrival at the site, will serve to help move people through the spaces and to serve to slow them down and cause them to sit and linger. It will be compatible with and enhance the architecture of the project, helping to provide definition of scale.

b. Guidelines:

- ~~i. Site Resource Inventory and Native Plant Preservation, Salvage and Mitigation Plans shall be prepared and submitted to the Town of Oro Valley in accordance with the standards set forth in Chapter 14 of the Oro Valley Zoning Code.~~
- ~~ii. All plant material is to be irrigated with an automatic underground drip irrigation system.~~
- ~~iii. Plant materials listed in Chapter 10 of the Oro Valley Zoning Code revised "Oracle Road District Regulations" (p. 10-36) are required in the subject district and area acceptable elsewhere as "native vegetation" except that palms may be permitted by the owner under approved conditions such as in a heavily maintained and irrigated courtyard as a feature. Allowable palms include: Mexican Fan Palm, Windmill Palm, Date Palm, Canary Island Date Palm, Mediterranean Fan Palm, Pindo Palm, Mexican Blue Palm and the Sage Palm.~~
- ~~iv. Turf may be used in courtyard, patio, oasis, pedestrian and specialty areas. Overall, the turf shall not exceed 15 percent of the total landscape area.~~
- ~~iiiv. Each parcel or lot within the overall site shall be landscaped similarly. Fifty percent of the proposed plant materials shall match adjacent landscape areas within the project.~~
- ~~iyvi. All buffer yard walls shall be a maximum of 35 inches in height except along La Reserve Drive where the wall shall be a minimum of 6 feet in height.~~
- ~~vii. The buffer yard walls shall be all the same color and material as selected by the Master Developer. The walls adjacent to and facing La Reserve Drive will conform to colors designated by the La Reserve Home Owner's Association architectural guidelines and covenants, thereby creating uniformity with the existing walls within La Reserve.~~

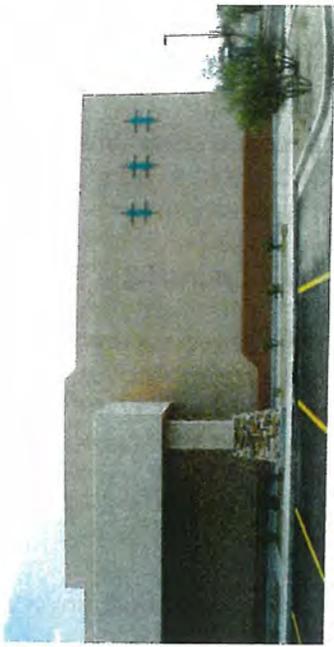
- ~~viii. Certain plants are specifically prohibited as they may be a fire hazard, an ecological nuisance, an aesthetic detriment, or produce noxious seed and pollen conditions. They are:

 - ~~• Conifers such as pines, cedars, cypress, or juniper (not indigenous in appearance).~~
 - ~~• Noxious pollen producers such as olive trees, except "Swan Hill" olives, mulberry, all varieties of citrus, and common Bermuda grass.~~
 - ~~• Non-native grasses which may take over a landscape or serve as fuel for fires.~~~~
- ~~viiix. General—It is the intent of the owner to further regulate landscape colors, materials, and placement so as to achieve a very native and consistent environment throughout the PAD area and the landscaping and color scheme present on La Reserve Drive.~~
- ~~viiix. All planting islands in the parking lot are to be a minimum of 5 feet wide.~~
- ~~ixxi. All roads in the development (See Exhibit AA-2 for example of cross-section of road) are to be landscaped on both sides of the road with trees, shrubs and groundcover. The main entry roads are to be landscaped in such a manner as to achieve a "tree-lined boulevard" effect. As such, tree spacing should be twenty-five feet on center. Landscaping shall not encroach into the clear zones on Pusch View Lane.~~
- ~~xii. Strive to preserve washes in their natural condition.~~
- ~~xiii. Provide landscaping to complement site architecture, highlight the built environment, define pedestrian circulation and announce building entrances.~~
- ~~xivii. Provide distinctive landscaping and hardscape at strategic key intersections and other focal points.~~
- ~~xviii. Place plant materials to maximize shade for pedestrians and to provide shade for buildings to promote energy efficiency. Shade trees or arcades or shade structures shall be provided at building entrances and along pedestrian ways throughout the project.~~
- ~~xixvi. Utilize plant materials to screen undesirable views and parking/loading areas.~~
- ~~xviii. Water harvesting will be incorporated for pads and paved surfaces where possible above ground.~~
- ~~xviii. Approved landscaping pursuant to landscape plan for each phase of development is to be installed and maintained prior to the issuance of a final certificate of occupancy, subject to the following:

 - ~~• A minimum 30-foot landscape buffer is required along Oracle Road.~~
 - ~~• All areas, other than those covered by buildings or paving for required parking, shall be landscaped or maintained as natural.~~
 - ~~• Landscaping islands in accordance with the Town's off-street parking ordinance shall~~~~

be provided in all parking areas.

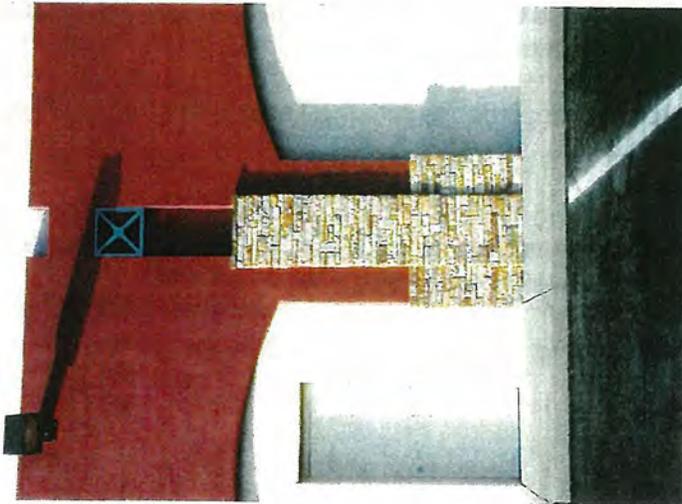
- Existing vegetation along Oracle Road shall be preserved to the greatest extent possible. A complete salvage plan per OVZCR Section 14-1 shall be prepared and submitted with each development plan or tentative plat.



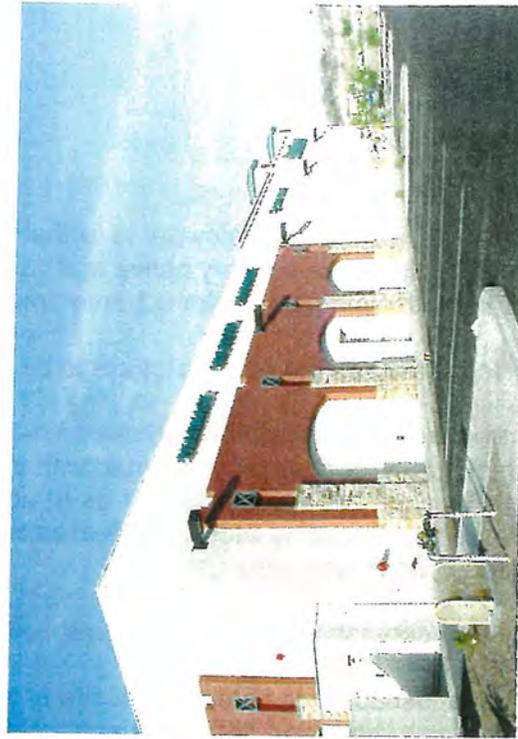
SHADE STRUCTURES SHALL BE PROVIDED TO CREATE A PLEASANT WALKING ENVIRONMENT FOR THE PEDESTRIAN.



CORNER TOWERS CAN BE USED TO VARY THE ROOF LINE OF LARGE BUILDINGS.



BUILDING ELEVATIONS CAN BE BROKEN UP BY THE USE OF COLUMNS, BLIND ARCADES, AND ARCHITECTURAL DETAILING.



ARTICULATED THROUGH THE USE OF DIFFERENT COLORS, TEXTURES, AND MATERIALS.

EXHIBIT EE-4 ARCHITECTURAL THEME AND DESIGN ELEMENTS

Exhibit EE-6 Intentionally Deleted

Exhibit EE-7 Intentionally Deleted

Exhibit EE-8 Intentionally Deleted

Exhibit EE-9 Intentionally Deleted

EXHIBIT EE-10

ORO VALLEY TOWN CENTRE RECOMMENDED PLANT LIST

Per Addendum C of the Oro Valley Zoning Code

TREES:

	Desert Willow
Acacia-abyssinica (Height: 15'-25') Abyssinian Acacia	*Fraxinus-greggii (10'-12') Little Leaf Ash
Acacia-farnesiana (15'-25') Sweet Acacia	*Fraxinus-volutina (25'-30') Arizona Ash
Acacia-smallii (15'-25') Sweet Acacia	*Geijera-parviflora (15'-20') Australian Willow
Acacia-stenphylla (20'-30') Shoestring Acacia	*Jacaranda-mimosifolia (30'-35') Jacaranda
Acacia-salicina (20'-30') Willow Acacia	Lysiloma-candida (10'-15') Palo-Blanco
Acacia-willardiana (15'-20') Palo-Blanco	Lysiloma-thornberi (15'-20') Fern of the Desert
*Albizia-julibrissin (15'-20') Silk Tree	Olea-europaea "Swan Hill" (15'-25') Swan Hill Olive
Brachychiton-populneus (30'-35') Bottle Tree	Olneya-tesota (20'-30') Ironwood
Cercidium-floridum (25'-30') Blue Palo Verde	Pistacia-chinensis (20'-30') Chinese Pistache
*Cercidium "Hybrid" (20'-25') Desert Museum	Pithecellobium-flexicaule (15'-20') Texas Ebony
Cercidium-microphyllum (10'-15') Little Leaf Palo Verde	Pithecellobium-mexicanum (20'-25') Mexican Ebony
Cercidium-praecox (15'-20') Palo Brea	Pithecellobium-pallens (20'-25') Apes Earring
Cercis-canadensis-mexicana (10'-15') Mexican Redbud	*Platanus-wrightii (30'-40') Arizona Sycamore
Chilopsis-linearis (20'-25')	Prosopis-alba "Thornless" (20'-30') White Mesquite

~~Prosopis chilensis (20'-30')~~
~~Prosopis glandulosa (25'-35')~~
Honey Mesquite
~~Prosopis pubescens (10'-15')~~
Fremont Screwbean

~~Prosopis velutina (20'-25')~~
Velvet Mesquite

~~*Prunus cerasifera "Atropurpurea" (10'-15')~~
Purple Leaf Plum

~~*Quercus buckleyi "Red Rock" (25'-30')~~
Red Rock Oak

~~Quercus ilex (25'-30')~~
Holly Oak

~~*Quercus polymorpha (25'-30')~~
Monterrey Oak

~~Quercus suber (25'-30')~~
Cork Oak

~~Quercus virginiana "Heritage" (25'-30')~~
Heritage Oak

~~Rhus lancea (20'-25')~~
African Sumac

~~Sophora secundiflora (10'-15')~~
Texas Mountain Laurel

PALMS:

~~Washingtonia robusta~~
Mexican Fan Palm

~~Trachycarpus fortunei~~
Windmill Palm

~~Phoenix dactylifera~~
Date Palm

~~Phoenix canariensis~~

~~Chilean Mesquite~~

~~Canary Island Date Palm~~

~~Chamaerops humilis~~
Mediterranean Fan Palm

~~Butia capitata~~
Pindo Palm

~~Brahea armata~~
Mexican Blue Palm
~~Cycas revoluta~~
Sage Palm

SHRUBS AND ACCENTS:

~~Acacia berlandieri~~
Guahillo

~~Acacia constricta~~
Whitethorn Acacia

~~Acacia greggii~~
Gatsclaw Acacia

~~*Acacia schottii~~
Schott Acacia

~~*Agave chrysantha~~
Golden Flowered Agave

~~Agave colorata~~
Mescal Ceniza

~~*Agave deserti~~
Desert Agave

~~*Agave geminiflora~~
Twin-flowered Agave

~~*Agave havardiana~~
Harvard Agave

~~*Agave lechuguilla~~
Lechuguilla

**Agave murpheyi*
Murphy Agave

**Agave neomexicana*
New Mexico Agave

Agave ocahui
Ocahui Agave

Agave palmeri
Palmer's Agave

**Agave parrasana*
NGN

**Agave parryi*
Artichoke Agave

**Agave schidigera* "Durango Delight"
Durango Delight Agave

**Agave toumeyana*
Toumey's Agave

**Agave utahensis*
Utah Agave

Agave vilmoriana
Octopus Agave

Agave vitorriae-reginae
Queen Victoria's Agave

**Aloe dawei*
Dawe's Aloe

Aloe ferax
Cape Aloe

**Aloe striata*
Coral Aloe

**Aloe vera*
Medicinal Aloe

Ambrosia ambrosioides
Giant Bursage

Ambrosia deltoidea
Bursage

Anisacanthus thurberi

Desert Honeysuckle

**Aristida purpurea*
Purple Threawn

Asclepias subulata
Desert Milkweed

**Asparagus densiflorus* "Myers"
Myers Asparagus

Atriplex canescens
Fourwing Saltbush

Atriplex lentiflormis
Quail Brush

**Bacharris* "Centennial"
Centennial Coyote Bush

**Bacharris pilularis*
Dwarf Coyote Bush

Baileya multiradiata
Desert Marigold

Bougainvillea spp.
Bougainvillea

**Bulbine frutescens*
Bulbine

Caesalipinia gilliesii
Yellow Bird-of-Paradise

Caesalipinia mexicana
Mexican Bird-of-Paradise

Caesalipinia pulcherrima
Red Bird-of-Paradise

Calliandra californica
Baja Fairy Duster

Calliandra eriophylla
Fairy Duster

Calylophus hartwegii
Calylophus

Carnegiea gigantea
Saguaro

Cassia-wislizeni
Shrubby-Cassia

Celtis-pallida
Desert Hackberry

Celtis-reticulata
Netleaf Hackberry

**Chrysactinia-mexicana*
Damianita

**Condalia-globosa*
Bitter Condalia

Gordia-parvifolia
Little-Leaf Cordia

**Cycas-revoluta*
Sago Palm
Dalea-bicolor
Indigo Bush

**Dalea-capitata*
Golden Dalea

Dalea-frutescens
Black Dalea

Dalea-greggii
Trailing Indigo Bush

Dalea-pulchra
Bush Dalea

Dalea-versicolor
Wislizenus Dalea

Dasyliirion-acrotriche
Green Desert Spoon

**Dasyliirion-longissima*
Toothless Spoon

Dasyliirion-wheeleri
Desert Spoon

Dodonaea-viscosa
Hopbush

Dyssodia-acerosa
Dyssodia

Echinocactus-grusonii
Golden Barrel Cactus

Echinocereus-engelmannii
Hedgehog

Encelia-californica
Brown-Eyed Susan

Encelia-farinosa
Brittle Bush

Ephedra-spp.
Mormon Tea

**Eremophila-species* "Valentine"
Valentine Shrub

**Ericameria-laricifolia*
Turpentine Bush

**Eriogonum-fasciculatum*
California Buckwheat

**Eschscholzia-californica*
California Poppy

**Eschscholzia-mexicana*
Mexican Poppy

Euphorbia-rigida
Gopher Plant

Feijoa-sellowiana
Pineapple Guava

Ferrocactus-wislizenii
Barrel Cactus

Fouquieria-splendens
Ocotillo

**Gaura-lindheimeri*
Gaura

Hesperaloe-funifera
Coahuilian Hesperaloe

Hesperaloe-parviflora
Red Yucca

**Hymenoxys-acaulis*

Angelita Daisy

Hyptis emeryi
Desert Lavender

Jatropha cardiophylla
Limberbush

Leucophyllum laevigatum
Chihuahuan Rain Sage

Justicia californica
Chuparosa

Justicia spicigera
Mexican Honeysuckle

Lantana spp.
Lantana

Larrea tridentata
Creosote Bush
Leucophyllum frutescens spp.
Texas Ranger

Leucophyllum laevigatum
Chihuahuan Rain Sage

**Lotus rigidus*
Deer Vetch

**Lycium pallidum*
Squawberry

Macfadyena unguis-cati
Cat's Claw Vine

Melampodium leucanthum
Blackfoot Daisy

Mimosa biuncifera
Catclaw Mimosa

Mimosa dysocarpa
Velvetped Mimosa

**Muhlenbergia capillaris* "Regal Mist"
Regal Mist

**Muhlenbergia lindheimeri* "Autumn Glow"
Autumn Glow

Myoporum parvifolium
Trailing Myoporum

Myrtus communis "Compacta"
Compact Myrtle

Nolina microcarpa
Bear Grass

Oenothera berlandieri
Mexican Evening Primrose

Oenothera stubei
Chihuahuan Primrose

Opuntia basilaris
Beaver Tail Cactus

Opuntia microdasys
Bunny Ears

Opuntia violaceae santa rita
Santa Rita Prickly Pear
Opuntia spp.
Cholla and Prickly Pear

Penstemon eatonii
Firecracker Penstemon

**Penstemon palmeri*
Palmer's Penstemon

Penstemon parryi
Parry's Penstemon

Penstemon pseudospectabilis
Canyon Penstemon

Penstemon superbus
Suberb Penstemon

**Plumbago auriculata*
Blue Cape Plumbago

**Plumbago scandens*
White Plumbago

Prunus caroliniana
Carolina Laurel Cherry

Psilostrophe cooperi
Paperflower

Punica granatum Pomegranate	Verbena gooddingii Goodding Verbena
Rhus ovata Sugarbush	Verbena peruviana Peruvian Verbena
Rosmarinus spp. Rosemary	*Verbena rigida Sandpaper Verbena
Ruellia californica Sonoran Desert Ruellia	Viguiera deltoidea Goldeneye
Ruellia peninsularis Baja Ruellia	Yucca baccata Banana Yucca
Salvia greggii Autumn Salvia	Yucca brevifolia Joshua Tree
Salvia clevelandii Chaparral Sage	Yucca elata Soaptree Yucca
Salvia leucantha Mexican Bush Sage *Salvia microphylla Red Bush Sage	*Yucca faxoniana Spanish Bayonet
Santolina chamaecyparissus Lavender Cotton	Yucca rigida Blue Yucca
Santolina virens Lavender Cotton	Yucca whipplei Our Lord's Candle
Simmondsia chinensis Jojoba	Zauschneria californica Hummingbird Trumpet Bush
*Spaeralcea ambigua Globemallow	Zinnia acerosa Desert Zinnia
*Stachys coccinea Texas Betony	Zizyphus obtrusifolia Grey Thorn
*Trixis californica Trixis	*Zexmenia hispida "Devil's River"
Vauquelinia californica Arizona Rosewood	*Denotes plant species that is not on the Oro Valley Approved Plant List.

F. SIGNS

1. Signs shall comply with the Oro Valley Zoning Code Revised. A comprehensive sign plan shall be developed for Oro Valley Town Centre and will comply with ~~Section 12-104~~Chapter 28 of the OVZCR. The comprehensive sign plan will be submitted prior to obtaining any sign permits for the property.

G. NOISE ABATEMENT

1. Noise abatement shall be addressed as outlined on the Oro Valley Zoning Code Revised with the following additional restrictions:
 - ~~a. There shall be no delivery or loading operations for commercial uses between 10:00 p.m. and 7:00 a.m.~~
 - a. There shall be no delivery or loading operations for commercial uses between 10:00 p.m. and 6:00 a.m.
 - b. No trash shall be removed for the commercial uses between 10:00 p.m. and 7:00 a.m.
 - c. Delivery trucks shall not be parked in close proximity to or within designated delivery or loading areas during non-delivery hours with motors and/or refrigeration/generators running, unless the area where trucks are parked is set back at least 300 feet from residential property. The setback does not apply if the main building is located between the truck parking and residential use or residentially zoned property to act as the screen.
 - d. Delivery trucks shall not be left idling between the hours of 6:00 p.m. and 7:00 a.m.
 - e. Any outdoor, amplified concerts or activities shall cease no later than 11:00 p.m.

H. LIGHTING

1. Lighting shall be in conformance with ~~the proposed Chapter 17~~[Section 27.5](#) Outdoor Lighting ~~section~~ of the Oro Valley Zoning Code Revised.

APPENDICES

APPENDIX 'A'



**LEGAL DESCRIPTION
ROONEY RANCH PARCEL H**

That portion of Section 7, Township 12 South, Range 14 East, Gila and Salt River Meridian, Pima County, Arizona, described as follows:

COMMENCING at the South Quarter (S 1/4) corner of said Section 7;

THENCE N 00°20'33" W, along the North-South midsection line, a distance of 979.48 feet to the **POINT OF BEGINNING**;

THENCE continue N 00°20'33" W, along said line, a distance of 1,558.44 feet to a point on the arc of a non-tangent curve concave to the Southeast, a radial line of said curve through said point having a bearing of N 43°24'23" W, said point being on the Southeasterly right-of-way line of State Route 77 (Oracle Road);

THENCE Southwesterly along said right-of-way line, along the arc of said curve, to the left, having a radius of 16,270.22 feet and a central angle of 05°08'59" for an arc distance of 1,462.38 feet to a point of tangency;

THENCE S 41°26'38" W, along said right-of-way line, a distance of 1,380.19 feet to a point of cusp of a non-tangent curve concave to the Southeast, a radial line of said curve through said point having a bearing of N 48°33'22" W, said point being on the North right-of-way line of the Rooney Channel, recorded in Docket 7415 at Page 158, Pima County Recorder's Office, Pima County, Arizona,

THENCE Northeasterly along said right-of-way line, along the arc of said curve, to the right, having a radius of 1,014.93 feet and a central angle of 27°30'00" for an arc distance of 487.13 feet to a non-tangent line;

THENCE N 63°44'26" E, along said right-of-way line, a distance of 202.15 feet;

THENCE N 68°55'55" E, along said right-of-way line, a distance of 564.00 feet to a point of curvature of a tangent curve concave to the South;

THENCE Easterly along said right-of-way line, along the arc of said curve, to the right, having a radius of 1,034.93 feet and a central angle of 47°38'20" for an arc distance of 860.50 feet to the **POINT OF BEGINNING**.

Containing 27.80 acres, more or less.

Prepared By:
THE WLB GROUP, INC.

Jack A. Buchanan, RLS
JAB:cjl



EXPIRES 3/31/2011
(INDICATES RENEWAL DATE)

**ROONEY RANCH
PARCELS H AND J**
SECTIONS 7 T. 12 S., R. 14 E., G.S.R.M.,
PIMA COUNTY, ARIZONA



EXPIRES 3/31/2011
(INDICATES RENEWAL DATE)

ORACLE ROAD

PARCEL-H

$\Delta=05^{\circ}08'59''$
 $R=16,270.22'$
 $L=1462.38'$

$N45^{\circ}24'23''W$ (Radial)

$N00^{\circ}20'33''W$
1558.44'

$\Delta=47^{\circ}38'20''$
 $R=1,034.93'$
 $L=860.50'$

P.O.B.

$S41^{\circ}26'38''W$
1380.19'

$N63^{\circ}44'26''E$
202.15'

$N68^{\circ}55'55''E$
564.00'

ROONEY RANCH CHANNEL
(DKT. 7415 PG. 158)

$\Delta=27^{\circ}30'00''$
 $R=1,014.93'$
 $L=487.13'$

PARCEL J

PARCEL-I

$N00^{\circ}20'33''W$
979.48'

12
13
7
18
 $R=5669.58'$
 $L=234.07'$
 $\Delta=2^{\circ}21'56''$

$N41^{\circ}26'38''E$
435.72'

$S65^{\circ}13'05''E$
113.70'

$S17^{\circ}14'09''E$
143.25'

$S07^{\circ}32'36''W$
120.04'

$S06^{\circ}52'58''E$
163.20'

$S40^{\circ}14'02''W$
93.38'

$S77^{\circ}28'40''W$
140.36'

$N87^{\circ}37'54''W$
142.54'

S 1/4 COR 7

$N69^{\circ}46'53''W$
141.65'

$N65^{\circ}33'06''W$
61.44'

$S73^{\circ}26'29''W$
63.40'

1311.25'

NE1/4, NW1/4

LOT 1

LOT 1

EL CONQUISTADOR RESORT
PATIO HOMES
BOOK 36 M&P PAGE 44



1" = 500'





**LEGAL DESCRIPTION
ROONEY RANCH PARCEL I
(PARCEL RETAINED BY CANADA DEL ORO PARTNERS)**

Those portions of Sections 7 and 18, Township 12 South, Range 14 East, and that portion of Section 13, Township 12 South, Range 13 East, Gila and Salt River Meridian, Pima County, Arizona, described as follows:

COMMENCING at the Southwest corner of Lot 1 of said Section 18, said point being the **TRUE POINT OF BEGINNING**;

THENCE N 00°0'51" W, along the west line of said Lot 1 a distance of 148.47 feet to the southeast corner of Lot 1 of said Section 13;

THENCE S 89°48'34" W along the south line of said Lot 1 a distance of 468.43 feet to a point on the east right-of-way line of Oracle Road (State Highway 77);

THENCE N 23°08'24" E along said right-of-way line 17.45 feet;

THENCE N 65°39'07" W along said right-of-way line 50.31 feet to a point of curvature of a non-tangent curve concave to the southeast, a radial line through said point bears N 63°51'30" W;

THENCE northeasterly along the arc of said curve to the right, having a radius of 3719.72 feet, a central angle of 5°34'41", for an arc length of 362.13 feet;

THENCE S 58°25'16" E, 117.80 feet;

THENCE N 34°42'55" E, 164.39 feet to a point on the southerly right-of-way line of the Rooney Channel recorded in Docket 7415, Page 158, being a point of curvature of a non-tangent curve concave to the northwest, a radial line through said point bears S 44°21'30" E;

THENCE northeasterly along said right-of-way line and the arc of said curve to the left, having a radius of 1014.93 feet, a central angle of 7°03'51", for an arc length of 125.13 feet;

THENCE N 38°37'32" E, a distance of 544.19 feet to a point of curvature of a non-tangent curve concave to the southeast, a radial line through said point bears N 51°27'13" W;

THENCE northeasterly along said right-of-way line and the arc of said curve to the right, having a radius of 5669.58 feet, a central angle of 0°31'55", for an arc distance of 52.65 feet to a point of a non-tangent line;



THENCE S 65°33'06" E, a distance of 61.44 feet;

THENCE N 73°26'29" E, a distance of 63.40 feet;

THENCE S 69°46'53" E, a distance of 141.65 feet;

THENCE S 87°37'54" E, a distance of 142.54 feet;

THENCE N 77°28'40" E, a distance of 140.36 feet;

THENCE N 40°14'02" E, a distance of 93.38 feet;

THENCE N 06°52'58" W, a distance of 163.20 feet;

THENCE N 07°32'36" E, a distance of 120.04 feet;

THENCE N 17°14'09" W, a distance of 143.25 feet;

THENCE N 65°13'05" W, a distance of 113.70 feet to a point on the south right-of-way line of said Rooney Channel;

THENCE N 41°26'38" E, a distance of 48.10 feet to a point of curvature of a non-tangent curve concave to the southeast, a radial line through said point bears N 48°33'32" W;

THENCE northeasterly along said curve to the right, having a radius of 894.93 feet, through a central angle of 27°30'15", for an arc length of 429.60 feet to a non-tangent line;

THENCE N 74°37'28" E, a distance of 201.66 feet;

THENCE N 68°55'05" E, a distance of 11.18 feet;

THENCE S 51°04'05" E, a distance of 151.75 feet;

THENCE N 38°55'55" E, a distance of 110.00 feet;

THENCE N 51°04'05" W, a distance of 88.24 feet;

THENCE N 68°55'55" E, a distance of 425.49 feet to a point of curvature of a tangent curve, said point being on the south right-of-way line of said Rooney Channel;



THENCE easterly along the arc of said curve to the right, having a radius of 874.93 feet, through a central angle of 53°05'52", for an arc length of 810.83 feet to a point on the north-south mid-section line of said Section 7;

THENCE S 00°20'33" E, along said mid-section line a distance of 795.60 feet to the southeast corner of the Southwest Quarter (SW ¼) said Section 7: Said point being the northeast corner of the Northwest Quarter (NW ¼) of said Section 18;

THENCE S 00°23'10" W, along the east line of said Northwest Quarter (NW ¼) a distance of 1310.80 feet to the southeast corner of the Northeast Quarter of said Northwest Quarter (NE ¼, NW ¼);

THENCE N 89°47'48" W along south line of said Northeast Quarter of said Northwest Quarter (NE ¼, NW ¼) and the south line of said Lot 1 of said section, a distance of 2635.35 feet to the **POINT OF BEGINNING**.

Containing 108.88 acres, more or less.

Prepared By:
THE WLB GROUP, INC.

Jack A. Buchanan, RLS
JAB:cll



EXPIRES 3/31/2011
(INDICATES RENEWAL DATE)

ROONEY RANCH PARCEL I

(PROPERTY RETAINED BY CDO PARTNERS)

A PORTION OF SECTIONS 7 & 18 T. 12 S., R. 14 E., G.S.R.M.,

A PORTION OF SECTION 13 T. 12 S., R. 13 E., G.S.R.M.,

PIMA COUNTY, ARIZONA



EXPIRES 3/31/2011
(INDICATES RENEWAL DATE)

ORACLE ROAD
STATE HIGHWAY 77

ROONEY RANCH CHANNEL
(DKT. 7415 PG. 158)

PARCEL-I

S 1/4 COR 7

LOT 1

NE1/4, NW1/4

LOT 1

N00°20'33"W
795.60'

N00°23'10"W
1310.80'

1311.25'

N89°47'48"W

2635.35'

P.O.B

EL CONQUISTADOR RESORT
PATIO HOMES
BOOK 36 M&P PAGE 44



1" = 500'





**LEGAL DESCRIPTION
ROONEY RANCH PARCEL J**

That portion of the Southwest quarter (SW ¼) of Section 7, Township 12 South, Range 14 East, lying south of the south right-of-way line of the Rooney Channel, recorded in Docket 7415 at Page 158, Pima County Recorder's Office, and that portion of Lot 1 of Section 18, Township 12 South, Range 14 East, Gila and Salt River Meridian, Pima County, Arizona, described as follows:

Commencing at the southwest corner of Lot 1 of said Section 18;

THENCE N 00°00'51" W, along the west line of said Lot 1 a distance of 148.47 feet to the southeast corner of Lot 1 of said Section 13;

THENCE S 89°48'34" W, along the south line of said Lot 1, a distance of 468.43 feet to a point on the east right-of-way line of said Oracle Road (State Highway 77);

THENCE N 23°08'24" E, along said right-of-way line 17.45 feet;

THENCE N 65°39'07" W, along said right-of-way line 50.31 feet to a point of curvature of a non-tangent curve concave to the southeast, a radial line through said point bears N 63°51'30" W;

THENCE northeasterly along the arc of said curve to the right, having a radius of 3719.72 feet, a central angle of 5°34'41", for an arc length of 362.13 feet;

THENCE S 58°25'16" E, 117.80 feet;

THENCE N 34°42'55" E, 164.39 feet to a point on the southerly right-of-way of the Rooney Channel recorded in Docket 7415, Page 158, being a point of curvature of a non-tangent curve concave to the northwest, a radial line through said point bears S 44°21'30" E;

THENCE northeasterly along the arc of said curve said right-of-way line to the left, having a radius of 1014.93 feet, a central angle of 7°03'51", for an arc length of 125.13 feet;

THENCE N 38°37'32" E, along said right-of-way line a distance of 544.19 feet to a point of curvature of a non-tangent curve concave to the southeast, a radial line through said point bears N 51°27'13" W;



THENCE northeasterly along the arc of said curve said right-of-way line to the right, having a radius of 5669.58 feet, a central angle of 0°31'55", for an arc distance of 52.65 feet to the **TRUE POINT OF BEGINNING**;

THENCE continuing along the arc of said curve to the right, having a radius of 5669.58 feet, a central angle of 02°21'56", an arc distance of 234.07 feet to a point of a non-tangent line;

THENCE N 41°26'38" E a distance of 435.72 feet;

THENCE S 65°13'05" E a distance of 113.70 feet;

THENCE S 17°14'09" E a distance of 143.25 feet;

THENCE S 07°32'36" W a distance of 120.04 feet;

THENCE S 06°52'58" E a distance of 163.20 feet;

THENCE S 40°14'02" W a distance of 93.38 feet;

THENCE S 77°28'40" W a distance of 140.36 feet;

THENCE N 87°37'54" W a distance of 142.54 feet;

THENCE N 69°46'53" W a distance of 141.65 feet;

THENCE S 73°26'29" W a distance of 63.40 feet;

THENCE N 65°33'06" W a distance of 61.44 feet to the **TRUE POINT OF BEGINNING**;

Containing 196,934 square feet or 4.52 acres more or less.

Prepared By:
THE WLB GROUP, INC.

Jack A. Buchanan, RLS
JAB:cil

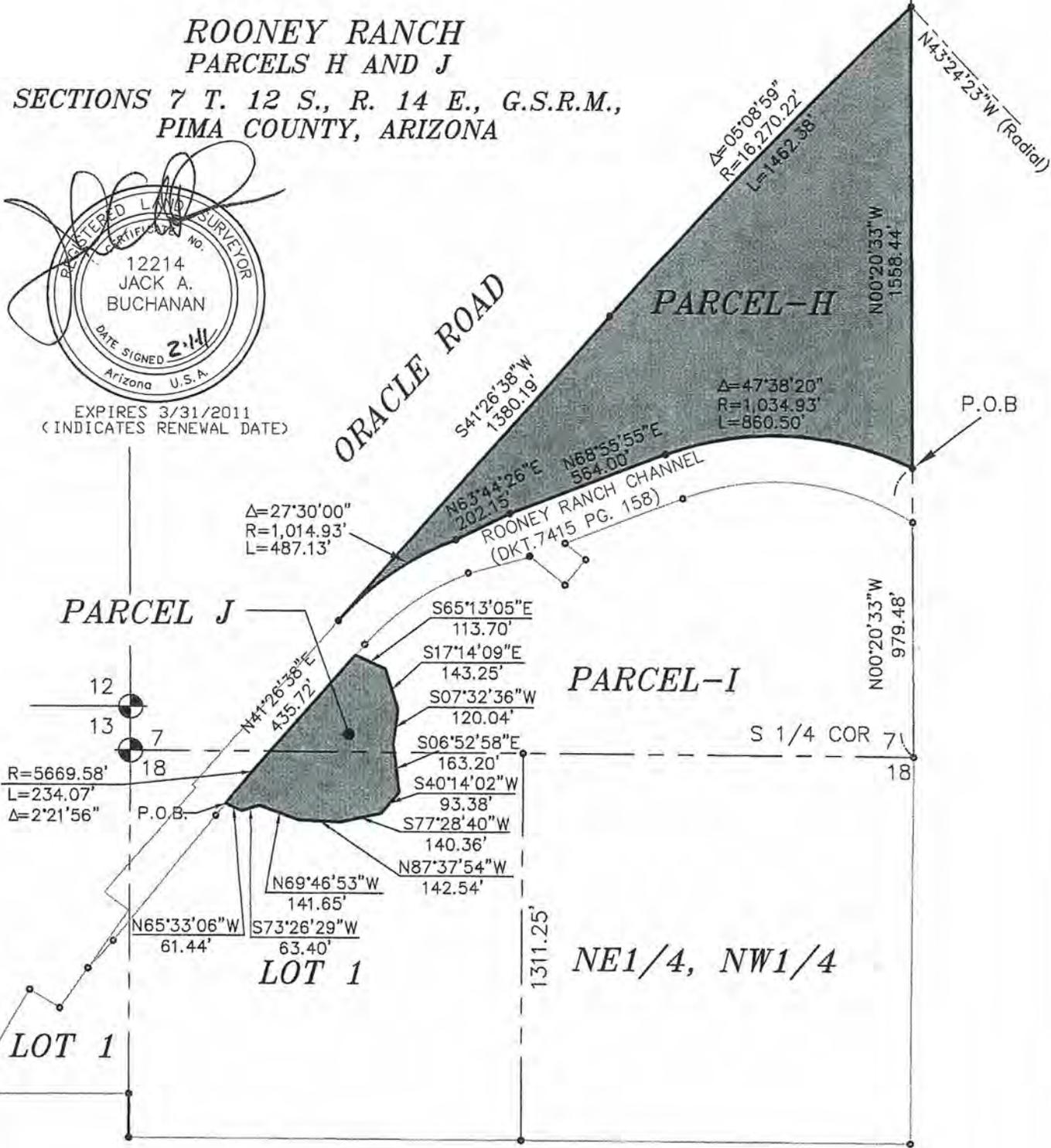


EXPIRES 3/31/2011
(INDICATES RENEWAL DATE)

ROONEY RANCH
PARCELS H AND J
 SECTIONS 7 T. 12 S., R. 14 E., G.S.R.M.,
 PIMA COUNTY, ARIZONA



EXPIRES 3/31/2011
 (INDICATES RENEWAL DATE)



EL CONQUISTADOR RESORT
 PATIO HOMES
 BOOK 36 M&P PAGE 44

1"=500'

The WLB Group Inc.

APPENDIX 'B'

ORDINANCE NO. (O) 02- 33

AN ORDINANCE AMENDING THE TOWN OF ORO VALLEY ZONING MAP BY REZONING THE PROPERTY LOCATED ON THE EASTSIDE OF ORACLE ROAD AT THE TERMINUS OF FIRST AVENUE AND NORTH AND SOUTH OF ROONEY WASH WHICH WAS PREVIOUSLY ZONED R1-144 (SINGLE-FAMILY RESIDENTIAL) TO ORO VALLEY PLANNED AREA DEVELOPMENT (PAD) AND REPEALING ALL ORDINANCES IN CONFLICT HERewith

WHEREAS, that certain real property located on the eastside of Oracle Road at the terminus of First Avenue and north and south of Rooney Wash, containing 141.1 acres more or less and further described by the map attached to and made part of this Ordinance, is currently zoned R1-144 in the Town of Oro Valley; and

WHEREAS, an application requesting that the property be rezoned to Oro Valley Planned Area Development (PAD) has been filed with the Town; and

WHEREAS, the Planning and Zoning Commission, having considered said application and request at a duly noticed public hearing in accordance with State Statute and having made its recommendation to the Town Council; and

WHEREAS, the Oro Valley Town Council has considered the requested rezoning at a duly noticed public hearing and finds it is consistent with the Town's General Plan and Ordinance.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND TOWN COUNCIL OF THE TOWN OF ORO VALLEY:

SECTION 1: That certain real property located on the eastside of Oracle Road at the terminus of First Avenue and north and south of Rooney Wash and further described by the Tentative Development Plan and PAD document attached to and made part of this Ordinance is hereby rezoned to PAD, subject to those conditions, stipulations, plan for development and all other conditions of approval as specified in Exhibit "A" attached hereto.

SECTION 2: That all ordinances and parts of ordinances in conflict herewith be and the same are hereby repealed to the extent of such conflict.

SECTION 3: That this ordinance and the various parts thereof are hereby declared to be severable. If any section, sub-section, sentence, clause, word or phrase of this ordinance is, for any reason, held to be unconstitutional, such holdings shall not affect the validity of the remaining portion of this ordinance.

PASSED AND ADOPTED by the Mayor and Town Council of the Town of Oro Valley, Arizona, this 16th day of October, 2002.

Richard M. Johnson
Vice Mayor

for Paul H. Loomis, Mayor

ATTEST:

APPROVED AS TO FORM:

Kathryn E. Cuvelier
Kathryn E. Cuvelier, Town Clerk

Dan L. Dudley
Dan L. Dudley, Town Attorney

PUBLISH: DAILY TERRITORIAL
November 4, 5, 6, & 7, 2002
POSTED: October 31 - November 30, 2002

EXHIBIT A

ORO VALLEY TOWN CENTRE
AS APPROVED BY TOWN COUNCIL
OCTOBER 16, 2002

OV9-01-05

1. The Plaza design shall be as agreed by staff and the applicant and presented to Town Council on October 16, 2002.
2. The residential area of the PAD shall be gated, single-family detached development with the following development standards:
 - Maximum number of units: 65
 - Minimum Lot Size: 15,000 square feet.
 - Average Lot Size: 20,000 square feet.
 - Maximum building height: 25 feet.
 - Single story homes shall be constructed towards Oracle Road and the El Conquistador Patio Homes and shall be limited to a maximum height of 18-feet.
3. A 100-foot setback from the El Conquistador Patio Homes shall be observed.
4. The following language shall be added to Section G of the PAD, Noise Abatement: "any outdoor, amplified concerts or activities shall cease no later than 11:00 p.m."

Engineering

5. OVZCR Section 3-104(B)(26)(1), show all floodplains that will be altered or filled.

Tentative Development Plan

6. Complete and correctly show all proposed drainage improvements.
7. Show all existing and proposed floodplains that have 100-year flows of 50-cfs or more.
8. Revise the grading limits to accurately depict the intended grading in Parcel I because of the cutoff channels along the ridges.
9. Add additional spot elevations on the west side of the parking lot between buildings A and E to show the intended drainage design.
10. Show the high points in the middle of the parking lots east of building H and J.
11. The drainage channel east of building N and O and the parking lot drainage design are unacceptable as it will cause additional grading, 6-feet of additional cut that will needlessly impact the ridges to the east. Revise this concept by directing the flow from the parking lot and building to drain to the west and utilize cutoff swales to divert the flow from the ridges similar to the designs for buildings R, T and U.
12. Remove the emergency access to the El Conquistador Patio Homes between lots 30 and 31.

13. Check all proposed driveway slopes to determine if there are any problem lots.
14. Ensure that the maximum driveway gradient does not exceed 14%.
15. The grading shall be limited to the cuts and fills as prescribed in the PAD. The developer shall be encouraged to further reduce said cuts and fills during grading and as an incentive may be permitted to reduce the front side and/or rear setbacks in order to achieve a reduction in cuts and fills as the case may dictate on lot by lot case as may be approved by the Planning and Zoning Administrator.
16. A 100-foot setback from the El Conquistador Patio Homes shall be observed.

Drainage Report

17. Show all water surface elevations on the drainage concept maps.
18. Determine and show the erosion hazard set back line in the unnamed wash.
19. Show all existing and proposed floodplains that have 100-year flows of 50-cfs or more on the drainage concept maps.
20. Provide calculations and details for sizing rip rap pads, scout holes and rock sizes in the final drainage report for this project.
21. A grading permit will not be issued for areas affected by the CLOMR/LOMR until the Town receives written acknowledgement from FEMA that the CLOMR application has been received and is complete. Revise page 2 of the drainage report accordingly.

Misc.

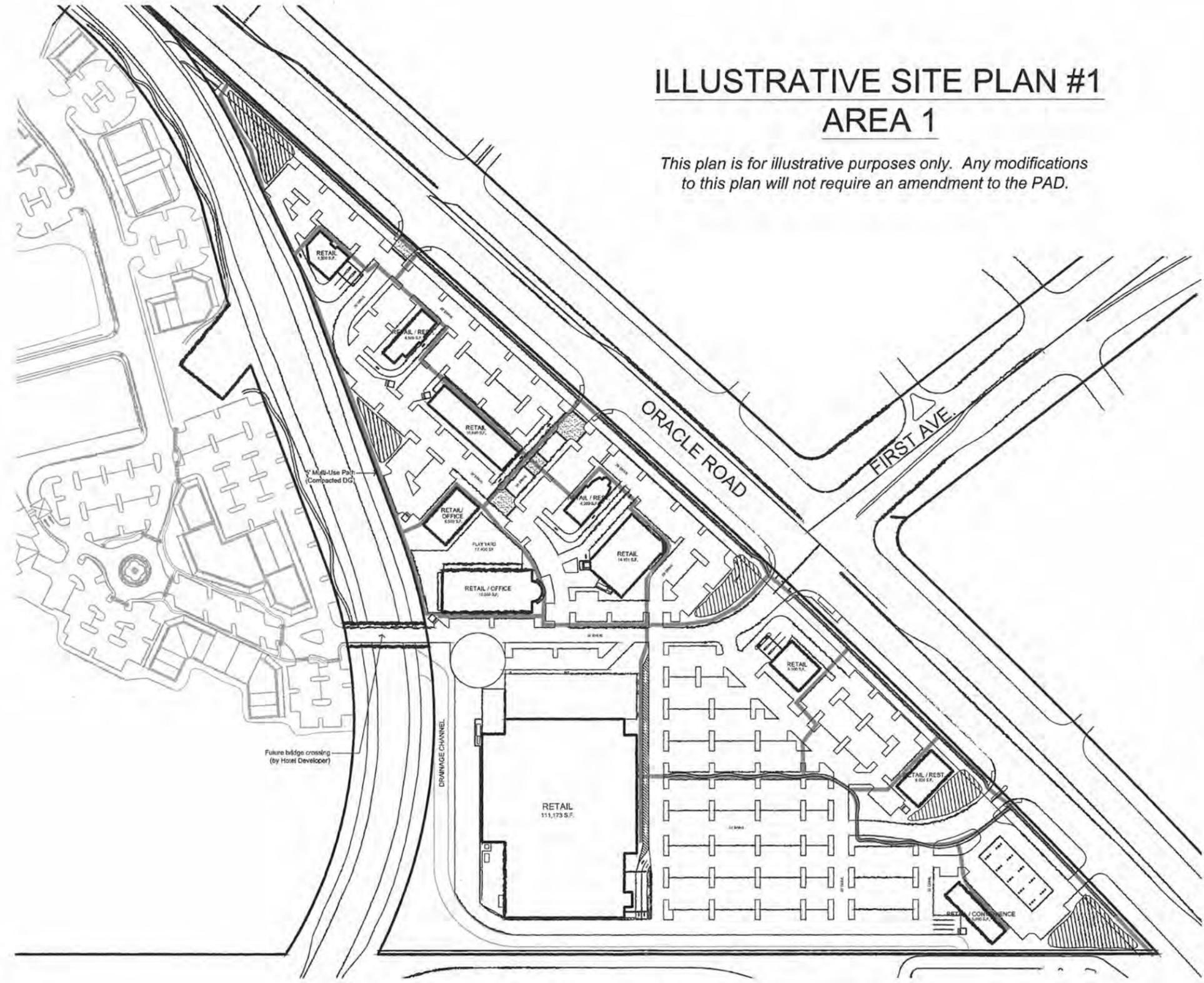
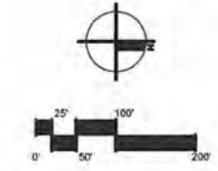
22. Resubmit 24 copies of the final PAD and electronic version with all graphics and maps.

APPENDIX 'C'

APPENDIX 'C-1'

ILLUSTRATIVE SITE PLAN #1 AREA 1

This plan is for illustrative purposes only. Any modifications to this plan will not require an amendment to the PAD.



SITE DATA

Site Area	:	1,212,055 S.F. (27.82 AC.)
Building Area	:	210,464 S.F.
F.A.R.	:	.17

- Landscape Open Space
- 5' Pedestrian Path

VICINITY MAP



08-30-11
04152-ST41A



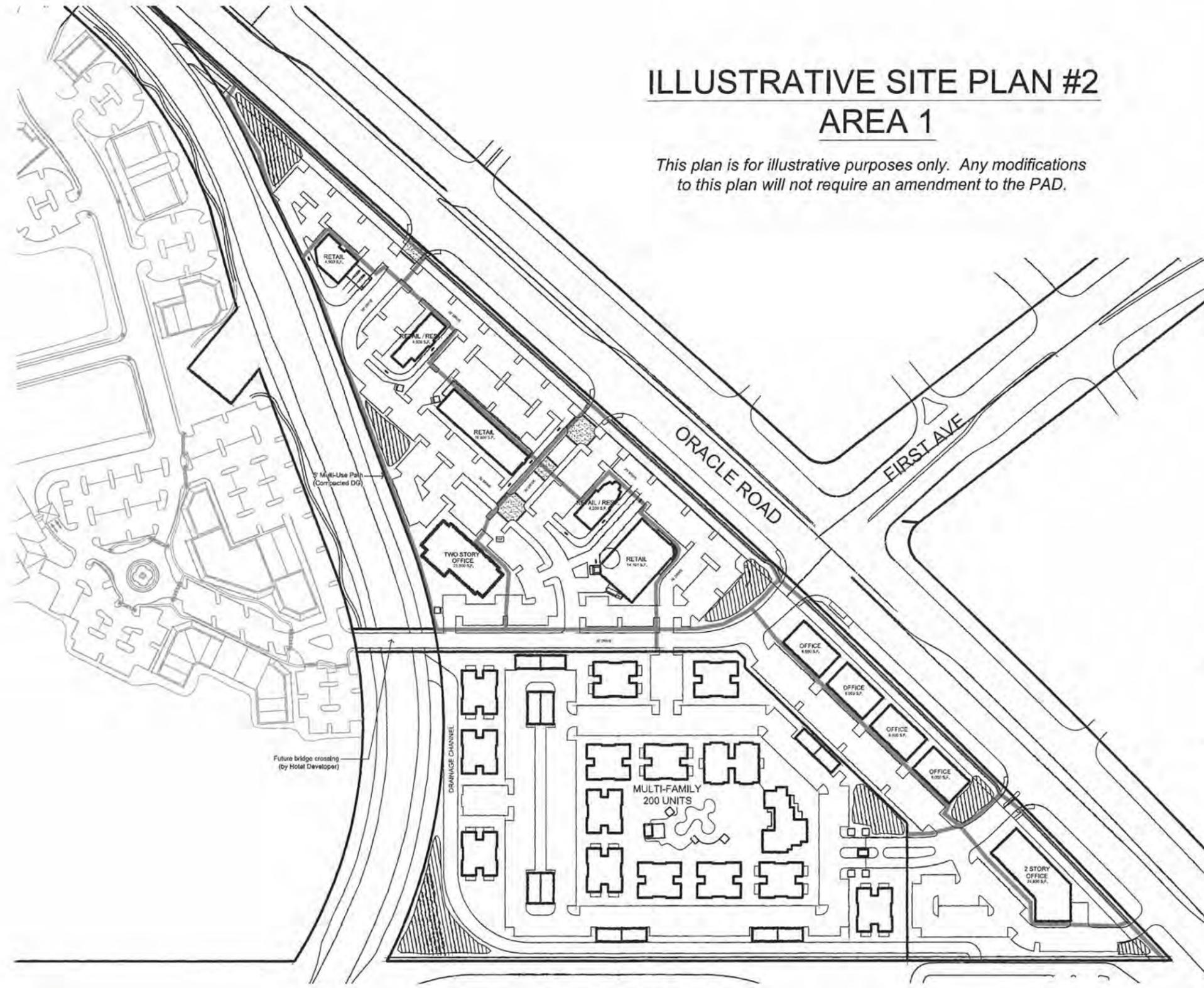
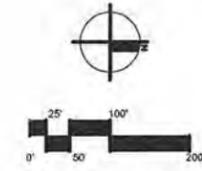
ORO VALLEY *Town Centre*

TOWN OF ORO VALLEY, ARIZONA

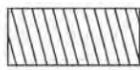


ILLUSTRATIVE SITE PLAN #2 AREA 1

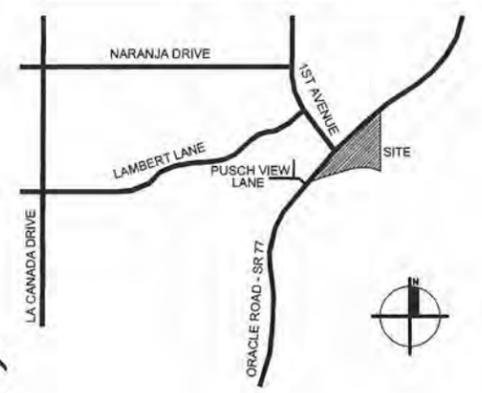
This plan is for illustrative purposes only. Any modifications to this plan will not require an amendment to the PAD.



SITE DATA

Site Area (NIC Multi-Family)	: 687,805 S.F. (15.79 AC.)
Building Area	: 110,301 S.F.
F.A.R.	: .16
	Landscape Open Space
	5' Pedestrian Path

VICINITY MAP



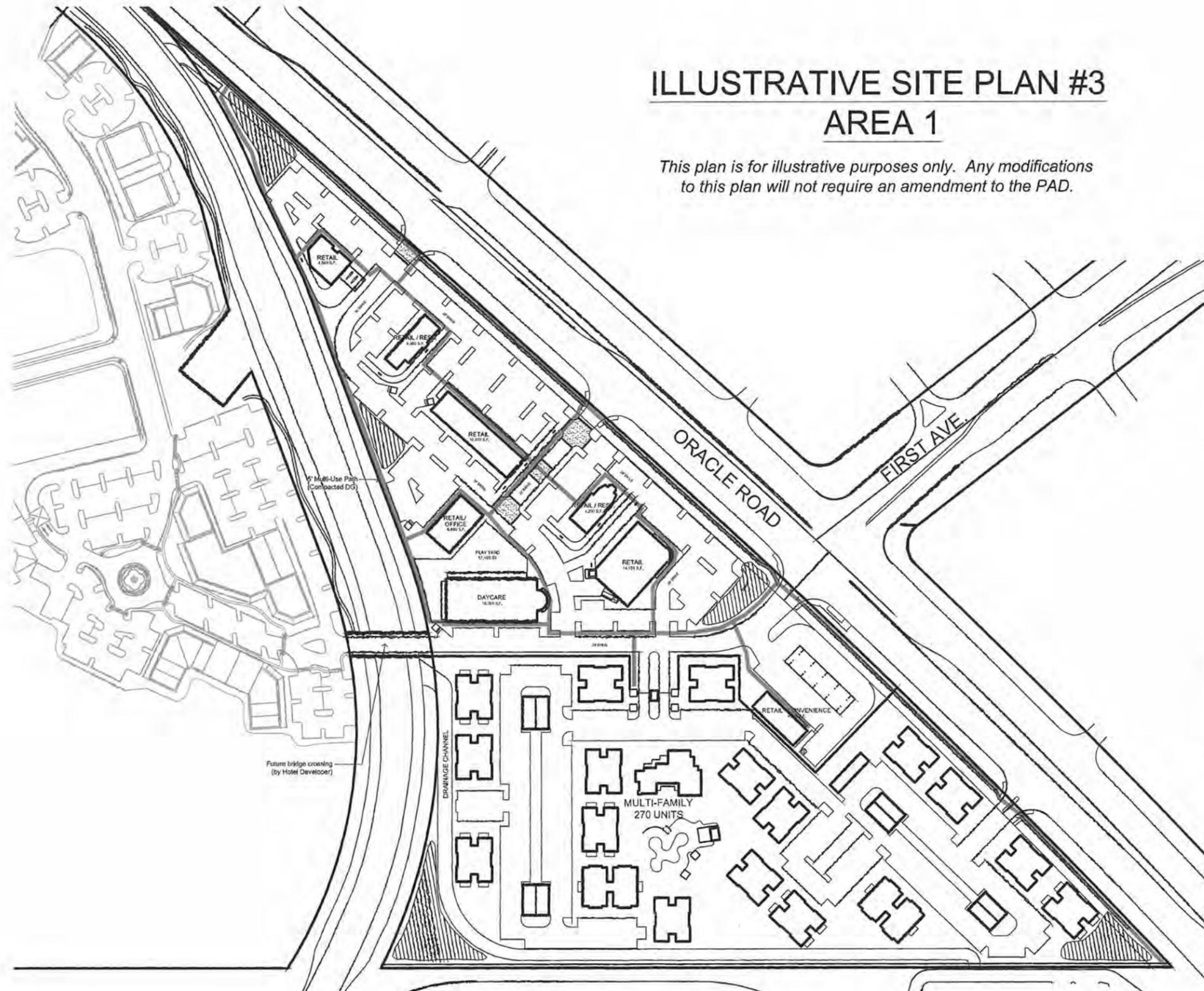
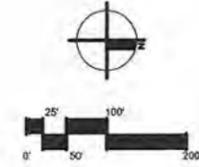
ORO VALLEY *Town Centre*

TOWN OF ORO VALLEY, ARIZONA



ILLUSTRATIVE SITE PLAN #3 AREA 1

This plan is for illustrative purposes only. Any modifications to this plan will not require an amendment to the PAD.



SITE DATA

Site Area : 539,753 S.F.
(NIC Multi-Family) (12.39 AC.)

Building Area : 63,701 S.F.

F.A.R. : .12

 Landscape
Open Space

 5' Pedestrian Path

VICINITY MAP



06.30.11
04152-ST41A-MF6

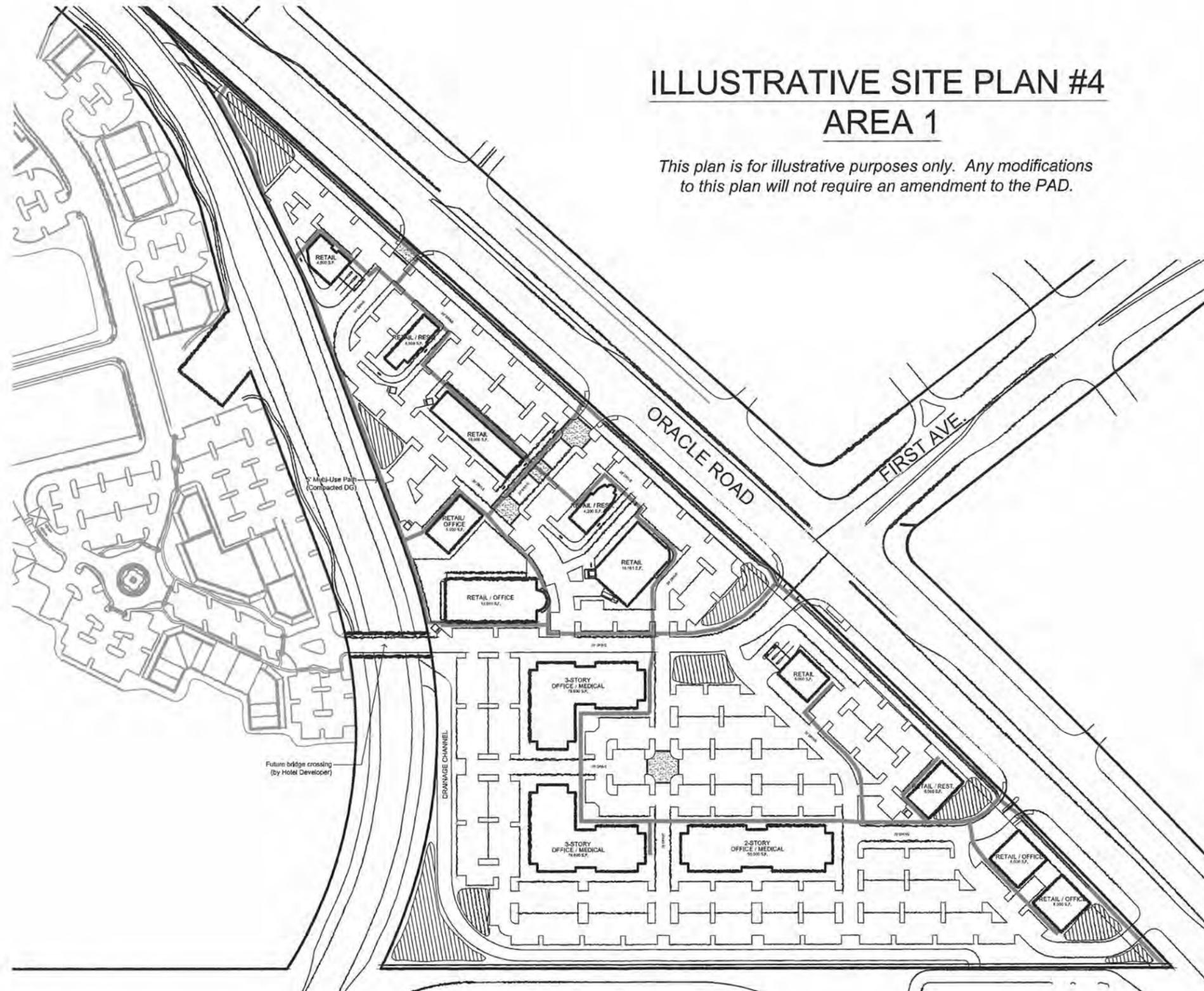
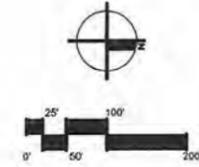


ORO VALLEY *Town Centre*
TOWN OF ORO VALLEY, ARIZONA



ILLUSTRATIVE SITE PLAN #4 AREA 1

This plan is for illustrative purposes only. Any modifications to this plan will not require an amendment to the PAD.



SITE DATA

Site Area	:	1,212,055 S.F. (27.82 AC.)
Building Area	:	288,301 S.F.
F.A.R.	:	.24

- Landscape Open Space
- 5' Pedestrian Path

VICINITY MAP



06.30.11
04152-ST41A-OFF



ORO VALLEY *Town Centre*

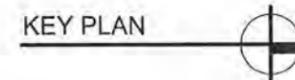
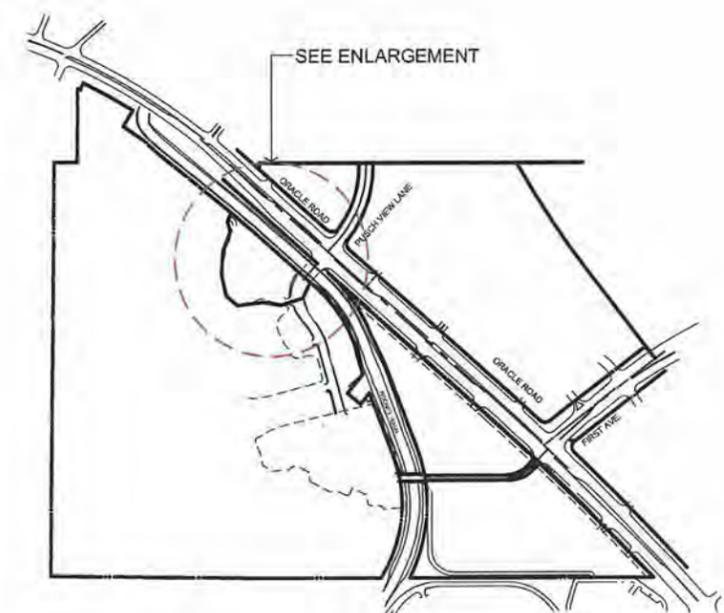
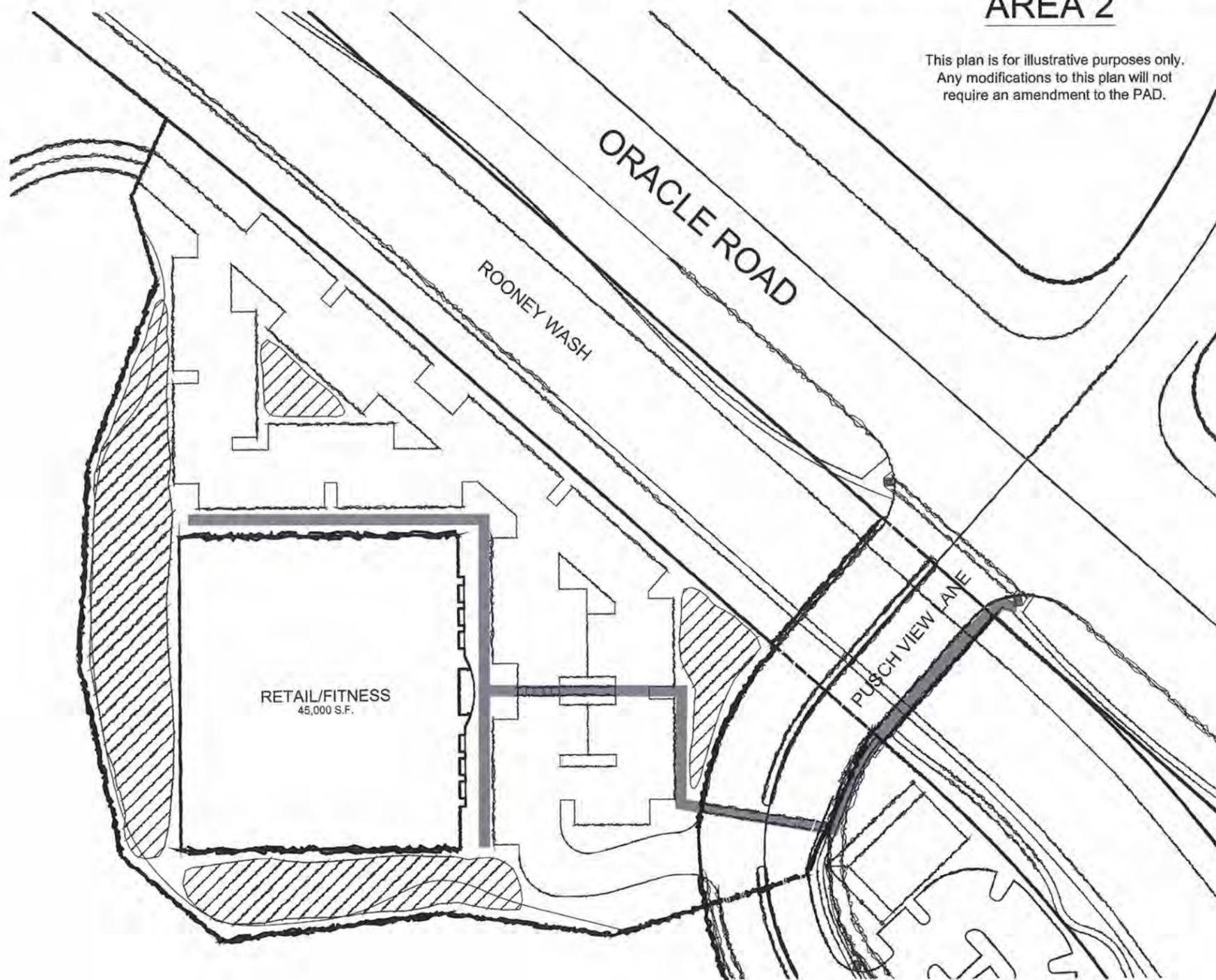
TOWN OF ORO VALLEY, ARIZONA



ILLUSTRATIVE SITE PLAN #1

AREA 2

This plan is for illustrative purposes only.
Any modifications to this plan will not
require an amendment to the PAD.



SITE DATA

Site Area	:	197,221 S.F. (4.5 AC.)
Building Area	:	45,000 S.F.
F.A.R.	:	.23

	Landscape Open Space
	5' Pedestrian Path

VICINITY MAP

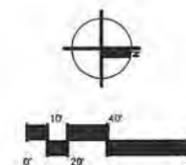


11-10-10
04152



ORO VALLEY *Town Centre*

TOWN OF ORO VALLEY, ARIZONA

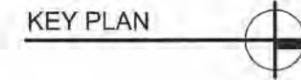
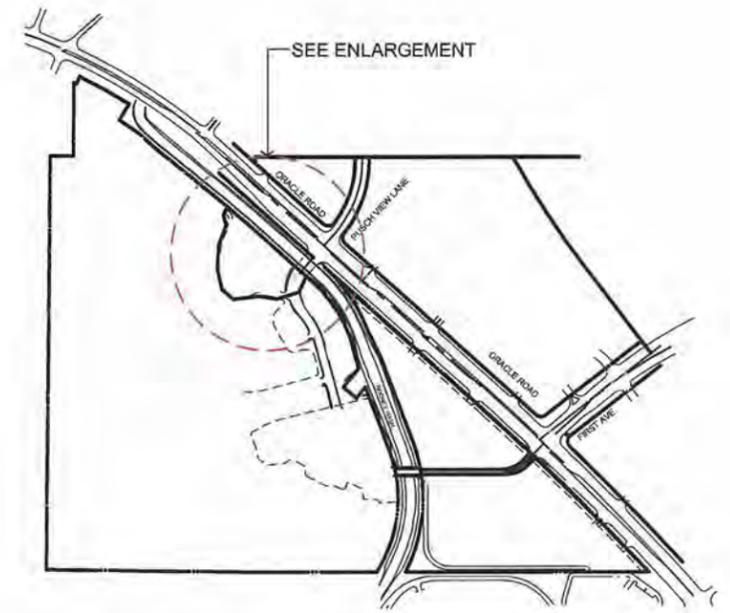
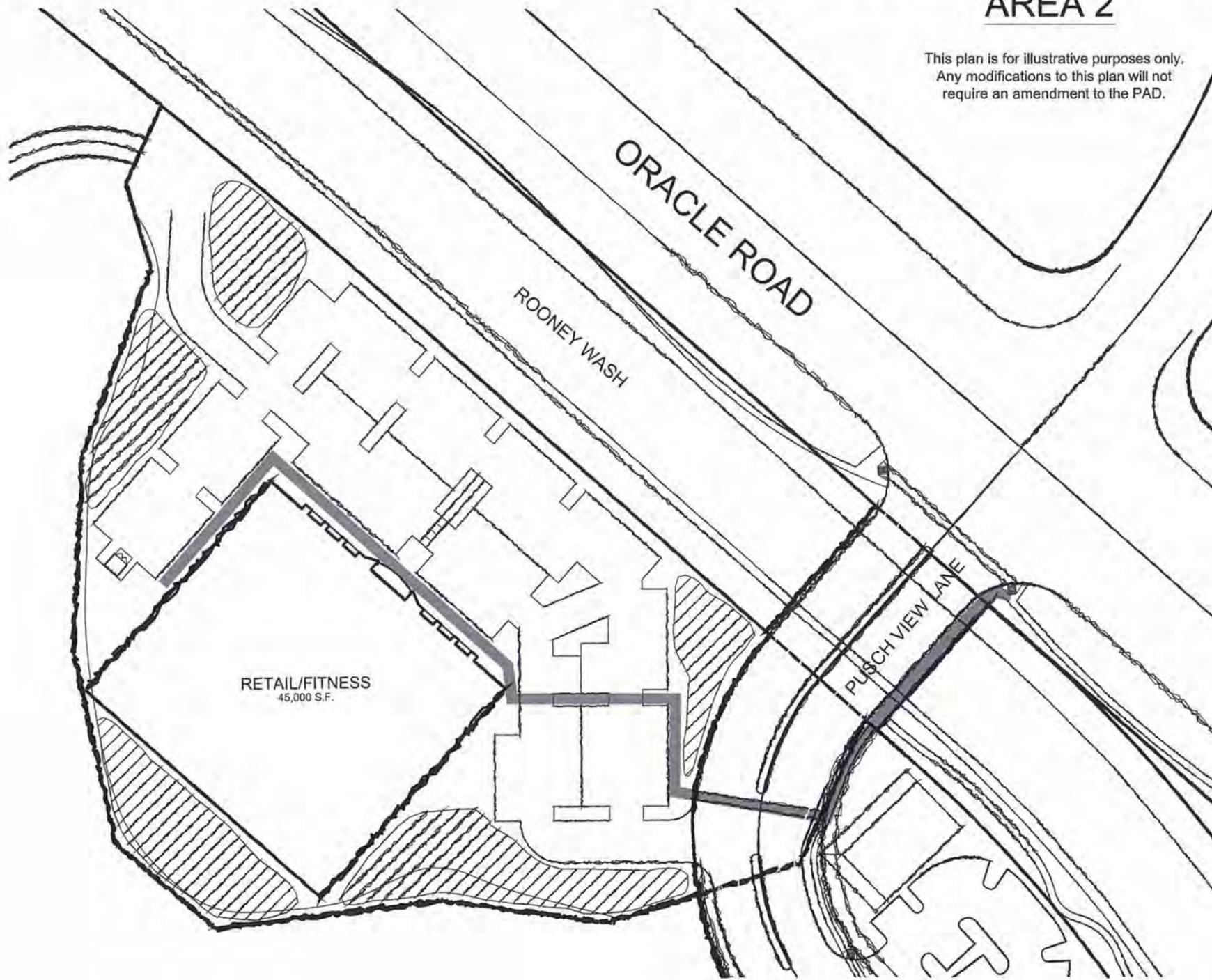


Butler Design Group, Inc.
architects & planners

ILLUSTRATIVE SITE PLAN #2

AREA 2

This plan is for illustrative purposes only.
Any modifications to this plan will not
require an amendment to the PAD.



SITE DATA

Site Area : 197,221 S.F.
(4.5 AC.)

Building Area : 45,000 S.F.

F.A.R. : .23

 Landscape
Open Space

 5' Pedestrian
Path

VICINITY MAP

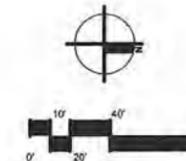


11-10-10
04152



ORO VALLEY *Town Centre*

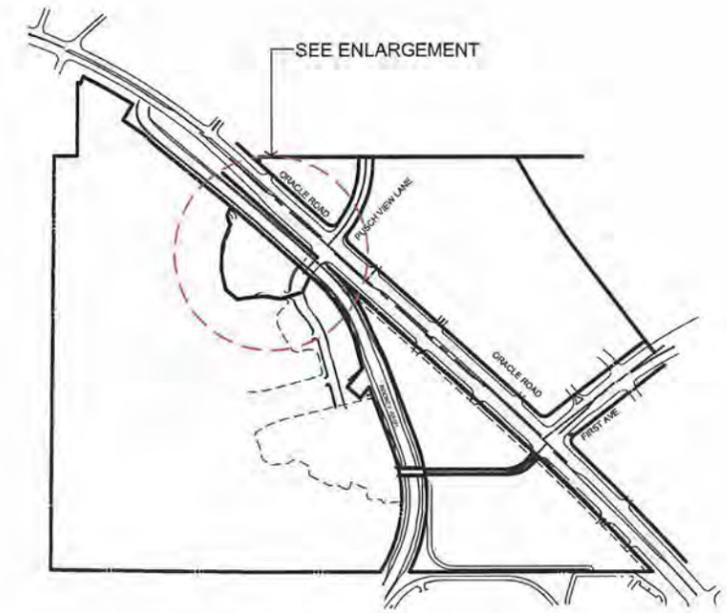
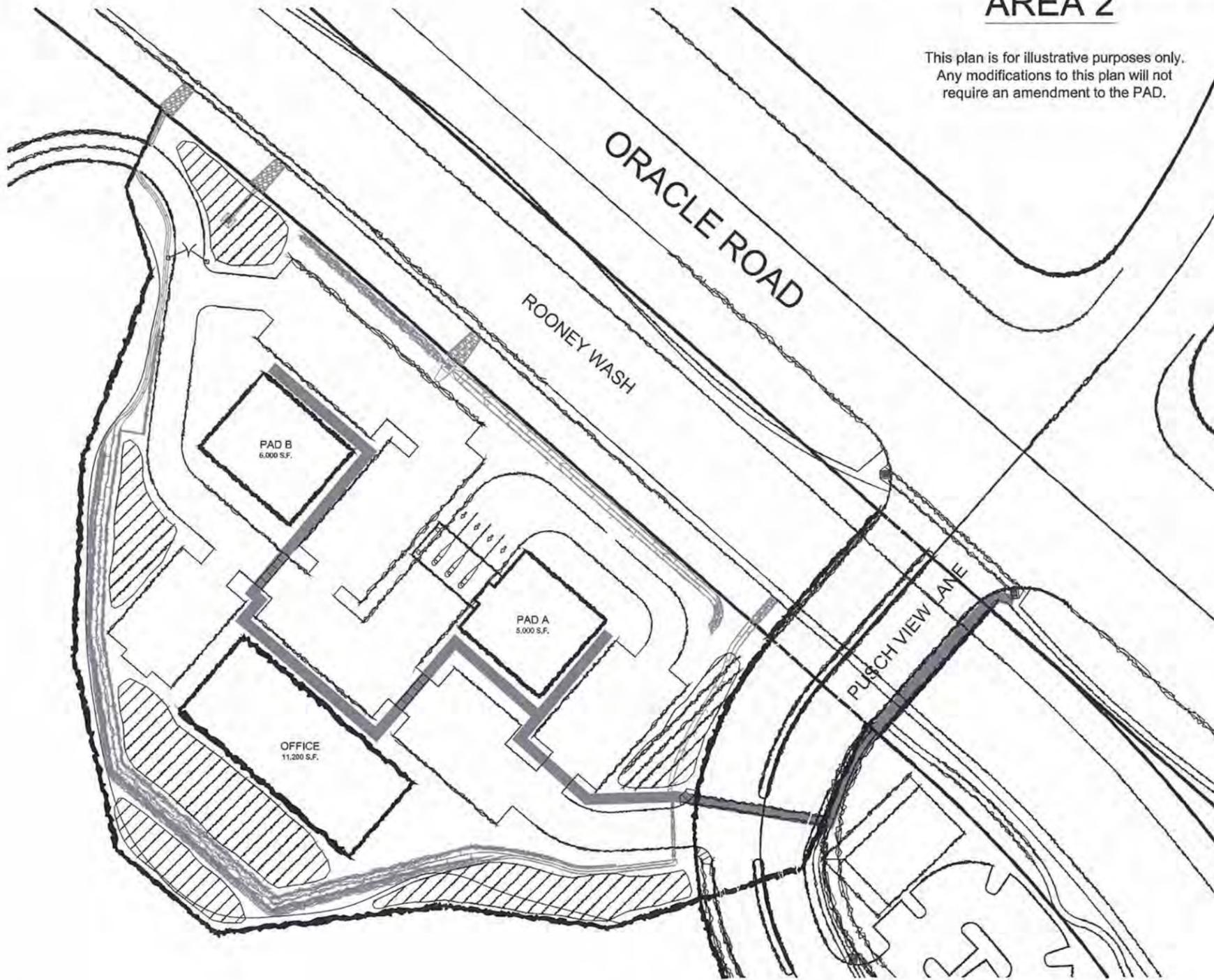
TOWN OF ORO VALLEY, ARIZONA



ILLUSTRATIVE SITE PLAN #3

AREA 2

This plan is for illustrative purposes only.
Any modifications to this plan will not
require an amendment to the PAD.

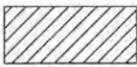


KEY PLAN



SITE DATA

Site Area	:	197,221 S.F. (4.5 AC.)
Building Area	:	22,200 S.F.
F.A.R.	:	.11

	Landscape Open Space
	5' Pedestrian Path

VICINITY MAP

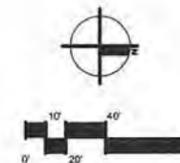


11-10-10
04152



ORO VALLEY *Town Centre*

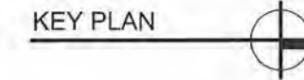
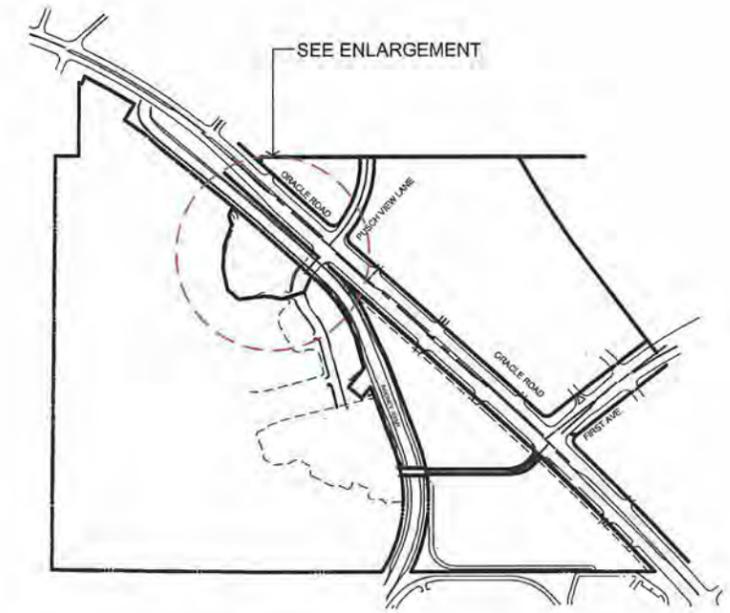
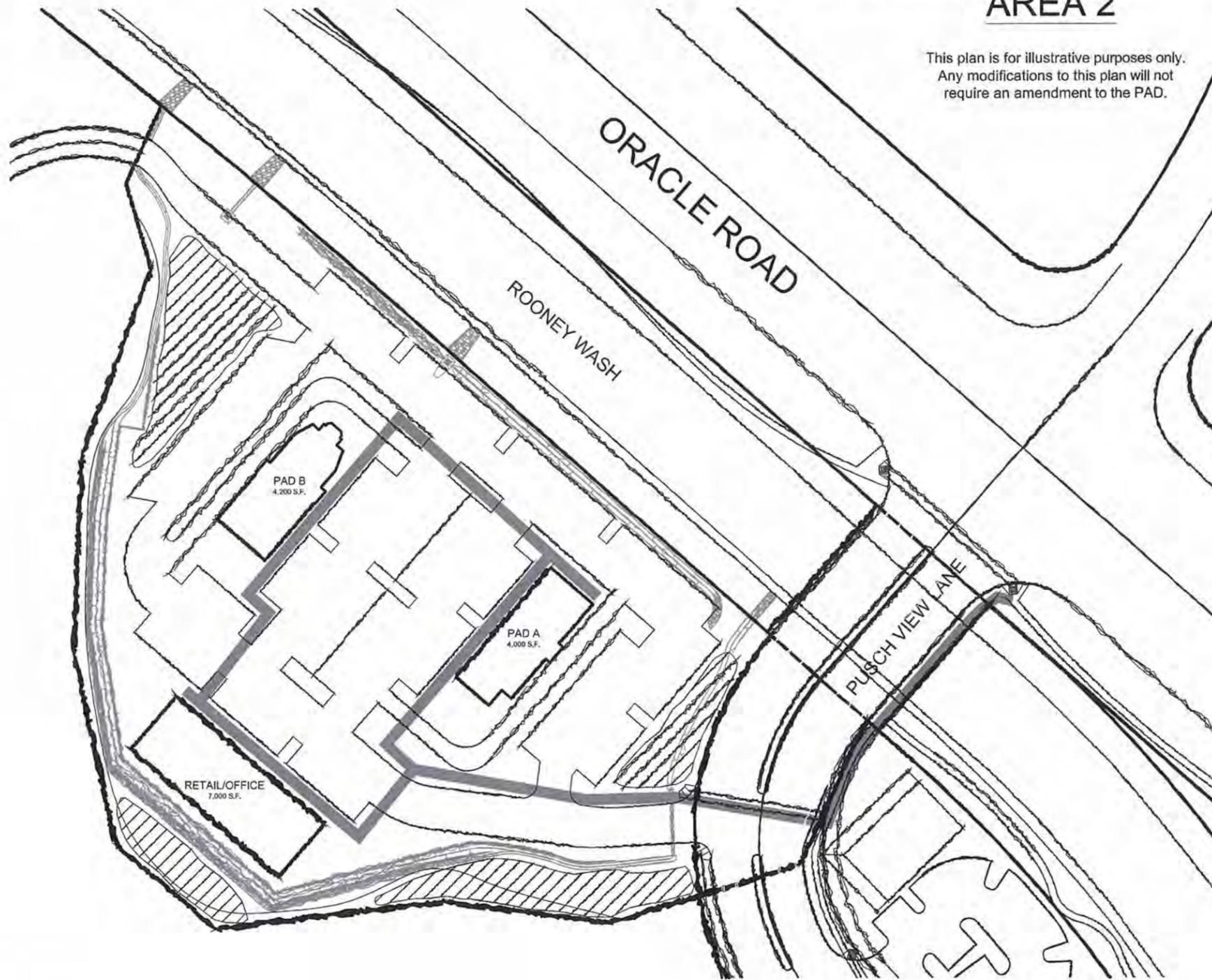
TOWN OF ORO VALLEY, ARIZONA



ILLUSTRATIVE SITE PLAN #4

AREA 2

This plan is for illustrative purposes only.
Any modifications to this plan will not
require an amendment to the PAD.



SITE DATA

Site Area : 197,221 S.F.
(4.5 AC.)

Building Area : 15,200 S.F.

F.A.R. : .08

-  Landscape Open Space
-  5' Pedestrian Path

VICINITY MAP

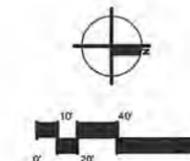


11-10-10
04152

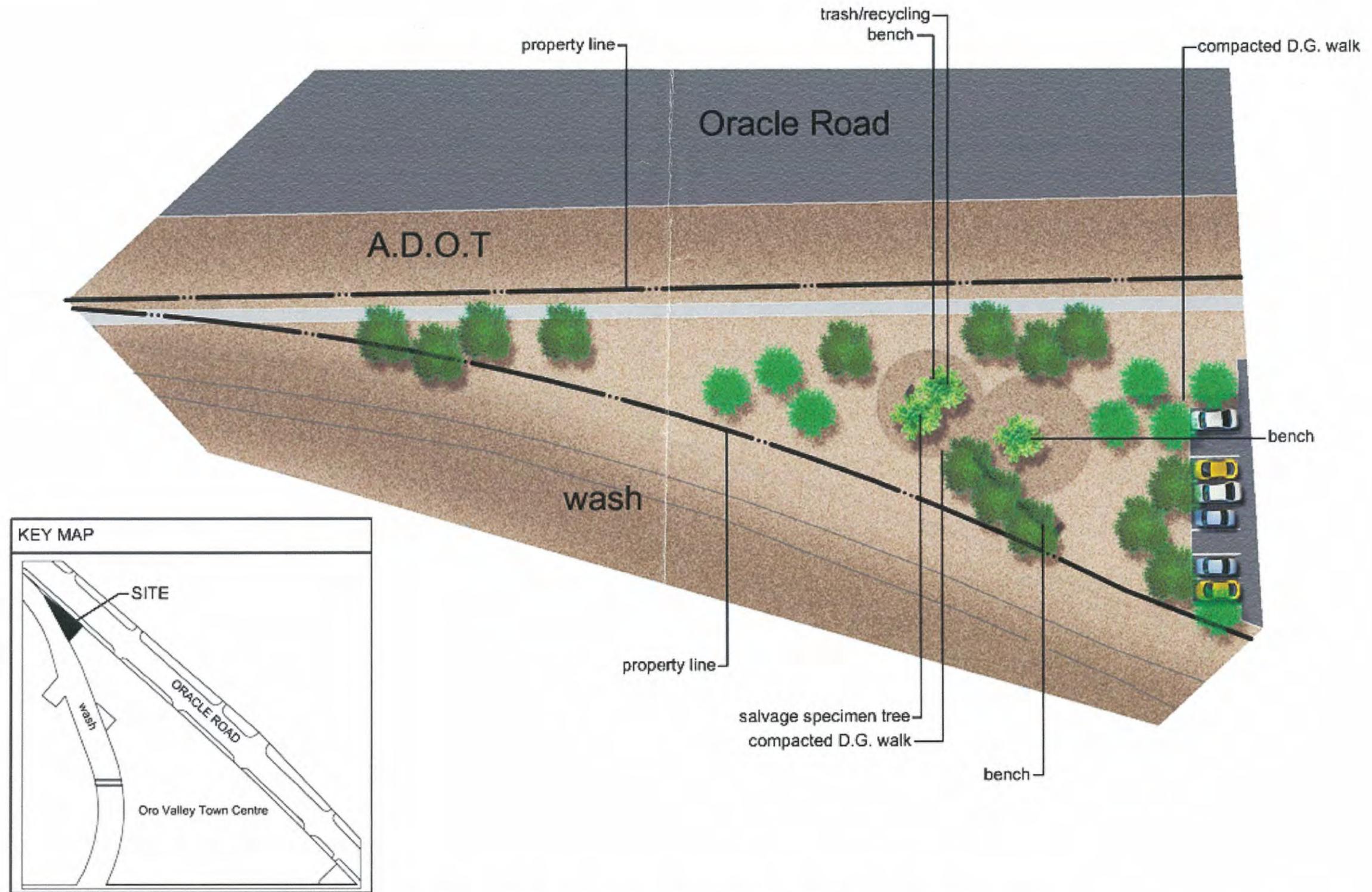


ORO VALLEY *Town Centre*

TOWN OF ORO VALLEY, ARIZONA



APPENDIX 'C-2'

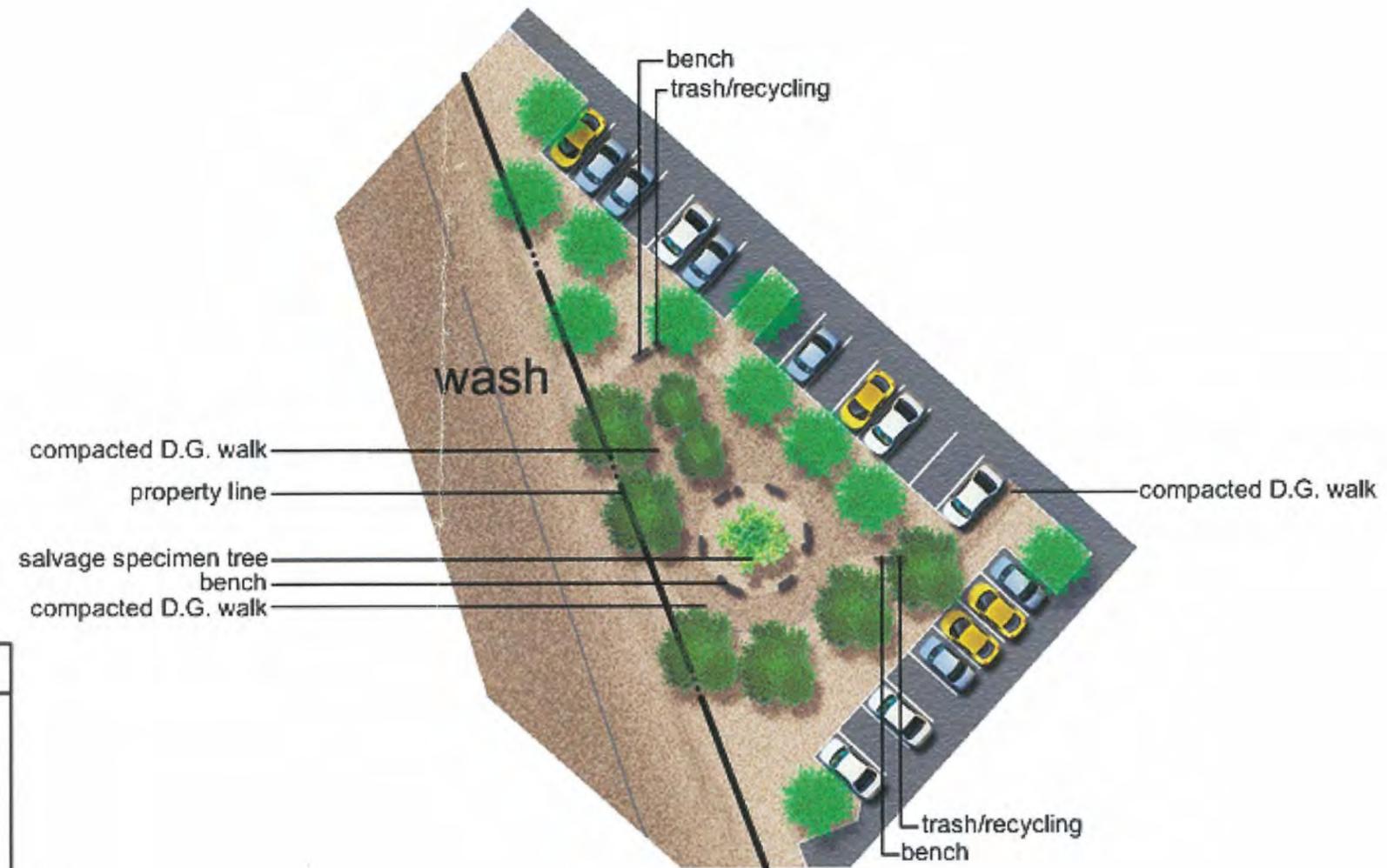
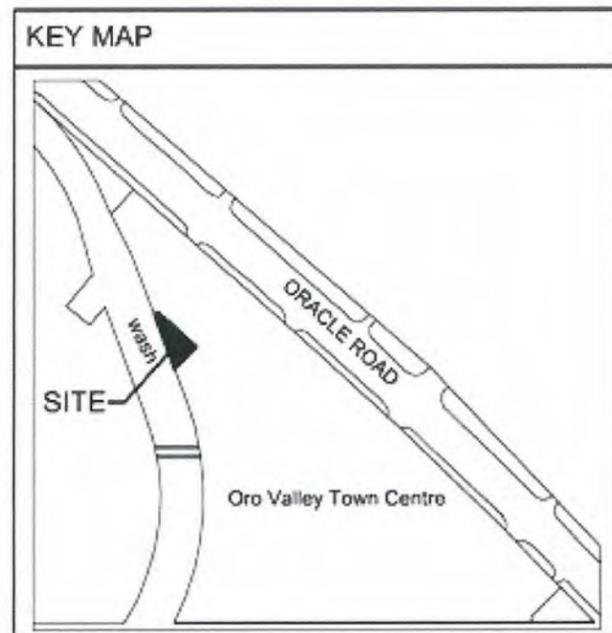


COMMON OPEN SPACE EXHIBIT 20,189 sq.ft.



ORO VALLEY *Town Centre*
TOWN OF ORO VALLEY, ARIZONA



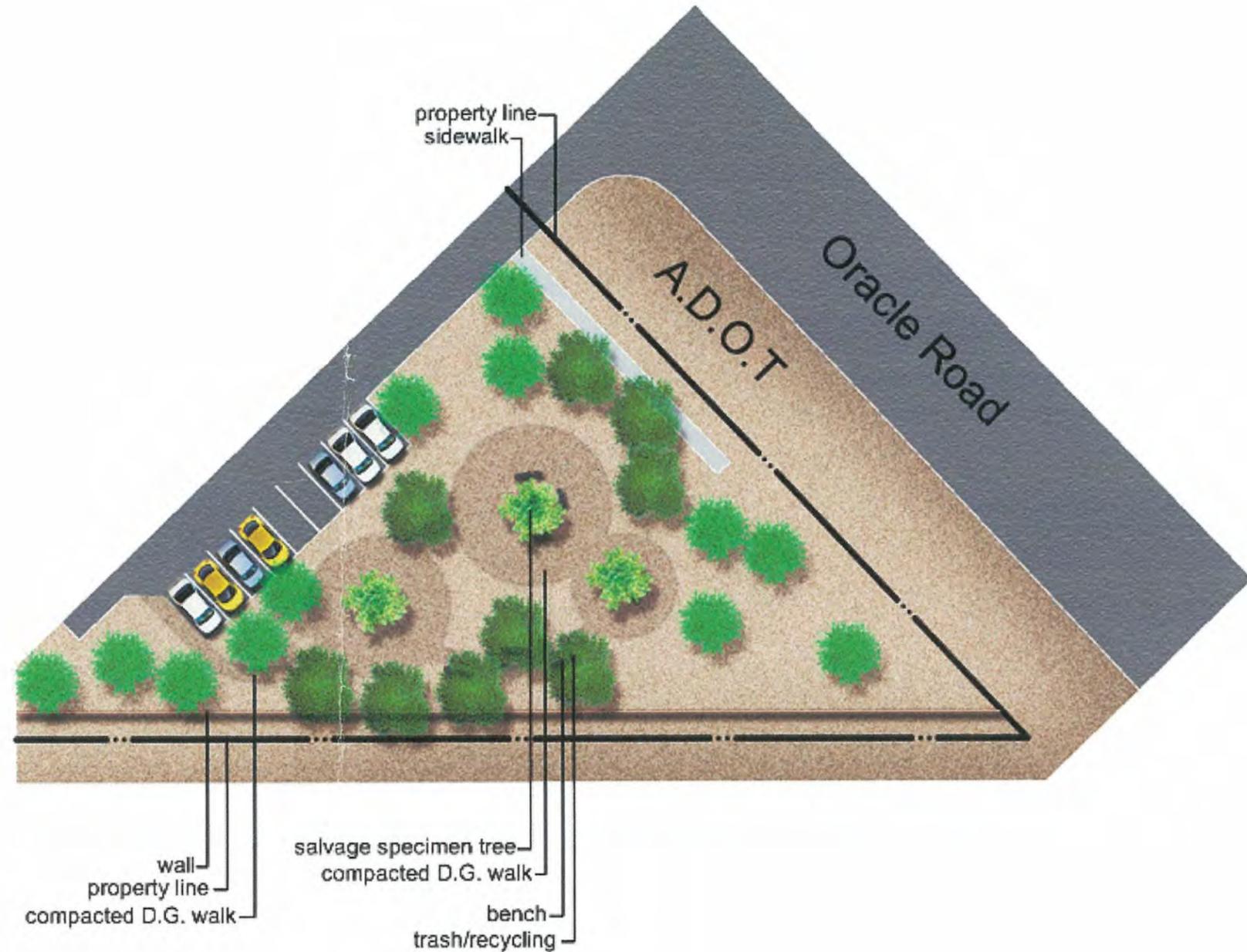
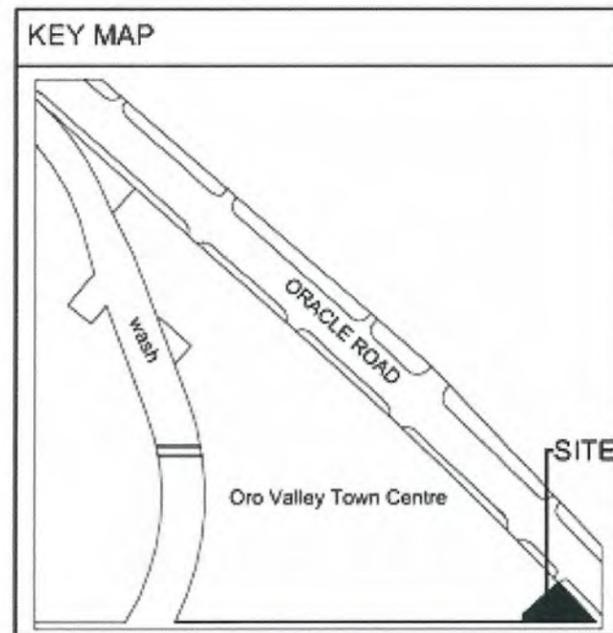


COMMON OPEN SPACE EXHIBIT 8,030 sq.ft.



ORO VALLEY *Town Centre*
TOWN OF ORO VALLEY, ARIZONA





COMMON OPEN SPACE EXHIBIT 15,278 sq.ft.



ORO VALLEY *Town Centre*
TOWN OF ORO VALLEY, ARIZONA



APPENDIX 'D'



Federal Emergency Management Agency

Washington, D.C. 20472

MAR 3 1 2003

LETTER OF MAP AMENDMENT
218-70-R

Community: Town of Oro Valley, AZ
Community No.: 040109
Map Panel Affected: 04019C1039K
Map Effective Date: February 8, 1999

IN REPLY REFER TO CASE NO. 03-09-0206A

We reviewed a request dated November 21, 2002, for a Letter of Map Amendment. Using the information submitted and the effective National Flood Insurance Program (NFIP) map, we determined the property described below is not in a Special Flood Hazard Area (SFHA), the area that would be inundated by the flood having a 1-percent chance of being equaled or exceeded in any given year (base flood).

Property Description: Town Center at Rooney Ranch, Portions of Sections 7 and 18, Township 12 South, Range 14 East, and Section 13, Township 12 South, Range 13 East, Gila and Salt River Base and Meridian, as described in the Quit Claim Deed recorded as Sequence No. 8807880, on Docket 08310, Pages 1082 through 1086, in the Office of the Recorder, Pima County, Arizona

Flooding Source: Rooney Wash

The legal descriptions of the portions mentioned above are as follows:

Rooney Ranch Parcel H:

COMMENCING at the south quarter corner of Section 7; thence N 00°20'38" W, 979.43 feet to the POINT OF BEGINNING; thence N 00°20'38" W, 1557.04 feet to the southeasterly right of way line of Oracle Road; thence 1460.87 feet along a curve to the left having a radius of 16,270.22 feet; thence S 41°25'55" W, 1380.92 feet to a point on the north right of way line of the Rooney Channel; thence northeasterly 487.13 feet along a curve to the right having a radius of 1014.93 feet; thence N 63°14'24" E, 201.66 feet; thence N 68°55'55" E, 564.00 feet; thence 860.80 feet along a curve to the right having a radius of 1034.93 feet to the POINT OF BEGINNING

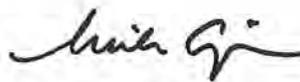
Rooney Ranch Parcel I:

BEGINNING at the north quarter corner of Section 18; thence S 00°23'26" W, 1310.75 feet; thence N 89°47'46" W, 2635.54 feet; thence N 00°00'51" W, 148.47 feet; thence S 89°48'34" W, 468.43 feet to the east right of way line of Oracle Road; thence N 23°08'24" E, 17.45 feet; thence N 65°39'07" W, 50.31 feet; thence 362.13 feet along a curve to the right having a radius of 3719.72 feet; thence S 58°25'16" E, 117.80 feet; thence N 35°43'26" E, 163.65 feet to a point on the southerly right of way line of the Rooney Channel; thence 125.13 feet along a curve to the left having a radius of 1014.93 feet; thence N 38°37'32" E, 544.34 feet; thence 286.72 feet along a curve to the right having a radius of 5669.58 feet; thence N 41°26'38" E, 483.62 feet; thence 429.54 feet along a curve to the right having a radius of 894.93 feet; thence N 74°37'28" E, 201.66 feet; thence N 68°55'05" E, 11.18 feet; thence S 51°04'05" E, 151.75 feet; thence N 38°55'55" E, 110.00 feet; thence N 51°04'05" W, 88.24 feet; thence N 68°55'55" E, 425.49 feet; thence 811.15 feet along a curve to the right having a radius of 874.93 feet; thence S 00°20'38" E, 795.51 feet to the POINT OF BEGINNING

This letter amends the above-referenced NFIP map to remove the property from the SFHA. The property is now in Zone X (shaded), an area of moderate flooding outside the SFHA.

free, at 1-877-FEMA MAP (1-877-336-2627) or by facsimile at (703) 960-9125.

Sincerely,

A handwritten signature in black ink, appearing to read "Michael Grimm".

Michael Grimm, Acting Chief
Hazards Study Branch
Federal Insurance and Mitigation Administration

Enclosure

cc: Community Map Repository

APPENDIX E



WestLand Resources, Inc.
Engineering and Environmental Consultants

October 26, 2010

Mr. Jay Mitchell
Canyon Del Oro Partners
4765 East 91st Street, Suite 200
Tulsa, Oklahoma 74137

**Re: CACTUS FERRUGINOUS PYGMY-OWL SURVEY AT THE
ROONEY RANCH II PROPERTY, SPRING 2010
WESTLAND PROJECT NO. 1305.05 343 343**

Dear Mr. Mitchell:

At your request, WestLand Resources, Inc. (WestLand) conducted three complete surveys for the cactus ferruginous pygmy-owl (CFPO; *Glaucidium brasilianum cactorum*) during the spring 2010 survey season at your Rooney Ranch II property located near 1st Avenue and Oracle Road within the city limits of Oro Valley, Pima County, Arizona¹ (Figure 1). The survey area included four non-contiguous parcels totaling approximately 142 acres. The surveys were completed under Arizona Game and Fish Department License Number SP749638 using protocols adopted in 2000 by the U.S. Fish and Wildlife Service (USFWS). Because the CFPO was not listed under the Endangered Species Act when the surveys were conducted, a USFWS permit was not required, although WestLand still holds USFWS Permit TE834782. No CFPO were detected during these surveys. A summary of the current survey status of your property is provided below, followed by a more detailed discussion of survey methods and field observations.

CFPO SURVEY SUMMARY

- ◆ CFPO surveys completed on the property by WestLand according to USFWS project clearance protocol annually from 2009 through 2010.
 - ◆ No CFPO detected during our survey efforts.
 - ◆ The CFPO is not currently federally listed and survey is not required for federal permits. The USFWS survey protocol recommends two consecutive years of CFPO survey prior to vegetation-clearing activity, and annual coverage until clearing is complete. Rooney Ranch II property currently meets this recommendation through the end of 2010.
-

The USFWS survey protocol recommends three CFPO surveys in two consecutive years with no CFPO detections prior to commencing vegetation clearing. The survey season is January 1st to June 30th, with at least one survey conducted between February 15th and April 15th and at least 15 days between each survey. Survey results are valid through the end of the calendar year. If vegetation clearing is not

¹ Township 12 South, Range 13 East, portion of Section 13; Township 12S, Range 14East, portion of Section 7 & 18
Q:\CFPO\2010\Reports\1305.05 Rooney Ranch II CFPO report 10.doc

completed by January 1st, the protocol recommends three more surveys before further land clearing of suitable habitat (USFWS Private Landowner Guidance, March 2000).

Survey was conducted in accordance with the USFWS' CFPO project clearance survey protocol except as discussed below. The maximum distance between call stations is 400 meters (0.25 mile). At each call station, a 2-minute initial listening period is followed by at least 10 minutes of 30-second CFPO vocalization broadcasts followed by 90-second listening periods. The final broadcast is followed by a 3-minute listening period. The total time spent at each station is at least 15 minutes. If background noise is high, stations are placed at 150-meter (500-foot) intervals and at least 20 minutes is spent calling and listening. Survey periods are restricted to one hour before to two hours after sunrise and one hour before to one hour after sunset, except during the five nights centered on the full moon, when calling also may be conducted as long as the moon is visible.

The survey area includes three parcels totaling approximately 13 acres at the t-intersection of Lambert Lane and 1st Avenue, separated by the high-traffic roads, and a fourth parcel of approximately 129 acres less than 0.5 mile to the south, at the intersection of 1st Avenue and Oracle Road. The parcels represent some of the only remaining open lands that are developable in the immediate vicinity, except to the north of the northern parcels.

The three surveys were conducted on the subject property according to accepted protocol on April 9 and 16; May 19 and 21; and June 23. Twelve calling stations provided complete coverage of the parcels during each survey. Weather conditions during the survey sessions were within the range considered acceptable by USFWS for CFPO survey.

The surveys conformed to the requirement of at least 15 days between surveys, but no survey was completed between February 15 and April 15. However, WestLand contacted the USFWS and obtained confirmation that they would consider the surveys acceptable for coverage in 2009 should the project require Endangered Species Act consultation. The email correspondence to this effect is attached.

No CFPO were detected during the survey efforts.

Other information recorded during the survey is found on the field data forms that will be provided to the USFWS pursuant to our federal survey permit conditions.

The delisting of the CFPO took effect on May 15, 2006 and it remains delisted at the time of this report. A petition to list the CFPO as a threatened or endangered species was submitted to the USFWS on March 20, 2007. In June 2008, the USFWS published its 90-day finding that listing of the CFPO may be warranted and announced the initiation of a 12-month status review of CFPO. However, there have been delays in the USFWS publishing their decision, and no date for publishing has been announced. Their status review is considering the western population of CFPO, which extends from Sinaloa, Mexico to Southern Arizona.

At the conclusion of their status review, the USFWS will make one of the following three determinations regarding CFPO:

- Listing under the ESA is not warranted, in which case no further action will be taken.

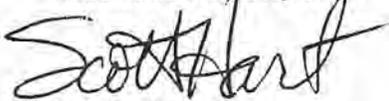
Mr. Jay Mitchell
October 26, 2010
Page 3

- Listing under the ESA is warranted and the USFWS proceeds to publish a proposal to list the species as threatened or endangered and with or without critical habitat.
- Listing under the ESA is warranted, but is precluded by other, higher priority activities.

Because the CFPO is not federally protected by the Endangered Species Act (ESA), federal actions on a project cannot require CFPO survey pursuant to the ESA. However, the following status for your project could be pertinent in the event the CFPO is listed in the near future. The area has been surveyed in both 2009 and 2010, and meets the USFWS protocol recommendation for survey in the two years immediately prior to initiation of vegetation clearing, should the project be initiated in 2010. The surveys conducted this year provide coverage through the end of 2010. Once the project is initiated, the USFWS protocol recommends surveys are conducted annually until vegetation clearing has been completed.

We appreciate the opportunity to complete this survey on your behalf. If you have any questions or we can be of additional assistance, please contact Jim Tress or me at (520) 206-9585.

Sincerely,
WestLand Resources, Inc.



Scott D. Hart
Project Manager

SDH:ad

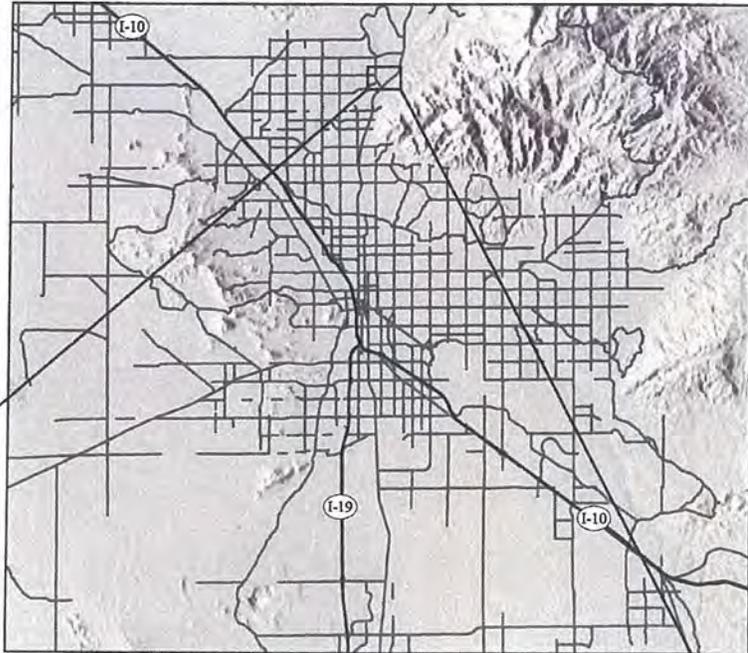
Enclosure: Figure 1, Project Map

ARIZONA

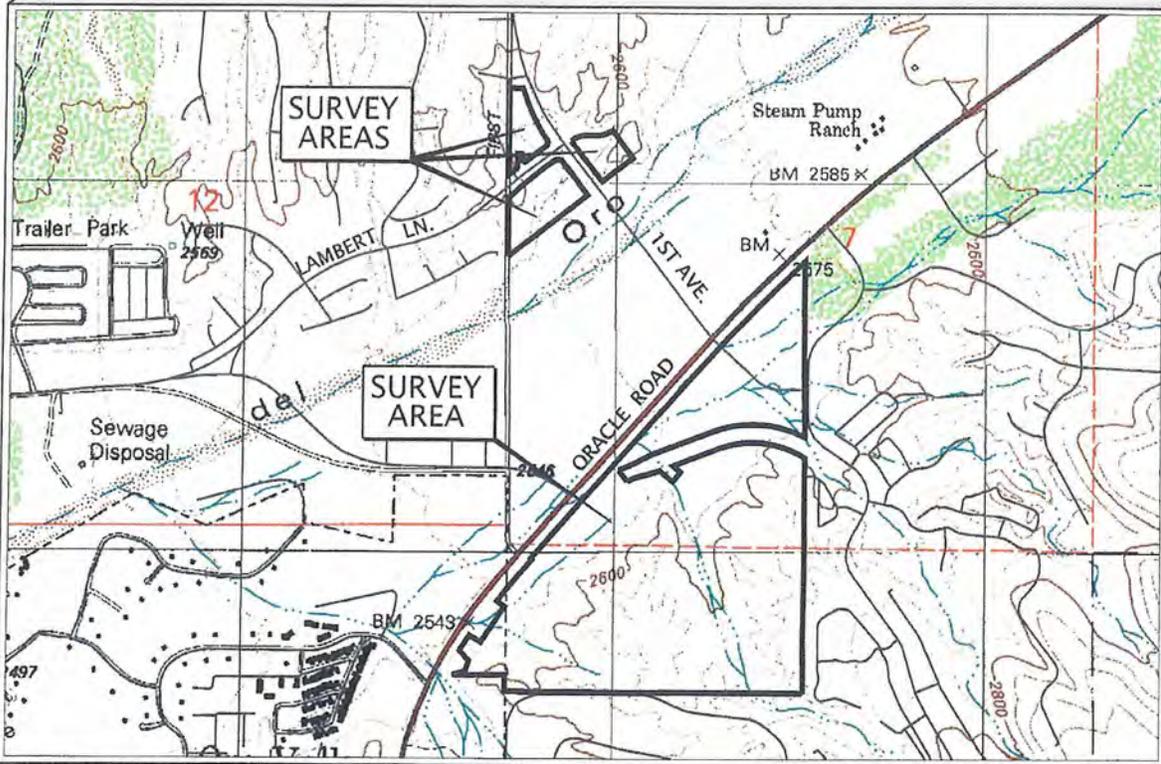
TUCSON METROPOLITAN AREA



PROJECT
LOCATION



Approximate Scale 1" = 10 Miles



T.12S.,R.13E., Portion Section 13,
T.12S.,R.14E., Portion Section 7 & 18, Pima County, Arizona,
Oro Valley USGS 7.5' Quadrangle.

CANYON DEL ORO PARTNERS Rooney Ranch II

2010 Cactus Ferruginous Pygmy-Owl Survey

Figure 1

WestLand Resources Inc.
Engineering and Environmental Consultants
2343 E. Broadway Blvd., Suite 202
Tucson, Az 85719 (520) 206-8588

0' 800' 1600'
APPROX. SCALE: 1" = 1600'

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APPENDIX 'F'

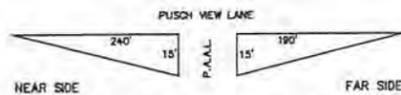
GENERAL NOTES:

- A. GROSS AREA OF THIS DEVELOPMENT IS 141.15 ACRES.
 B. EXISTING ZONING IS R1-144.
 PROPOSED ZONING IS ORO VALLEY TOWN CENTRE PLANNED AREA DEVELOPMENT.
 C. GROSS FLOOR AREA IS AS FOLLOWS:
- | | |
|----------|--------------|
| BLDG. A: | 13,000 S.F. |
| BLDG. B: | 6,500 S.F. |
| BLDG. C: | 6,000 S.F. |
| BLDG. D: | 27,100 S.F. |
| BLDG. E: | 86,500 S.F. |
| BLDG. F: | 51,000 S.F. |
| BLDG. G: | 7,200 S.F. |
| BLDG. H: | 55,800 S.F. |
| BLDG. I: | 10,600 S.F. |
| BLDG. J: | 11,100 S.F. |
| BLDG. K: | 12,400 S.F. |
| BLDG. L: | 5,000 S.F. |
| BLDG. M: | 41,500 S.F. |
| BLDG. N: | 29,000 S.F. |
| BLDG. O: | 150,000 S.F. |
| BLDG. P: | 6,700 S.F. |
| BLDG. Q: | 15,000 S.F. |
| BLDG. R: | 8,000 S.F. |
| BLDG. S: | 3,500 S.F. |
| BLDG. T: | 7,300 S.F. |
| BLDG. U: | 29,700 S.F. |
| TOTAL: | 566,700 S.F. |

- D. FLOOR AREA RATIO FOR COMMERCIAL AREA IS 0.29 NET (0.11 GROSS).
 F. THE RESIDENTIAL GROSS DENSITY IS 0.8 DWELLING UNITS PER ACRE.
 G. THERE ARE 57 RESIDENTIAL DWELLINGS WITHIN THE RESIDENTIAL PORTION OF THE SITE.
 THERE ARE NO RESIDENCES WITHIN THE COMMERCIAL PORTION OF THE SITE.
 H. BUILDING HEIGHTS WILL BE IN ACCORDANCE WITH THE ORO VALLEY TOWN CENTRE P.A.D.
 I. TOTAL NUMBER OF PARKING SPACES PROVIDED (NON-RESIDENTIAL) IS 1,633.
 THE AMOUNT OF RESIDENTIAL OFF-STREET PARKING WILL BE IN ACCORDANCE WITH
 ORO VALLEY ZONING CODE REVISED.
 J. APPROXIMATELY 72 ACRES OF NATURAL OPEN SPACE WILL REMAIN UNDISTURBED.
 K. FLOODPLAINS AND DRAINAGE WILL NOT BE ALTERED, DISTURBED OR OBSTRUCTED WITHOUT
 THE APPROVAL OF THE ORO VALLEY TOWN COUNCIL. REFER TO THE PRELIMINARY
 DRAINAGE REPORT FOR LOCATION OF FLOODPLAINS TO BE ALTERED AND FOR AN OVERALL
 DRAINAGE STRATEGY FOR THIS PROJECT.
 L. THIS PROJECT WILL BE SERVED BY ORO VALLEY WATER UTILITY WHICH HAS BEEN DESIGNATED AS
 HAVING AN ASSURED 100-YEAR WATER SUPPLY BY THE DIRECTOR OF WATER RESOURCES.
 M. FOR DETAILS ABOUT LOCATION AND GENERAL TYPES OF LANDSCAPING, REFER TO
 SECTION II-E: 'PROJECT DESIGN CRITERIA' OF THE ORO VALLEY TOWN CENTRE P.A.D. DOCUMENT.
 N. FOR DETAILS ABOUT PROJECT PHASING, REFER TO SECTION II-B: 'COMMUNITY GOALS AND POLICIES'
 OF THE ORO VALLEY TOWN CENTRE P.A.D. DOCUMENT.
 O. FOR DETAILS ABOUT BUILDING HEIGHTS, REFER TO SECTION II-D: 'PLANNED AREA DEVELOPMENT PROPOSAL'
 OF THE ORO VALLEY TOWN CENTRE P.A.D. DOCUMENT.

LEGEND

- EXISTING 5' CONTOUR
- EXISTING 1' CONTOUR
- GRADING LIMITS
- EXISTING PAVEMENT AND CURB
- EXISTING WATERLINE AND VALVE
- EXISTING SEWER LINE AND MANHOLE
- NEW WATERLINE AND VALVE
- NEW SEWER LINE AND MANHOLE
- DEVELOPMENT BOUNDARY
- EASEMENT LINE
- 100-YEAR FLOOD PLAIN LIMIT
- BICYCLE PARKING FACILITIES
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- FINISHED FLOOR ELEVATION
- WATERSHED
- FLOW DIRECTION
- DRAINAGE CONCENTRATION POINT
- CHANNEL
- CHANNEL SECTION
- 100-YEAR FLOOD LIMITS
- MINNING'S/HEC-RAS CROSS SECTION
- CULVERT
- ROCK LINED SCOUR HOLE
- BANK PROTECTION
- NUMBER OF PARKING SPACES
- FIRST FLUSH BASIN



SIGHT VISIBILITY TRIANGLE DETAIL
N.T.S.

**TENTATIVE DEVELOPMENT PLAN FOR
 ORO VALLEY TOWN CENTRE
 PLANNED AREA DEVELOPMENT**

PORTIONS OF SECTION 13, TOWNSHIP 12 SOUTH, RANGE 13 EAST
 AND SECTIONS 7 AND 18, TOWNSHIP 12 SOUTH, RANGE 14 EAST,
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 ORO VALLEY CASE NUMBER OV9-01-05
 SUBMITTED: 04.29.2002

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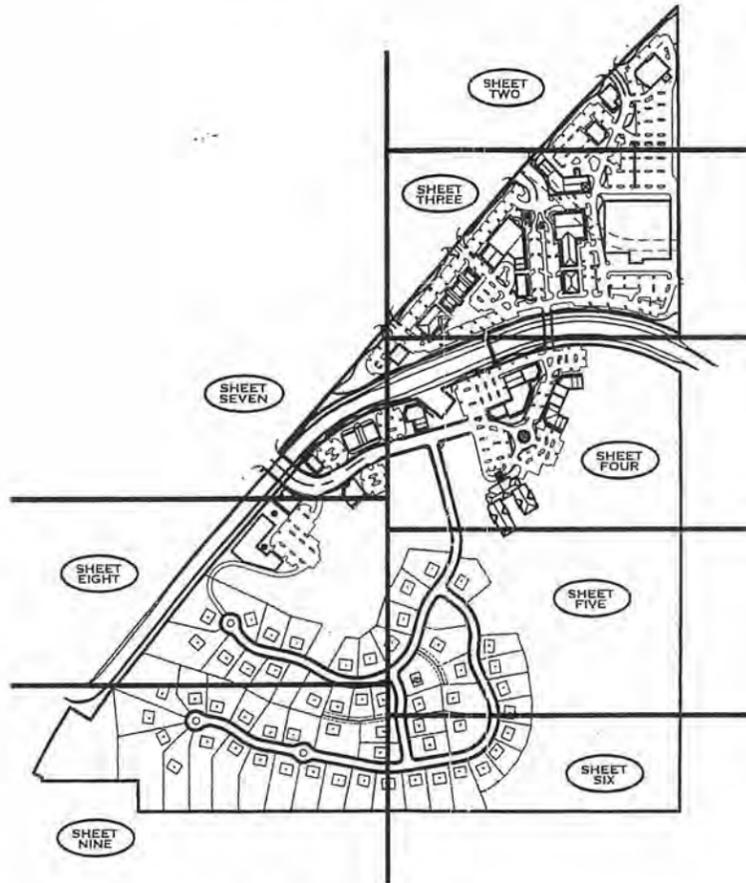
THIS PROJECT



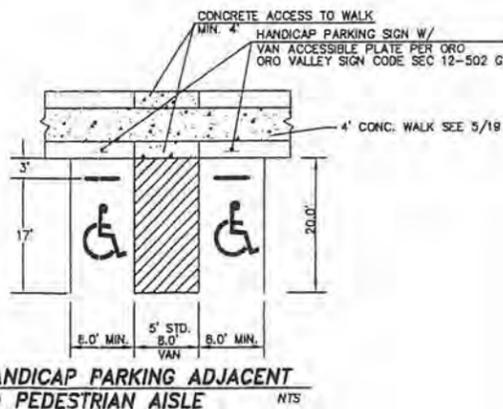
SCALE: 3" = 1 MILE

LOCATION MAP

PORTIONS OF SECTION 13, TOWNSHIP 12 SOUTH, RANGE 13 EAST,
 AND SECTIONS 7 AND 18, TOWNSHIP 12 SOUTH, RANGE 14 EAST,
 G. & S.R.M., TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA
 SCALE: 3" = 1 MILE



PROJECT LAYOUT
SCALE: 1" = 400'



**HANDICAP PARKING ADJACENT
 TO PEDESTRIAN AISLE**
N.T.S.

OWNER/APPLICANT
 CANADA DEL ORO PARTNERS
 401 SOUTH BOSTON AVENUE
 SUITE 2400
 TULSA, OKLAHOMA 74103-4010
 918.582.4300

PROJECT PLANNERS & ENGINEERS
 THE WLB GROUP, INC.
 4444 EAST BROADWAY BOULEVARD
 TUCSON, ARIZONA 85711
 520.881.7480

TABLE OF 100-YEAR POST-DEVELOPED PEAK DISCHARGES

CONC. POINT	DRAINAGE AREA (AC)	Q100 (cfs)	TOTAL Q100 (cfs)
1	1.24	9.8	9.8
1.1	0.77	53.4	53.4
1.2	7.13	56.2	56.2
1.4	1.01	8	8
1.5	0.92	7.3	7.3
1.6	1.24	9.8	9.8
1.7	1.83	14.4	14.4
1.8	1.42	11.2	11.2
1.9	2.26	17.8	17.8
1.9A	0.32	2.80	2.80
1.9B	0.32	2.80	2.80
1.9C	0.32	2.80	2.80
1.10	2.83	22.3	22.3
2	2.88	15.3	62.1
2.1	1.95	15.4	15.4
2.2	3.82	21.8	31.4
2.3	1.22	9.6	9.6
3	25.56	143.9	1437.8
3.1	2.37	18.7	18.7
3.2	2.43	16.5	16.5
3.3	24.86	139.5	1398.6
3.4	2.58	20.3	20.3
3.5	9.02	51.6	51.6
3.6	6.60	44.9	44.9
3.7	3.06	16.9	16.9
4	1.35	10.6	10.6
5	1.10	8.7	8.7
6	6.80	46.3	46.3
7	2.57	17.5	20.3
7.1	0.41	2.8	2.8
8	5.20	29.7	29.7
9	1.56	9.8	9.8
9.1	6.84	45.2	45.2
10	2.48	15.5	15.5
11	7.10	44.5	77.6
11.1	4.87	33.1	33.1
11.2	2.50	14.3	14.3
1.1E	29.30	213	213
1.2E	2.10	16	16
1.3E	14.90	116	116
3.1E	11.38	20	20
7.1E	174.12	1123.1	1123.1
15E	883.80	3480	2480

*Total Q100 from all upstream watersheds.

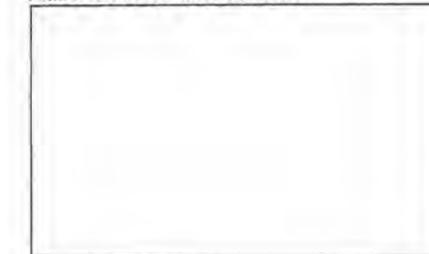
TABLE OF 100-YEAR PRE-DEVELOPED PEAK DISCHARGES GREATER THAN OR EQUAL TO 50 CFS

CONCENTRATION POINT	Q100 (cfs)
1E	980
1.1E	213
1.3E	116
2E	70
3E	92
3.1E	50
7E	1495
7.1E	1125
12E	97
13E	57
14E	113
15E	4752
15.1E	2480
16E	54

TABLE OF PRE-DEVELOPED 100-YEAR WATER SURFACE ELEVATIONS FROM HEC-RAS ANALYSIS

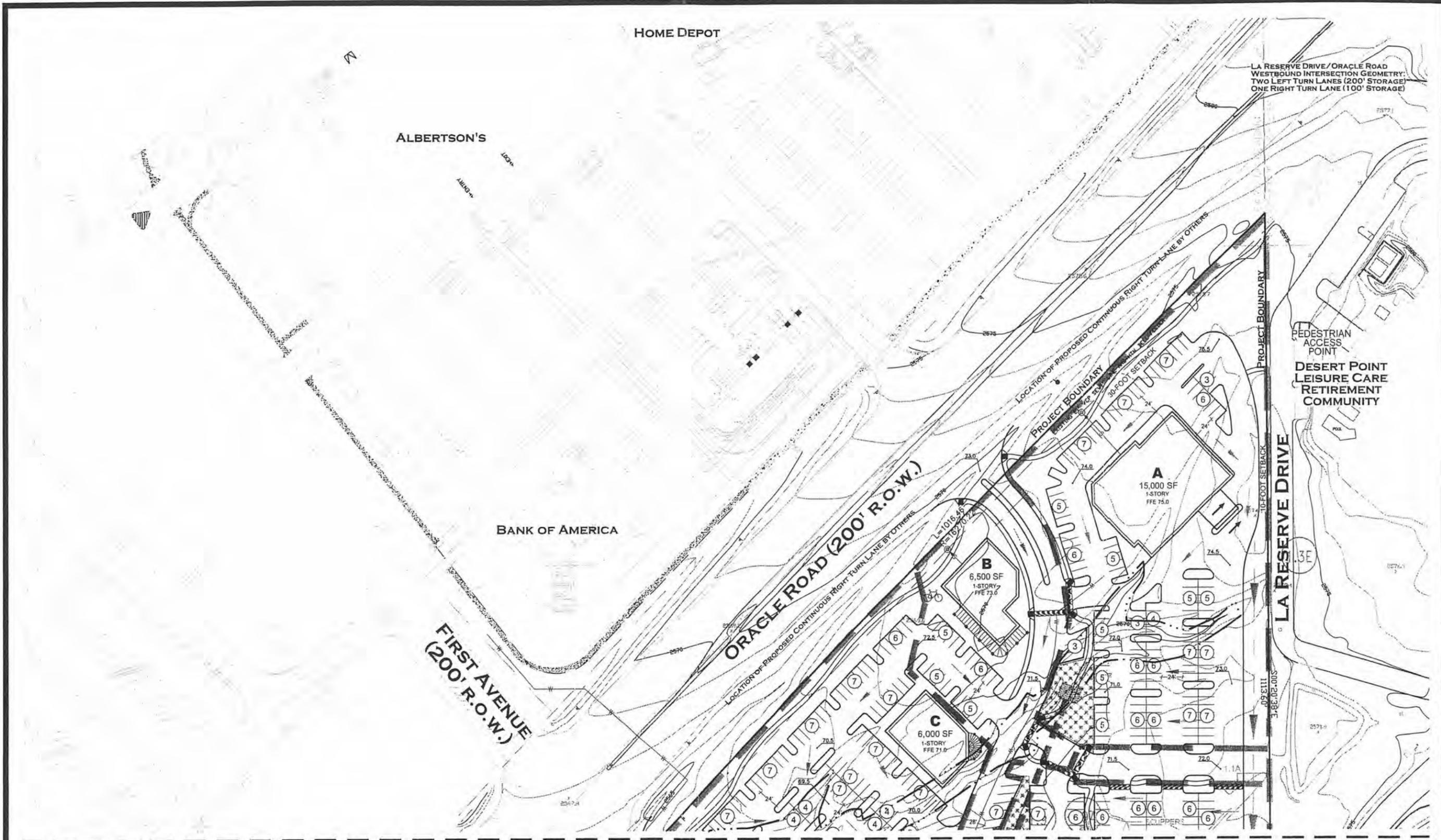
CONC. POINT	WSEL	CRSD. HEIGHT	WSEL
1.1-1	2571.65'	14.1	2584.71'
1.1-2	2570.40	14.2	2577.76'
1.1-3	2568.05'	14.3	2562.07'
1.1-4	2563.11'	14.4	2546.83'
1.1-5	2560.54'	15A	2581.04'
1.3-1	2571.42'	15B	2576.30'
1.3-2	2568.68'	15C	2576.91'
1.3-3	2566.82'	15D	2571.94'
2.1	2562.28'	15E	2572.43'
2.2	2563.08'	15F	2568.76'
3.1	2638.03'	15G	2571.35'
3.2	2621.01'	15H	2568.78'
3.3	2611.05'	15I	2565.42'
3.4	2604.35'	15J	2561.24'
3.5	2596.06'	15K	2558.13'
7.1	2570.71'	15L	2555.94'
7.2	2577.04'	15M	2552.62'
7.3	2583.13'	15N	2554.25'
7.4	2590.28'	15O	2551.10'
7.5	2598.61'	15P	2548.53'
7.6	2602.64'	15Q	2548.25'
7.7	2609.46'	15R	2547.62'
7.8	2617.46'	15S	2544.49'
12.1	2546.13'	15T	2543.27'
12.2	2545.86'	15U	2540.61'
13.1	2544.86'	16.1	2547.23'

PIMA COUNTY ADDRESSING



I, KATHRYN E. CUEVELER, CMC, TOWN CLERK, TOWN OF ORO VALLEY,
 ARIZONA, HEREBY CERTIFY THAT THIS IS THE TRUE AND CORRECT
 DEVELOPMENT PLAN AS APPROVED BY THE ORO VALLEY MAYOR AND
 TOWN COUNCIL ON _____

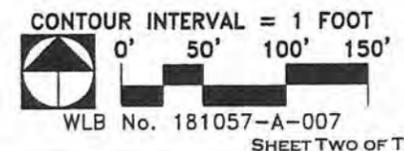
KATHRYN E. CUEVELER, CMC
 TOWN CLERK
 _____ DATE



TENTATIVE DEVELOPMENT PLAN FOR
ORO VALLEY TOWN CENTRE
 PLANNED AREA DEVELOPMENT

PORTIONS OF SECTION 13, TOWNSHIP 12 SOUTH, RANGE 13 EAST
 AND SECTIONS 7 AND 18, TOWNSHIP 12 SOUTH, RANGE 14 EAST,
 GILA AND SALT RIVER MERIDIAN,
 TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA
 ORO VALLEY CASE NUMBER OV9-01-05
 SUBMITTED: 04.29.2002

REVISED: 6.7, 6.28, 7.16, 9.13, 12.13.2002, 7.10 & 12.5.2003

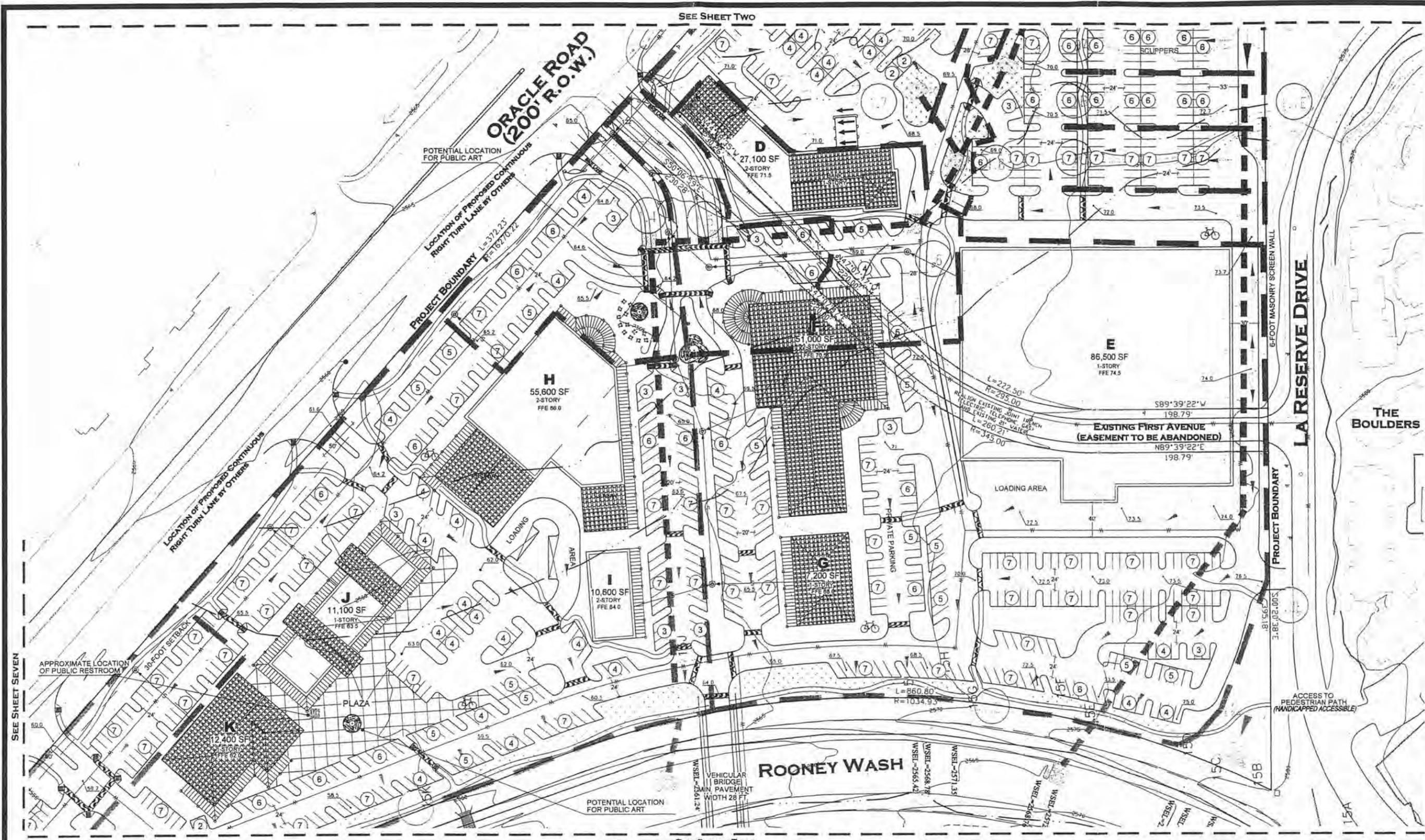


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 Landscape Architecture Urban Design
 Offices located in Tucson, Phoenix
 and Las Vegas
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 Tucson, Arizona (520) 881-7480

OWNER/APPLICANT
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 SUITE 2400
 TULSA, OKLAHOMA 74103-4010

PROJECT PLANNERS & ENGINEERS
 THE WLB GROUP, INC.
 4444 EAST BROADWAY BOULEVARD
 TUCSON, ARIZONA 85711

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SEE SHEET TWO

SEE SHEET FOUR

TENTATIVE DEVELOPMENT PLAN FOR
ORO VALLEY TOWN CENTRE
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PORTIONS OF SECTION 13, TOWNSHIP 12 SOUTH, RANGE 13 EAST
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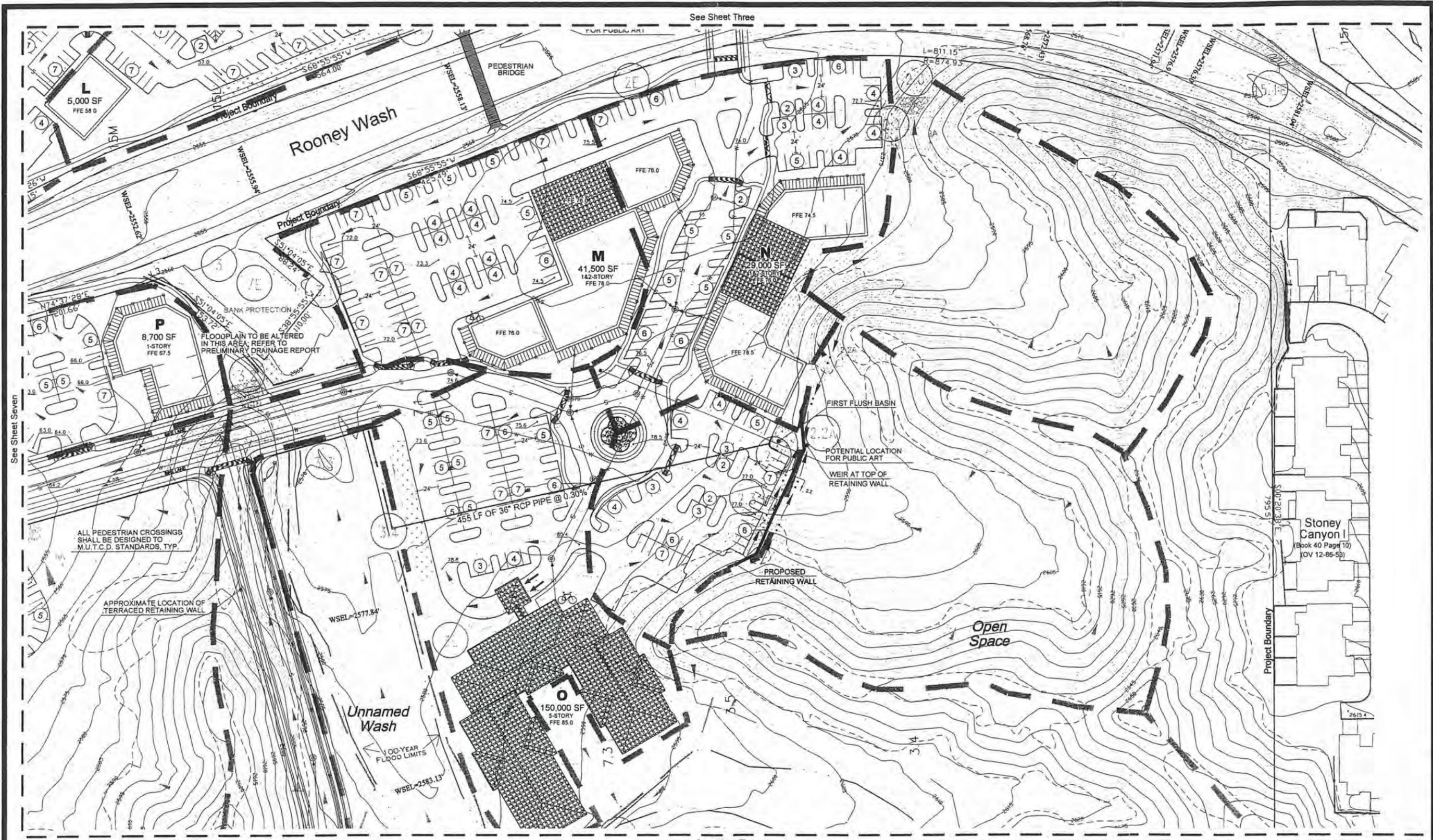
WLB No. 181057-A-007
 SHEET THREE OF TEN

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TENTATIVE DEVELOPMENT PLAN FOR
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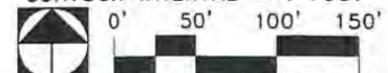
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WLB No. 181057-A-007

SHEET FOUR OF TEN

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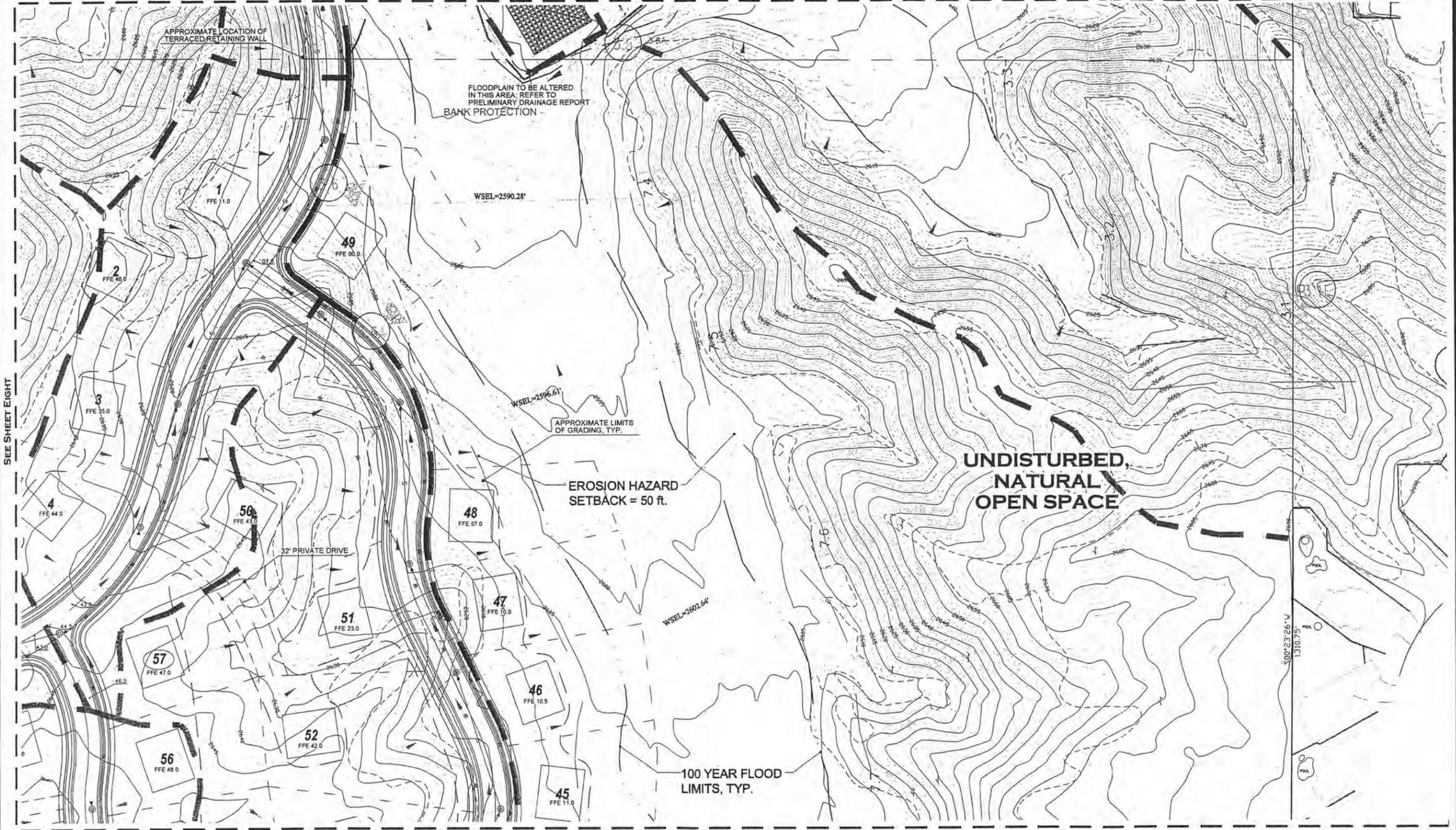
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SEE SHEET FOUR



SEE SHEET SIX

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ORO VALLEY TOWN CENTRE
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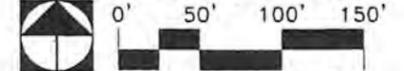
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 THE WLB GROUP, INC.
 4444 EAST BROADWAY BOULEVARD
 TUCSON, ARIZONA 85711

CONTOUR INTERVAL = 1 FOOT



WLB No. 181057-A-007

SHEET FIVE OF TEN

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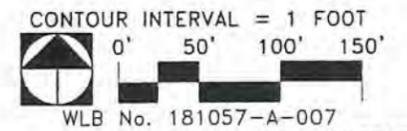
SEE SHEET FIVE



TENTATIVE DEVELOPMENT PLAN FOR
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SHEET SIX OF TEN

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PROJECT PLANNERS & ENGINEERS
 THE WLB GROUP, INC.
 4444 EAST BROADWAY BOULEVARD
 TUCSON, ARIZONA 85711

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SEE SHEET EIGHT

SEE SHEET FOUR

TENTATIVE DEVELOPMENT PLAN FOR
ORO VALLEY TOWN CENTRE
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CONTOUR INTERVAL = 1 FOOT



WLB No. 181057-A-007

SHEET SEVEN OF TEN

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 THE WLB GROUP, INC.
 4444 EAST BROADWAY BOULEVARD
 TUCSON, ARIZONA 85711

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SEE SHEET EIGHT



SEE SHEET SIX

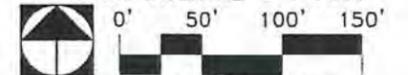
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SUBMITTED: 04.29.2002

REVISED: 6.7, 6.28, 7.16, 9.13, 12.13.2002, 7.10 & 12.5.2003

CONTOUR INTERVAL = 1 FOOT



WLB No. 181057-A-007

SHEET NINE OF TEN

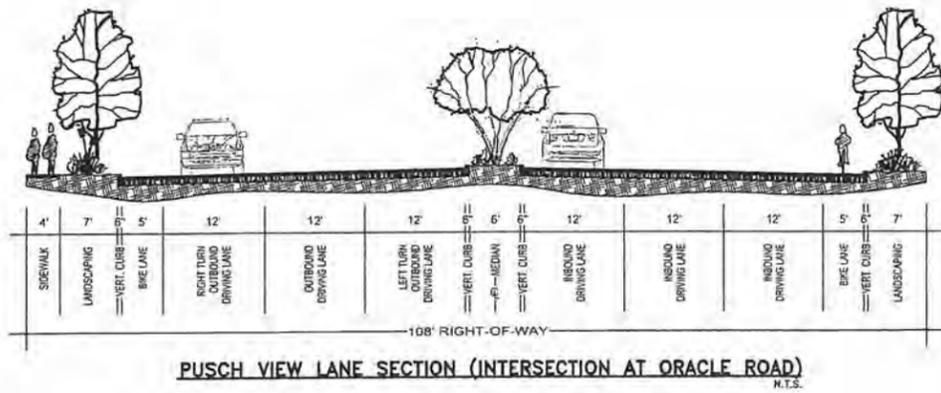
The WLB Group **WLB**

Engineering Planning Surveying
 Landscape Architecture Urban Design
 Offices located in Tucson, Phoenix
 and Las Vegas
 4444 East Broadway Blvd.
 Tucson, Arizona (520) 881-7480

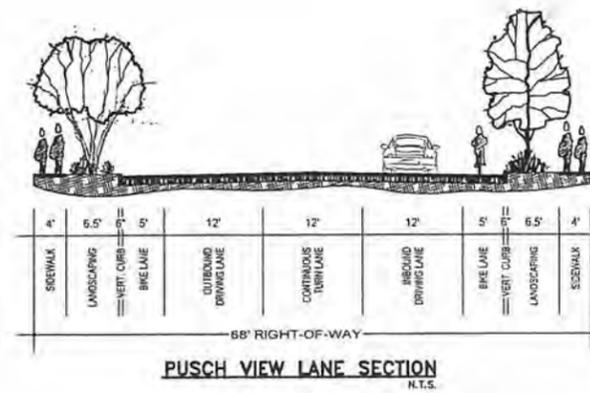
OWNER/APPLICANT
 CANADA DEL ORO PARTNERS
 401 SOUTH BOSTON AVENUE
 SUITE 2400
 TULSA, OKLAHOMA 74103-4010

PROJECT PLANNERS & ENGINEERS
 THE WLB GROUP, INC.
 4444 EAST BROADWAY BOULEVARD
 TUCSON, ARIZONA 85711

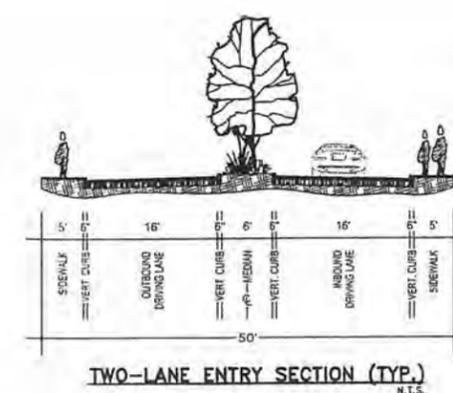
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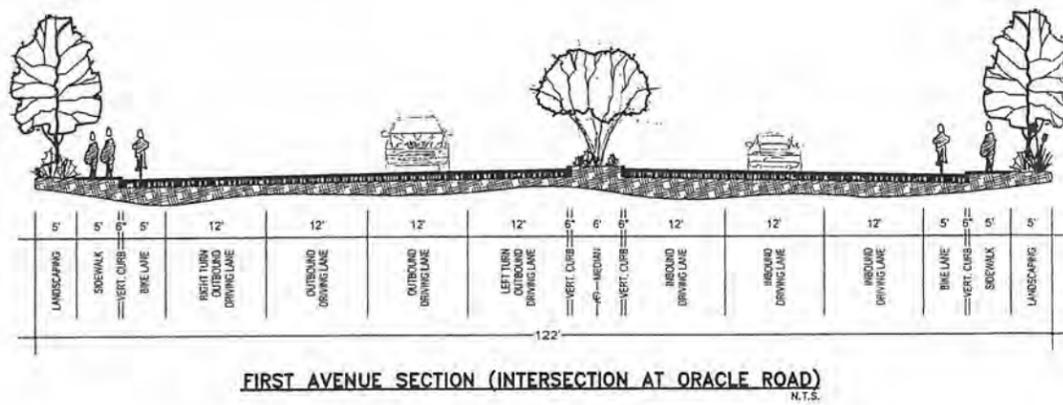
PUSCH VIEW LANE SECTION (INTERSECTION AT ORACLE ROAD)
N.T.S.



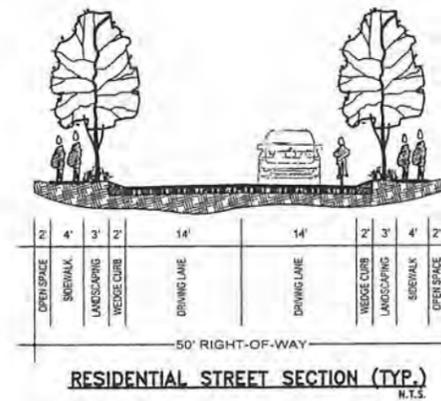
PUSCH VIEW LANE SECTION
N.T.S.



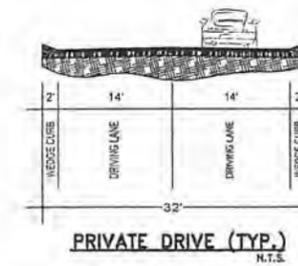
TWO-LANE ENTRY SECTION (TYP.)
N.T.S.



FIRST AVENUE SECTION (INTERSECTION AT ORACLE ROAD)
N.T.S.



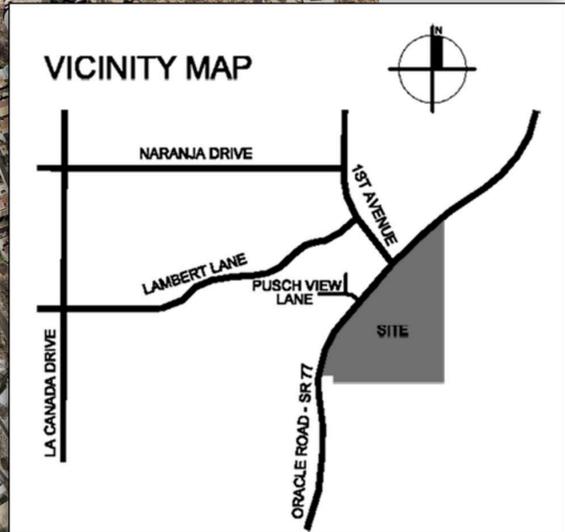
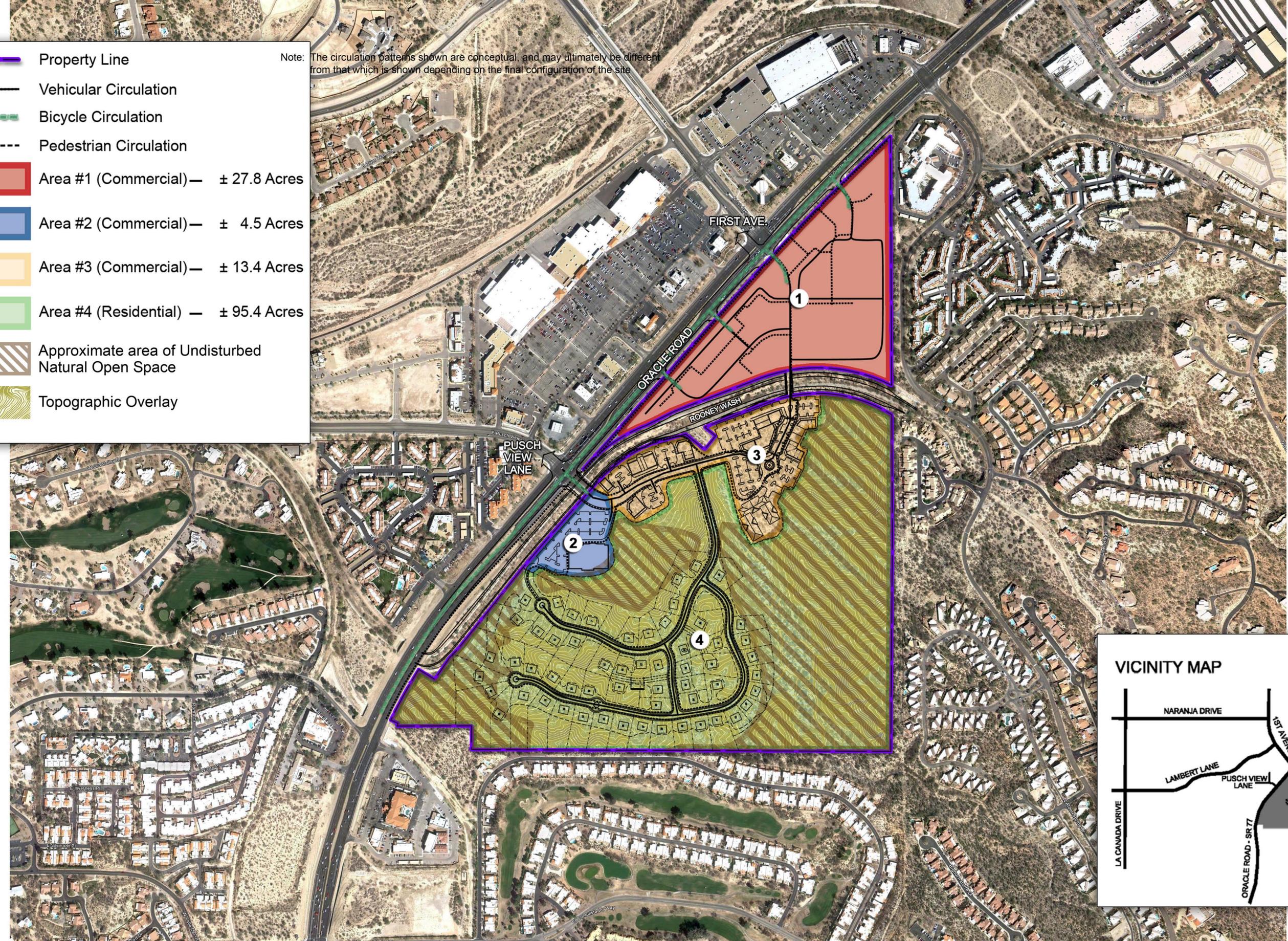
RESIDENTIAL STREET SECTION (TYP.)
N.T.S.



PRIVATE DRIVE (TYP.)
N.T.S.

Note: The circulation patterns shown are conceptual, and may ultimately be different from that which is shown depending on the final configuration of the site.

-  Property Line
-  Vehicular Circulation
-  Bicycle Circulation
-  Pedestrian Circulation
- 1**  Area #1 (Commercial) — ± 27.8 Acres
- 2**  Area #2 (Commercial) — ± 4.5 Acres
- 3**  Area #3 (Commercial) — ± 13.4 Acres
- 4**  Area #4 (Residential) — ± 95.4 Acres
-  Approximate area of Undisturbed Natural Open Space
-  Topographic Overlay



ORO VALLEY *Towne Center*
 ORACLE ROAD & FIRST AVENUE
 TOWN OF ORO VALLEY, ARIZONA

Tentative Development Plan (TDP)

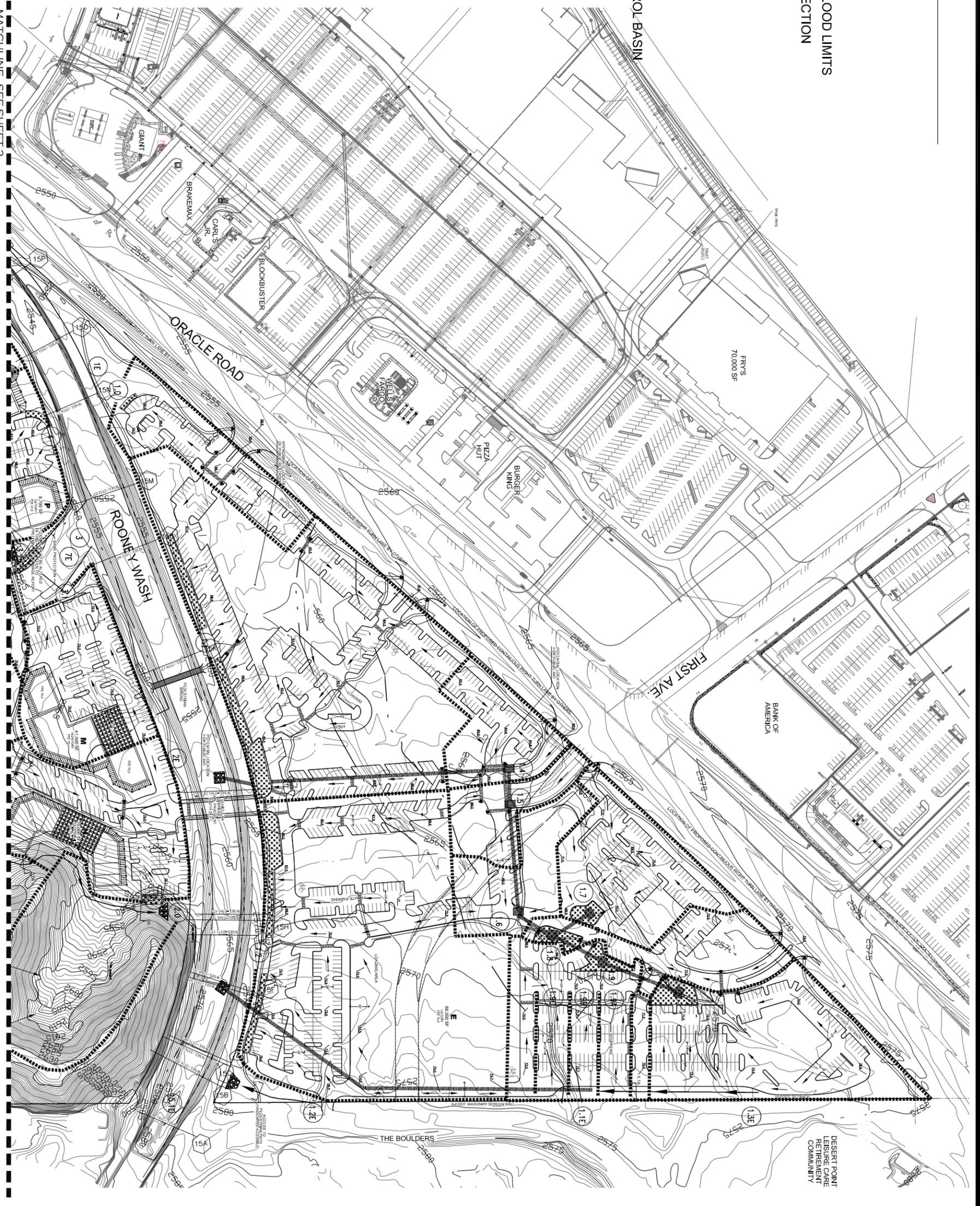


LEGEND

- WATERSHED BOUNDARY
- FLOW DIRECTION
- ① CONCENTRATION POINT
- CHANNEL
- 100-YEAR POST-DEVELOPED FLOOD LIMITS
- MANNING'S/HEC-RAS CROSS SECTION
- PIPE
- ROCK LINED SCOUR HOLE
- BANK PROTECTION
- CATCH BASIN
- SIDEWALK SCUPPERS
- CHANNEL CROSS SECTION
- STORMWATER QUALITY CONTROL BASIN
- RIP RAP PAD
- SPOT GRADE

TABLE OF PRE-DEVELOPED 100-YEAR WATER SURFACE ELEVATIONS FROM MECHAS ANALYSIS

SECTION	DATE	WATER SURFACE ELEVATION	SECTION	DATE	WATER SURFACE ELEVATION
1.1-1	2571.85	14.1	2594.71		
1.1-2	2570.40	14.2	2577.06		
1.1-3	2568.85	14.3	2562.07		
1.1-4	2563.11	14.4	2548.83		
1.1-5	2560.54	15A	2581.04		
1.1-1	2571.42	15B	2575.30		
1.1-2	2568.88	15C	2576.91		
1.1-3	2566.82	15D	2571.94		
2.1	2562.28	15E	2572.43		
2.2	2563.08	15F	2568.76		
3.1	2638.03	15G	2571.35		
3.2	2621.01	15H	2568.78		
3.3	2611.05	15I	2568.42		
3.4	2604.35	15J	2561.24		
3.5	2598.06	15K	2558.13		
7.1	2570.71	15L	2555.94		
7.2	2571.84	15M	2552.62		
7.3	2583.13	15N	2554.25		
7.4	2591.28	15O	2551.10		
7.5	2596.81	15P	2548.53		
7.6	2602.84	15Q	2546.25		
7.8	2609.46	15R	2547.82		
7.8	2617.46	15S	2544.49		
12.1	2545.13	15T	2543.27		
12.2	2545.86	15U	2540.61		
13.1	2544.86	16.1	2541.23		



SHEET 1 OF 2
 WLB NO. 1811057-R011

**ORO VALLEY TOWN CENTRE
 EXHIBIT DD-1
 CONCEPTUAL GRADING PLAN**

The WLB Group
 Engineering, Planning, Surveying
 Landscape Architecture, Urban Design
 Las Vegas and Victor Valley, CA
 4444 East Broadway
 Tucson, Arizona (520) 881-7480

MATCHLINE - SEE SHEET 1



0' 100' 200' 300'

SHEET 2 OF 2
WLB NO. 181057-R011

ORO VALLEY TOWN CENTRE
EXHIBIT DD-1
CONCEPTUAL GRADING PLAN

The WLB Group
WLB
Engineering, Planning, Surveying
and Construction Services
4444 East Broadway
Tucson, Arizona (520) 881-7480



Town Council Regular Session

Item # 5. b.

Meeting Date: 10/05/2011

Requested by: David Williams

Submitted By:

Matt Michels, Development
Infrastructure Services

Department: Development Infrastructure Services

Information

SUBJECT:

PUBLIC HEARING: ORDINANCE NO. (O)11-26, AMENDMENT OF ORO VALLEY TOWN CENTRE AT ROONEY RANCH PLANNED AREA DEVELOPMENT

RECOMMENDATION:

The Planning and Zoning Commission recommends approval by a 6-1 vote, subject to the conditions of approval in Attachment #2.

Since the September 27, 2011 study session, staff has worked with the applicant to reach agreement on the issues raised at the meeting. A set of additional conditions have been created (see Attachment #3). It is important for the Town Council to be comfortable with the number of convenience uses fronting on Oracle Road, the extent (number and area) of apartment development, and any other key issues for this project.

EXECUTIVE SUMMARY:

The Town Council held a Study Session on September 27, 2011, and raised a number of questions and concerns regarding the applicant's proposal. The primary issues discussed include:

- The appropriate amount of apartment uses and the conversion of commercial property to residential use
- The appropriate number and types of convenience uses, especially along Oracle Road
- The Main Street area or an acceptable means of maintaining the intended development character for the project

BACKGROUND OR DETAILED INFORMATION:

The Council instructed staff to work with the applicant to negotiate an agreeable solution to the aforementioned issues. Since the Study Session staff has held two work sessions with the applicant and has developed a number of additional conditions (see Attachment #4) to address the concerns and questions raised by the Council at the study session. These additional conditions are proposed in addition to the Planning and Zoning Commission recommended conditions contained in Attachment #3.

These proposed additional conditions would redefine and limit convenience uses in Areas 1 and 2; provide a pedestrian-scale retail area with a plaza and/or gathering area along the north side of Rooney Wash; and provide multi-use path system along both sides of the Rooney Wash.

The pedestrian-scale retail area will include open spaces, design elements, streetscapes, and enhancements to create a destination retail experience and will serve as the "heart", or one of the primary focal points, of the development.

FISCAL IMPACT:

N/A

SUGGESTED MOTION:

I MOVE to (adopt, adopt with conditions, or deny) Ordinance No. (O)11-26, Amendment of Oro Valley Town Centre at Rooney Ranch Planned Area Development, as shown in Exhibit "A" and subject to the conditions in Attachments #3 and #4.

Attachments

Attachment #1 - Ordinance (O)11-26

Attachment #2-Exhibit "A"

Attachment #3-P&Z Commission Recommended Conditions of Approval

Attachment #4 Additional Conditions of Approval

ORDINANCE NO. (O)11-26

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AN ORDINANCE OF THE TOWN OF ORO VALLEY ARIZONA, REPEALING AND REPLACING THE EXISTING ORO VALLEY TOWN CENTRE AT ROONEY RANCH PLANNED AREA DEVELOPMENT; AND REPEALING ALL RESOLUTIONS, ORDINANCES AND RULES OF THE TOWN OF ORO VALLEY IN CONFLICT THEREWITH; PRESERVING THE RIGHTS AND DUTIES THAT HAVE ALREADY MATURED AND PROCEEDINGS THAT HAVE ALREADY BEGUN THEREUNDER

Deleted: ADOPTING A NEW

Deleted: DEVELOPMENT REPEALING THE CURRENT ORO VALLEY TOWN CENTRE AT ROONEY RANCH PLANNED AREA DEVELOPMENT

WHEREAS, the Town of Oro Valley is a political subdivision of the State of Arizona vested with all associated rights, privileges and benefits and is entitled to the immunities and exemptions granted municipalities and political subdivisions under the Constitution and laws of the State of Arizona and the United States; and

WHEREAS, on October 16, 2002, the Mayor and Council approved Ordinance (O) 02-33, adopting that certain document entitled “Oro Valley Town Centre at Rooney Ranch Planned Area Development”; and

Deleted: which adopted

WHEREAS, the property owners of the Oro Valley Town Centre at Rooney Ranch, Canada del Oro Partners, propose an amended PAD to allow greater flexibility in designing the commercial phase of the Oro Valley Town Centre; and

Deleted: d

WHEREAS, on August 2, 2011 Planning and Zoning Commission reviewed the proposed an amended Planned Area Development (PAD); and

WHEREAS, the Oro Valley Town Council has considered the proposed PAD amendment, and the Planning and Zoning Commission’s recommendation and finds it consistent with the Town’s General Plan and other Town ordinances; and

Comment [JA1]: Really? I would remove this whereas clause because the Planning and Zoning Commission does not direct staff.

WHEREAS, at a duly noticed Town Council Meeting on September 21, 2011, Oro Valley Town Centre at Rooney Ranch Planned Area Development, was declared a public record by Mayor and Council.

Deleted: WHEREAS, the Planning and Zoning Commission directed that the proposed the amended PAD, should include public notification, public outreach plans, neighborhood meetings and methods of ensuring opportunities for effective public participation; and¶
¶

NOW, THEREFORE, BE IT ORDAINED by the Mayor and Council of the Town of Oro Valley, Arizona that:

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¶

SECTION 1. The existing Oro Valley Town Centre at Rooney Ranch Planned Area Development is hereby repealed.

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SECTION 2. That certain document entitled Oro Valley Town Centre at Rooney Ranch Planned Area Development, attached hereto as Exhibit "A" and incorporated herein by this reference and declared a public record on September 21, 2011 is hereby adopted.

SECTION 3. All Oro Valley ordinances, resolutions, or motions and parts of ordinances, resolutions or motions of the Council in conflict with the provisions of this Ordinance are hereby repealed.

SECTION 4. If any section, subsection, sentence, clause, phrase or portion of this Ordinance is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions thereof.

PASSED AND ADOPTED by the Mayor and Council of the Town of Oro Valley, Arizona ~~this 5th day October~~, 2011.

TOWN OF ORO VALLEY

Dr. Satish I. Hiremath, Mayor

ATTEST:

APPROVED AS TO FORM:

Julie K. Bower, Town Clerk

Tobin Rosen, Town Attorney

Date: _____

Date: _____

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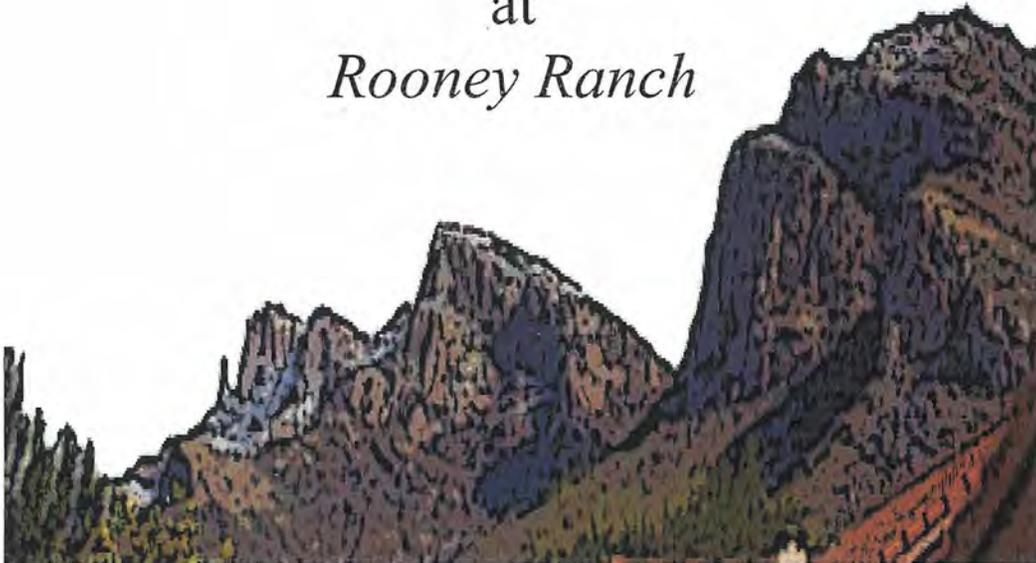
EXHIBIT “A”

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Oro Valley Town Centre

at
Rooney Ranch



Planned Area Development

~~October 2004~~ Revised ~~March~~ ~~May~~ ~~July~~, 2011

~~Document and Project Name Changed February 15, 2002~~

~~Revised June 6, 2002~~

Previous Final Version as Approved by Town Council on October 16, 2002

Ordinance No. (O) 02-33

OV9-01-05

Property Owner:

Cañada del Oro Partners

~~401 South Boston Avenue, Suite 2400~~

~~Tulsa, Oklahoma 74103-4010~~ 1707 E. Highland, Suite 100

Phoenix, AZ 85016

Prepared By:

The WLB Group, Inc. Kitchell Development Company

~~4444 East Broadway Boulevard~~

~~Tucson, Arizona 85711-3541~~

~~WLB No. 181057-A-007-0104~~ 1707 E. Highland #100

Phoenix, AZ 85016

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Oro Valley Town Centre at *Rooney Ranch*

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APPENDICES

| Appendix A: Areas H, I-and J Legal Descriptions
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Appendix C: Tentative Development Plan (~~Reduction, 1124~~ x 1736")
[Appendix C-1: Illustrative Site Plans for Areas 1 & 2](#)
[Appendix C-2: Illustrative Open Space details](#)
Appendix D: Letter of Map Amendment
[Appendix E: Cactus Ferruginous Pygmy-Owl Survey dated 10-26-10](#)
[Appendix F: Previously Approved \(10-16-2002\) Tentative Development Plan \(Superseded\)](#)

SECTION 1 - ANALYSIS

Oro Valley Town Centre at *Rooney Ranch*

SECTION I

ANALYSIS

INTRODUCTION

This document has been prepared to meet the rezoning requirements of the Town of Oro Valley. It includes an inventory and analysis of the approximately 141-acre site presently known as Rooney Ranch, Parcels H, I & J, and makes a zoning and land use proposal. A large portion of the ranch was annexed into Oro Valley from unincorporated Pima County and rezoned from SR to the Oro Valley equivalent R1-144. On February 8, 1989, the Town Council approved the rezoning of the majority of the property from R1-144 to PAD, subject to the conditions of OV9-89-6. This PAD proposes rezoning the remaining area, which was referred to as Parcels H & I in the earlier rezoning for the development of an urban village or Town Center at this key intersection in the geographical center of Oro Valley.

Considerable engineering and other alterations have been made to this site over the years because of the increasing pressure to accommodate traffic and drainage, making it all the more prime and appropriate for urban development.

This ~~family owned~~ land is held in a partnership called Cañada del Oro Partners with Kitchell Development Company, ~~E. Blake Hastings of Tulsa, Oklahoma,~~ as manager and E. Blake Hastings of Tulsa, Oklahoma, who represents the Rooney Family interests. Attorneys representing the partnership ~~is include Frank S. Bangs, Jr. and Keri Lazarus~~ Silvyn of Lewis and Roca LLP in Tucson, Arizona. The Planning and Engineering firm retained as a consultant to the project is The WLB Group, Inc., of Tucson with Charles W. Hulsey, AICP, as ~~Project Manager,~~ and Robert G. Longaker, III, ASLA as Project Manager.

A. EXISTING CONDITIONS

1. Site Location (Exhibits A-1 and A-2)

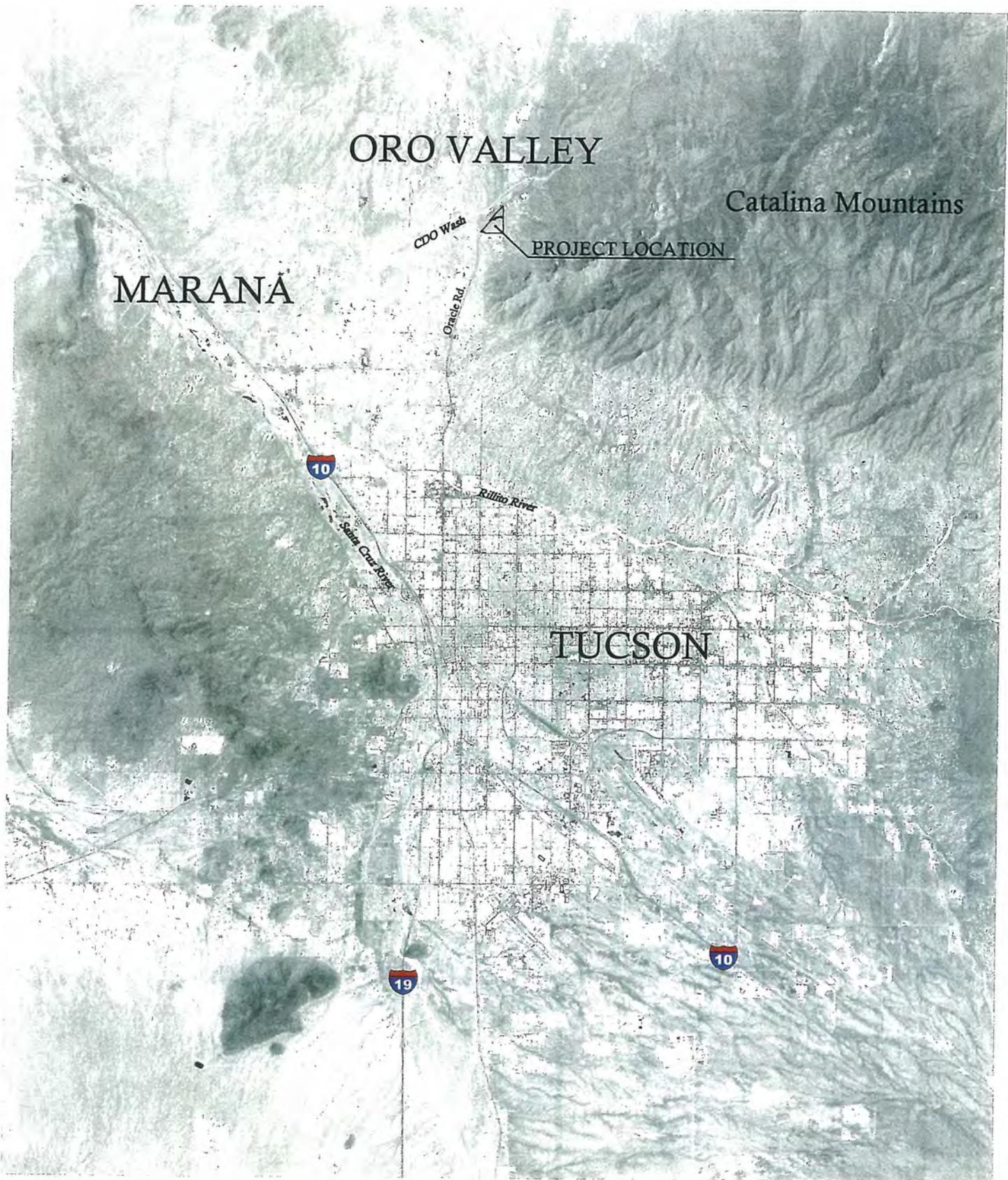
The subject property is what remains of a more than 5,000-acre working ranch owned by the Rooney family since 1946. El Conquistador, Honeywell, The Foothills Business Park, La Reserve, the Oro Valley Country Club, the Target Center, Fry's and Home Depot fell under this single ranch ownership. In the metropolitan perspective, the site is situated eight miles north of Tucson on the Tucson/Florence Highway also known as Oracle Road and as Arizona State Highway 77. Locally, it straddles the intersection of North **First1st** Avenue and Oracle Road. The western boundary is Oracle Road, the south boundary is generally the northern edge of the El Conquistador Resort, and the east line abuts the La Reserve project south of Oracle Road. Over the years, as urban development surrounded the ranch and infrastructure requirements such as streets and drainageways were needed, the Rooney family dedicated to Pima County and the Town of Oro Valley considerable acreage for:

- a. The Canada del Oro embankment and drainageway project.
- b. The widening of Oracle Road (State Highway 77).
- c. The widening and realignment of North **First1st** Avenue and the bridges (including adequate land for a parallel set of lanes to be built later).
- d. The widening and extension of Lambert Lane.
- e. Drainage channels east and west of North **First1st** Avenue north of Lambert Lane.
- f. The Foothills Channel Project.
- g. The Rooney Wash Project.
- h. The new interceptor sewer project north of Canada del Oro.
- i. The easement for the extension of **First1st** Avenue from Oracle Road to La Reserve Drive.
- j. Donated land to the Town of Oro Valley located at the **southwest-northwest** corner of **First1st** Avenue and Lambert Lane for a water pump station. (Parcel # 220090170 is approximately 0.10 acre.)

An oblique aerial photograph is included to show the site relative to surrounding development in the Town of Oro Valley as well as Pima County (Exhibit A-3, Aerial Photograph).

2. Onsite Land Use

The site is currently vacant land, and has rapidly become surrounded by commercial business activity and residential development and subsequent improvements in infrastructure.



ORO VALLEY

Catalina Mountains

MARANA

PROJECT LOCATION

CDO Wash

Oracle Rd.

10

Santa Cruz River

Rillito River

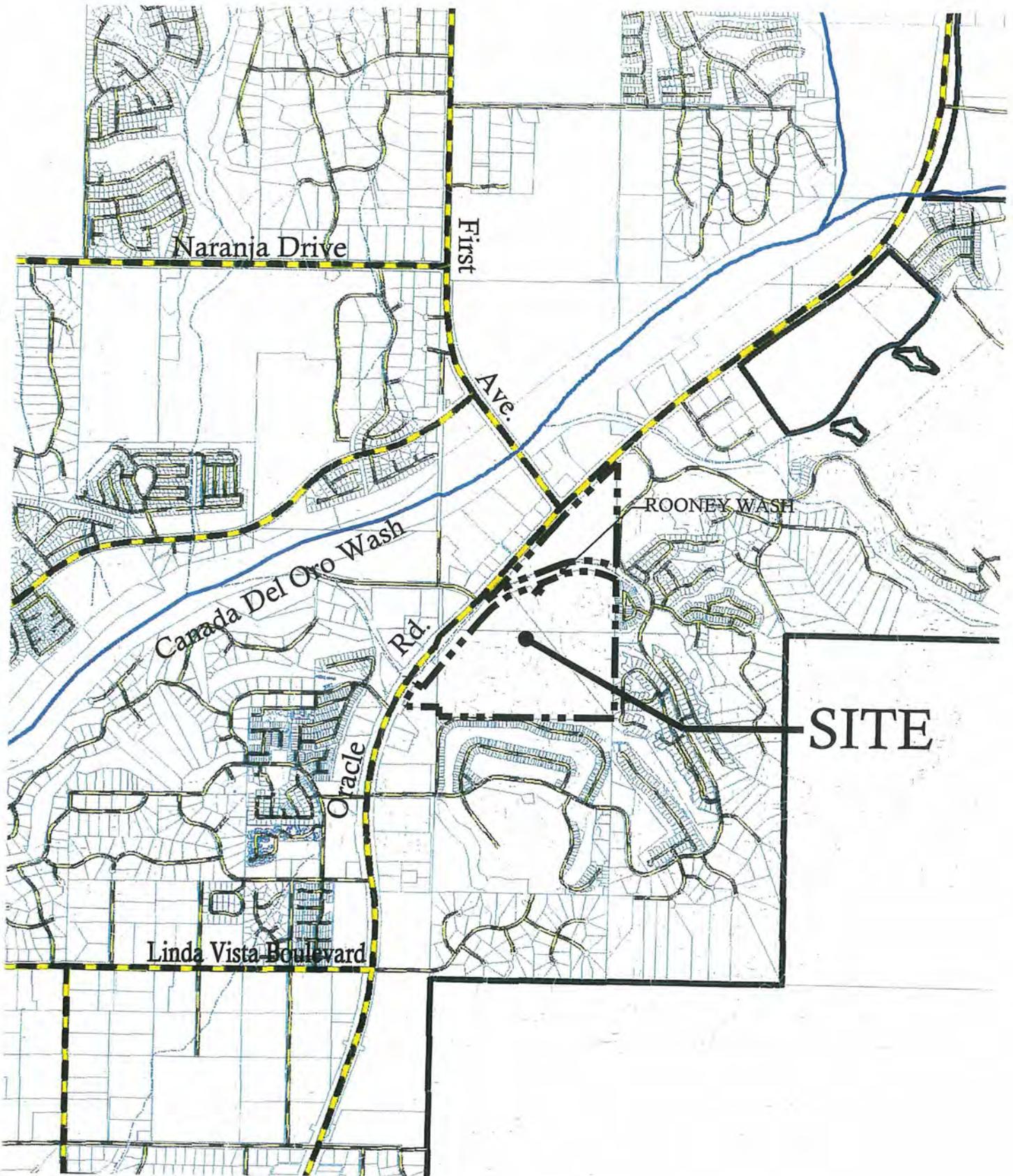
TUCSON

19

10

EXHIBIT A-1:
REGIONAL LOCATION MAP





**EXHIBIT A-2:
VICINITY MAP**

1" = 2000'



3. Surrounding Land Uses

- a. South of the property - Land is developed as the "casita" area of the El Conquistador Resort along the eastern three quarters of the south property line. The western one-quarter is partially developed as San Jose Plaza.
- b. West of the property - Directly across Oracle Road, the entire length is developed as a regional commercial center featuring major tenants, including Target, Office Max, PetSmart, Fry's, Albertson's, and Home Depot.
- c. North of the property - The northern edge abuts an assisted living apartment complex.
- d. East of the property - The eastern boundary abuts the commercial, then multifamily, then single family tracts of La Reserve along the eastern boundary.

4. Surrounding Zoning (Exhibit A-4)

- a. South of the property - Beginning with the southeast corner and running west approximately 2,640 feet is El Conquistador Resort, which is zoned R-4R in Oro Valley.
- b. West of the property - This property is zoned Rooney Ranch Oro Valley Center PAD, Commercial.
- c. North of the property - Lands north of the property are currently zoned TR.
- d. East of the property - The property south of Oracle Road and north of the southeast corner of the site is in the Town of Oro Valley and is within the La Reserve PAD. The northern forty-acre tract is zoned for commercial/retail and multi-family. The middle forty acres is generally for medium density multifamily, while the southern-most forty acres is for single-family detached housing.

5. Onsite Zoning

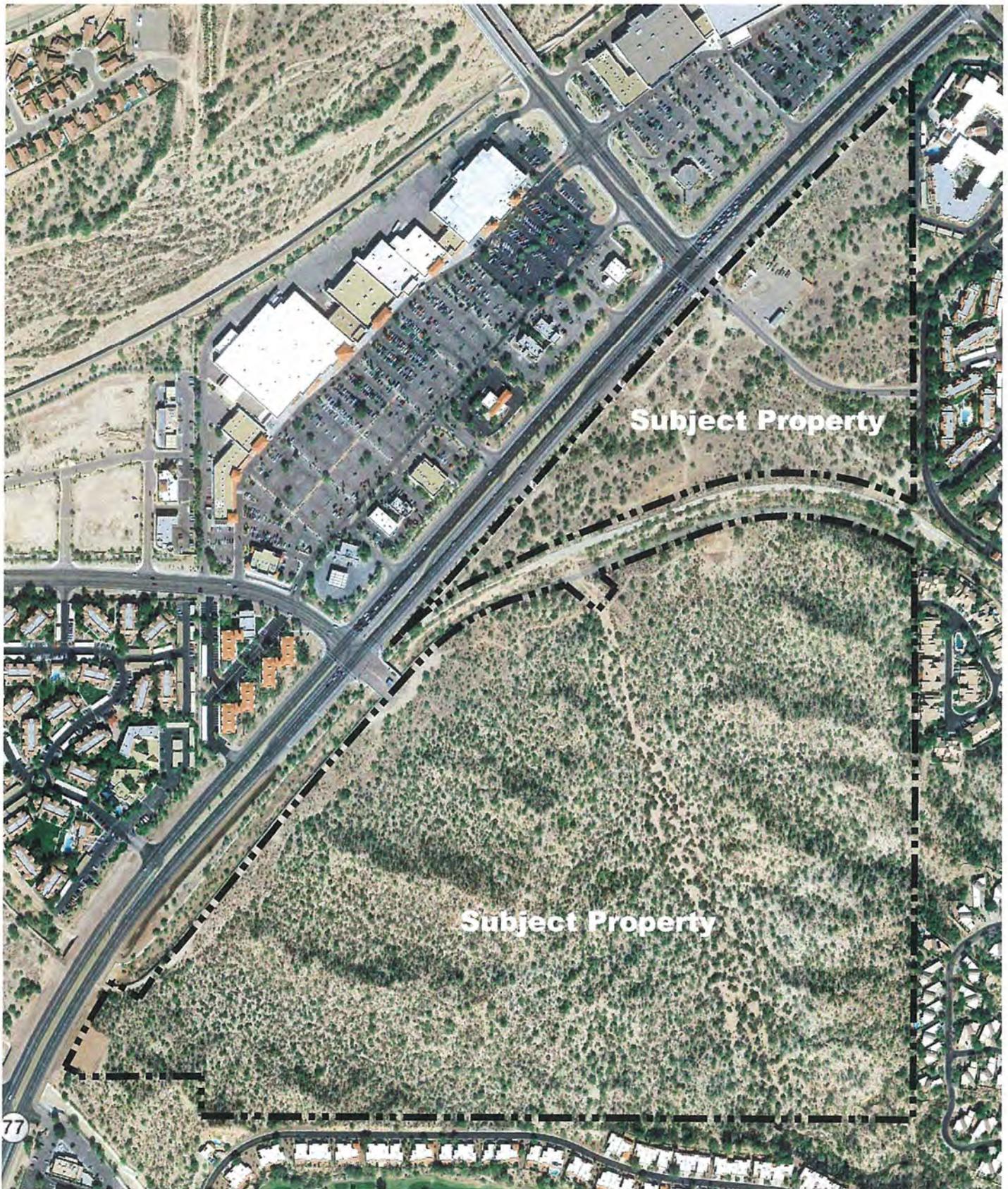
The subject property is currently zoned ~~R1-144 in Oro Valley~~ Oro Valley Town Centre Planned Area Development.

6. Acreage

The total acreage being included in this PAD is ~~141.4~~ 2 acres.

7. Building Heights on Adjacent Properties

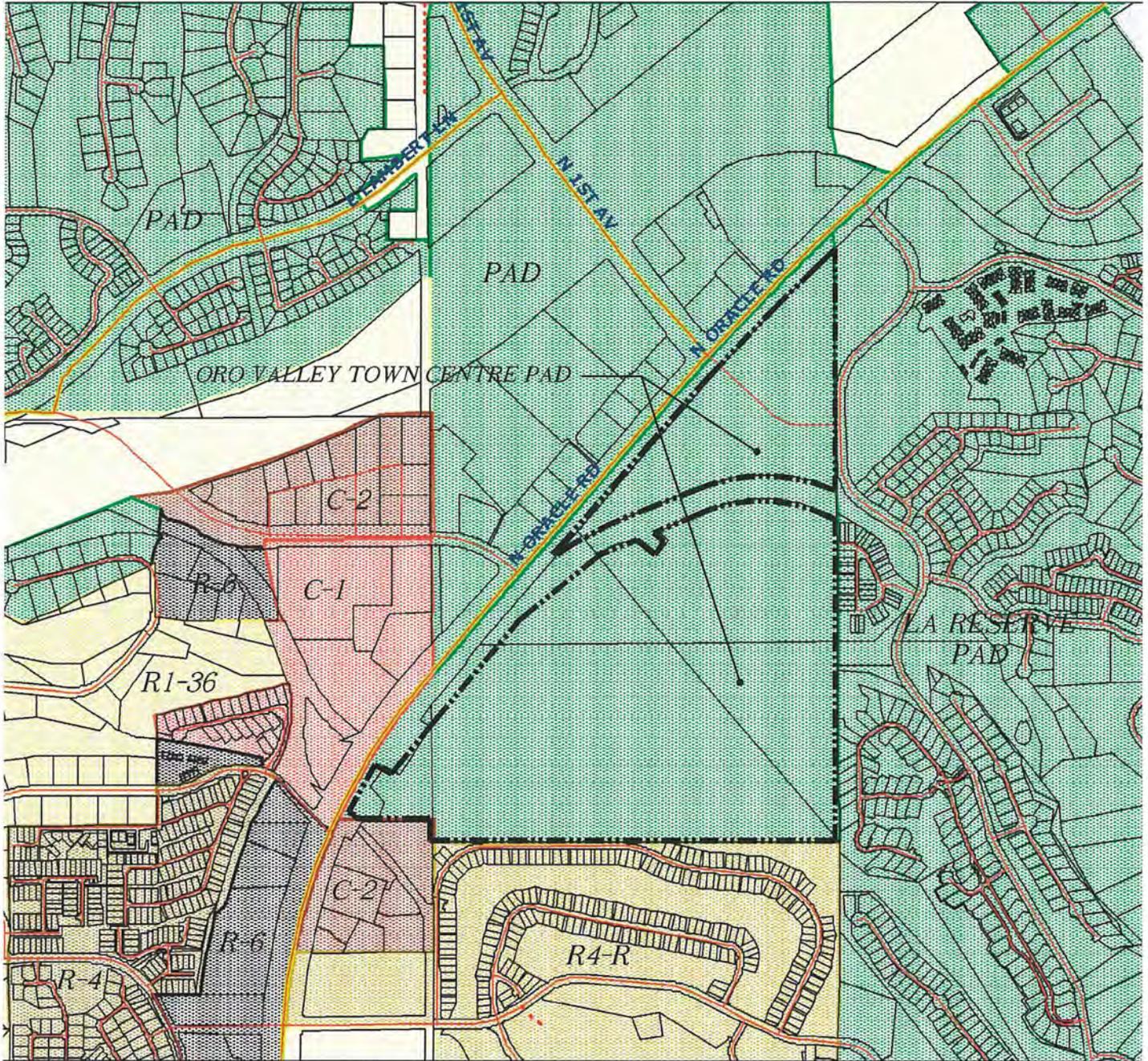
Existing building heights in the immediate area consist primarily of single-family homes at 24 feet, apartments in La Reserve at 35 feet. The assisted living development to the north is three stories and approximately 35 feet in height. The regional commercial center to the west has height limitations of 33 feet.



2009 AERIAL PHOTOGRAPHY

EXHIBIT A-3: AERIAL PHOTOGRAPH





**EXHIBIT A-4:
EXISTING ZONING**

1" = 1000'



B. TOPOGRAPHY

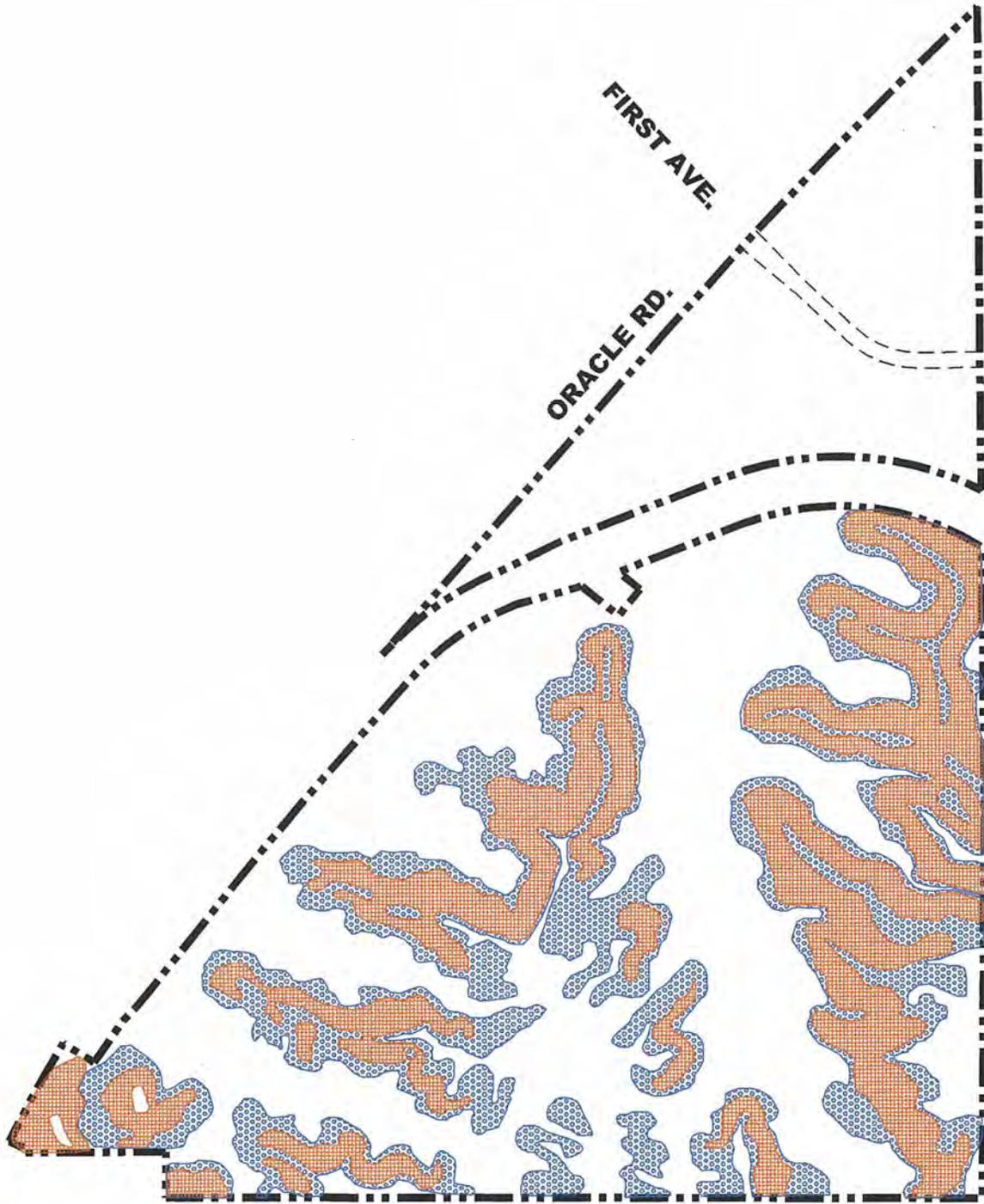
1. Topographic Characteristics: South of Oracle Road and its accompanying side wash (Rooney Wash) lie the foothills, which are the eroded or incised alluvial fans of the Santa Catalina Mountains, and more specifically the northwestern face of Pusch Ridge. They are similar in makeup and character to the foothills in the Tortolita fan to the north with the exception that they form a tilting plane sloping downward to the northwest offering excellent views back to the Santa Catalina Mountains. The hills consist of sand and gravel aggregate with no stone outcroppings. The gravel tends to be slightly larger stones due to the proximity of the mountains from which they eroded. The slope areas, 0 to 15 percent, 15 to 25 percent, and in excess of 25 percent, are shown on Exhibit B-2, Slope Analysis.
2. Other Topographic Observations:
 - a. There are no significant restricted peaks or ridges on or immediately adjacent to the site.
 - b. There are no rock outcrops. This finding is concluded by:
 1. Aerial photographic study, which gives no indication of submerged ridge alignments.
 2. Observation of gravel pits, development excavations, and road cuts in all areas surrounding the site, including North ~~First~~1st Avenue, the Henry Zipf borrow pit, the Conquistador, and the La Reserve Project.
 3. Soil maps and texts, which generally indicate deep gravel soils and the general characteristics of ancient river washes and alluvial fans.
 4. Extensive site visits looking for evidence (ground truth).



NOTES:
CONTOUR INTERVAL = 1 FOOT
INDEX CONTOURS ARE EVERY 5TH CONTOUR

EXHIBIT B-1: SITE TOPOGRAPHY





**EXHIBIT B-2:
SLOPE ANALYSIS**

-  15-25% SLOPES
-  >25% SLOPES

1" = 500'

4/28/2011
WLB No. 181007 R011

C. HYDROLOGY

1. Offsite Drainage

Offsite storm water flow enters the site from the east and the southeast. Drainage conveyed through a residential development adjacent to Rooney Ranch enters the site from the east. Drainage from the southeast is conveyed from Pusch Peak to Rooney Ranch through natural topography as well as the Sheraton El Conquistador Pusch Ridge Golf Course.

2. Hydrology Results

Four soils groups have been identified at the site:

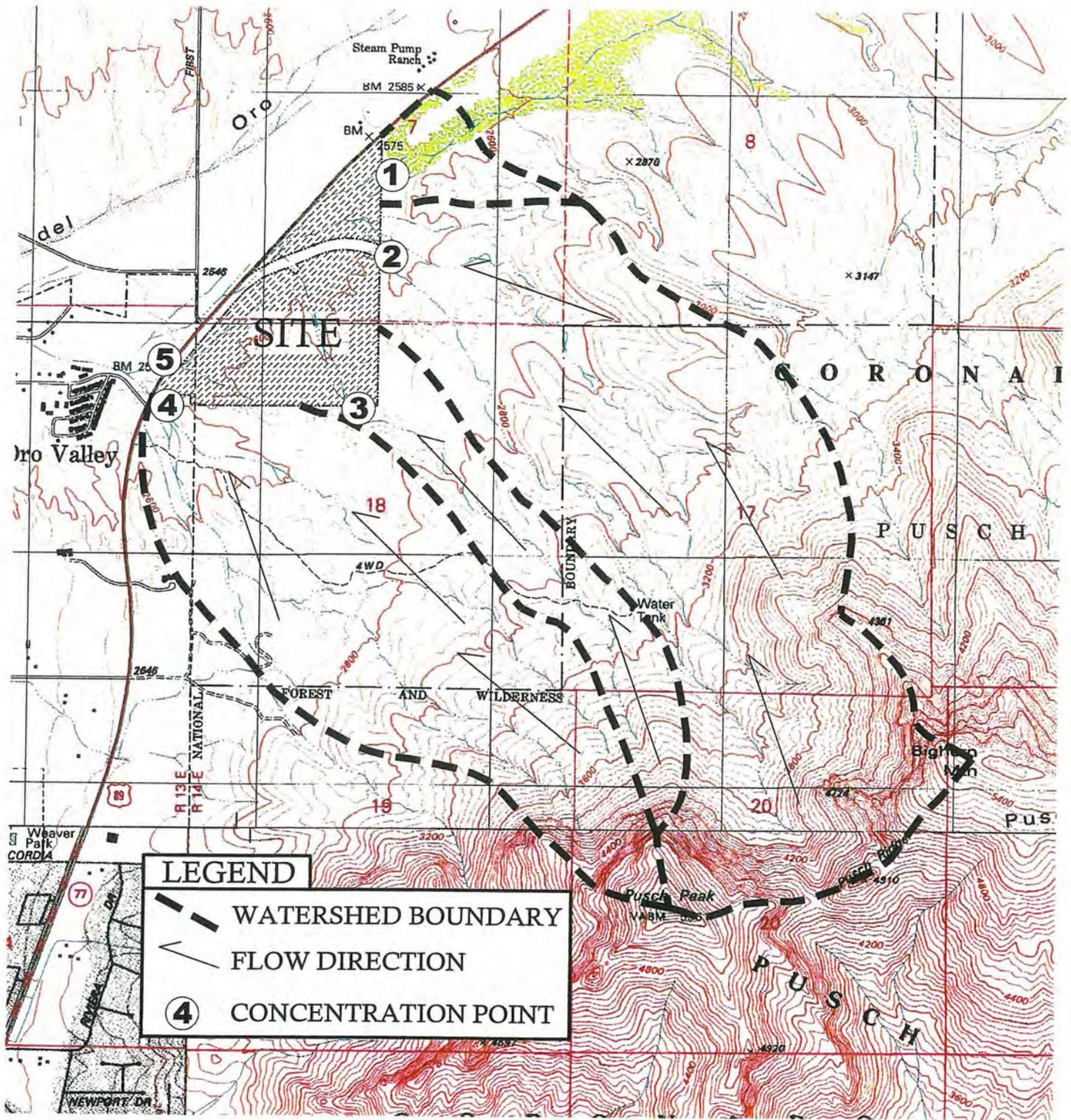
- Pinaleno-Nickel-Palos Verdes (28C), which consists of 80 percent soil type B and 20 percent Soil Type D.
- Arizo-Riverwash Complex (34), which consists of 100 percent Soil Type B.
- Pinaleno Very Cobbly Sandy Loam (28A), which consists of 100 percent Soil Type B.
- Oracle Romero Rock Outcrop Complex (31A), which consists of 100 percent Soil Type D.

Five watersheds have been defined at the site for pre-developed conditions. Watershed areas range from 55.5 to 1,842.5 acres, with corresponding 100-year peak discharges ranging from 379 to 10,619 cfs. The basin runoff factors used were 0.025 and 0.030; vegetative cover densities of 25, 30 and 40 percent were used to model natural and landscaped areas.

3. Table of 100-Year Peak Discharges

Concentration Point	Drainage Area (AC)	Q100 (cfs)
1	46.3	345
2	883.80	3,480
3	174.12	1,125
4	584.42	2,507
5	N/A	4,752

(Refer to the Preliminary Drainage Report (separate document) [has been prepared for this site and is available upon request for additional information.](#))



**EXHIBIT C-1:
OFFSITE WATERSHEDS**

CONCENTRATION POINT	DRAINAGE AREA (AC)	Q100 (CFS)
1	46.3	345
2	883.80	3480
3	174.12	1125
4	584.42	2507
5	N/A	4752

CONCENTRATION POINT	Q100 (CFS)
1E	380
1.1E	213
1.3E	116
2E	70
3E	92
3.1E	50
7E	1495
7.1E	1125
12E	97
13E	57
14E	113
15E	4752
15.1E	3480
16E	54



**EXHIBIT C-2:
100-YEAR FLOOD LIMITS FOR
FLOODPLAINS WITH FLOWS OF 50 CFS
OR GREATER**

D. VEGETATION

1. Vegetative Region

According to the Soil Conservation Service (Map 7-02226), the site is located well within the Central Arizona Basin and Range area designation. The area is typically mountains and valleys with considerable alluvial deposition. The alluvial plains and fans are cut down further by intermittent streams and washes. It is a semi-arid desert and according to Brown (Biotic Communities, 1994, pp. 200-203), the typical vegetation of the Rooney Ranch would fall within the classification of the Arizona Upland Division of the Sonoran Desert.

2. General Plant Community on Site

Within the Arizona Upland Subdivision, the plant communities generally associated with the site are those commonly found along valley bottoms and washes as well as the very lowland edge of foothills and alluvial fans. The site has representation from three communities.

- a. Saguaro/Palo Verde (Upland Community): This is a mature plant community found near the base of mountains ranges in the foothill areas. As one moves downward and away from the range and foothills, saguaro and ocotillo occur less frequently. The Rooney Ranch is on the very outer margin of the Pusch Ridge foothills along the southern edge of the property near the La Reserve and El Conquistador tracts. The northern areas of the ranch are so distant from the Tortolita range and foothill influences in terms of plant communities that very little evidence of the Saguaro/Palo Verde Community group is evident. The community is most evident with 25 to 30 specimen saguaro cacti in the higher elevations in the extreme southeast corner of the ranch adjacent to La Reserve (See Exhibit D-1, Vegetative Communities Exhibit).

Primary Species: Foothills Palo Verde, Saguaro

Other Species: Whitethorn and Catclaw Acacias, Mesquite, Cholla Cactus, Barrel Cactus, perennial grasses and flowers, Bursage, Brittlebush, Pincushion Cactus, and Prickly Pear.

- b. Foothills Palo Verde/Cholla Cactus (Upland Community): This plant community is generally associated with the more common, well drained, uplands between the foothills and the river washes. It is similar to the foothills community but with less diversity. This plant group occurs in the hill areas south of Oracle Road below the Saguaro Cacti locations.

Primary Species: Foothills Palo Verde (very common), Whitethorn, Catclaw Acacias, and Cholla Cactus.

Other Species: Mesquite, Bursage, Creosote, Barrel Cactus, Brittlebush, Desert Hackberry, Crucifixion Thorn, Pincushion Cactus, and perennial grasses and flowers.

- c. Whitethorn/Catclaw Acacias (Desert Riparian Communities): This plant community is focused primarily in the flat alluvial plans of the valley floor.

Primary Species: Mesquite, Whitethorn and Catclaw Acacia, Desert Hackberry and Desert Broom.

Other Species: Blue Palo Verde, Desert Willow, Turpentine Bush, Creosote, and perennial grasses and flowers.

3. Cumulative Plant Inventory/List

Trees

Acacia constricta
Acacia smallii
Acacia greggii
Canotia holocantha
Cercidium microphyllum
Cercidium floridum
Chilopsis linearis
Prosopis veluntina
Eucalyptus

Whitethorn Acacia
Sweet Acacia
Catclaw Acacia
Crucifixion Thorn
Foothills Palo Verde
Blue Palo Verde
Desert Willow
Mesquite

Shrubs

Ericameria larcifolia
Asclepias subulata
Baccharis sarathroides
Celtis pallida
Encelia farinosa
Fouquieria splendens
Ambrosia deltoidea
Larrea tridentata
Sapindus saponaria.
Yucca elata

Turpentine Bush
Milkweed
Desert Broom
Desert Hackberry
Brittlebush
Ocotillo
Triangle-Leaf Bursage
Creosote Bush
Soapberry
Soaptree Yucca

Cactus

Carnegieia gigantea
Echinocereus fasciculatus
Ferocactus wislizenii
Opuntia arbuscula
Opuntia bigelovii
Opuntia fulgida
Opuntia leptocarpus
Opuntia phaeacantha Var.
Opuntia versicolor

Saguaro
Pincushion Cactus
Fish-Hook Barrel
Pencil Cholla
Teddy-Bear Cholla
Chain-Fruit Cholla
Desert Christmas Cactus
Discanta Prickly Pear
Staghorn Cholla

Ground Covers

Ericameria larcifolia
Baileya multiradiata

Turpentine Bush
Desert Marigold

4. Threatened or Endangered Species

a. There are no known federally listed threatened or endangered species on the site.

5. Vegetation Density

Aerial Photo interpretation (canopy cover) and ground truth (site examination) were used to grade the site in terms of tree and shrub cover density.

Low Density Coverage	0% - 25%
Medium Density Coverage	25% - 75%
High Density Coverage	75% - 100%

- a. Saguaro/Palo Verde Community: The foothills Palo Verdes range in canopy size from 7 to 15 feet with a few larger specimens of as much as 25 feet. The various Acacias in the upland area range between 7 and 12 feet. They are typically spaced over the hills with a medium density cover of approximately 35 percent to 45 percent.
- b. Foothills Palo Verde/Cholla Cactus Community: Since most of this community exists on the hills and slopes to the washes and riparian areas, the cover is of medium density with fairly large Palo Verdes typically of the 10 to 20 foot range. Acacias tend to be slightly larger and in the 10 to 15 foot range. As in the other upland community, the canopies appear to almost be mechanically spaced, causing a "stippled" look on the landscape. Cover is generally in the 35 percent to 45 percent range.
- c. Whitethorn/Catclaw Acacias (Desert Riparian): On the site, the riparian community is really a series of dense groves of Acacias (15 to 20 feet) and Blue Palo Verdes and Mesquites (20 to 25 feet) interspersed with open sand and gravel washes, which have little or no vegetation. Sixty to seventy percent of this community, which followed the immediate edges of the washes, were displaced by the stabilized embankments, drainage channel work, and bridge approaches.

6. Vegetative Characteristics and Usage

- a. Scenic Value: Typically, the riparian communities are comparatively rich, diverse, and give the wash areas an attractive verdant appearance. The value of the less dense upland vegetation serves less as a shading and screening material than it does preserving the "sense of place" that is the Arizona desert.
- b. Screening and Buffering: As it stands, the vegetation has limited screening and buffering value. In effect, it will likely need to be relocated and densified to serve such purposes. The site and its vegetation, however, provide an excellent nursery for plant material, which can be reworked around sensitive development.
- c. Soil Stabilization: Much of the wash and bank stabilization is artificial. However, there is ample evidence that the vegetation elsewhere protects the site from wind and water erosion.
- d. Uniqueness: As previously noted, the uniqueness lies in its presentation as a native desert environment apart from other regions of the country. The combination of vegetation and the two mountain ranges causes the Oro Valley site to be very unique even within the Tucson region. There are no unique or rare species of plants known to be on the site.

7. Significant Vegetation Survey

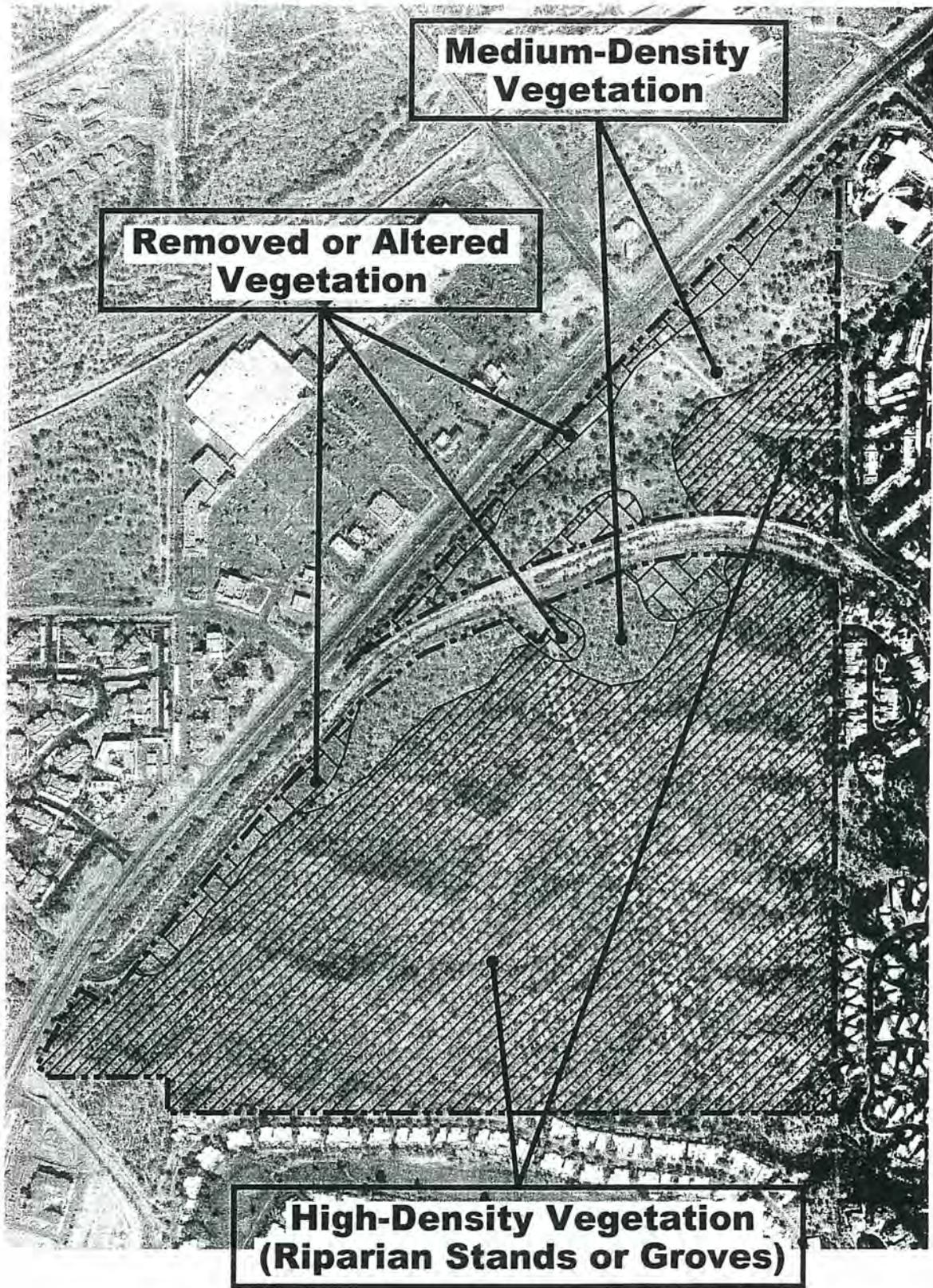
Exhibit D-3 maps the significant vegetation on site as determined by field reconnaissance and aerial photographs.



**EXHIBIT D-1:
VEGETATIVE COMMUNITIES**

1"=600'



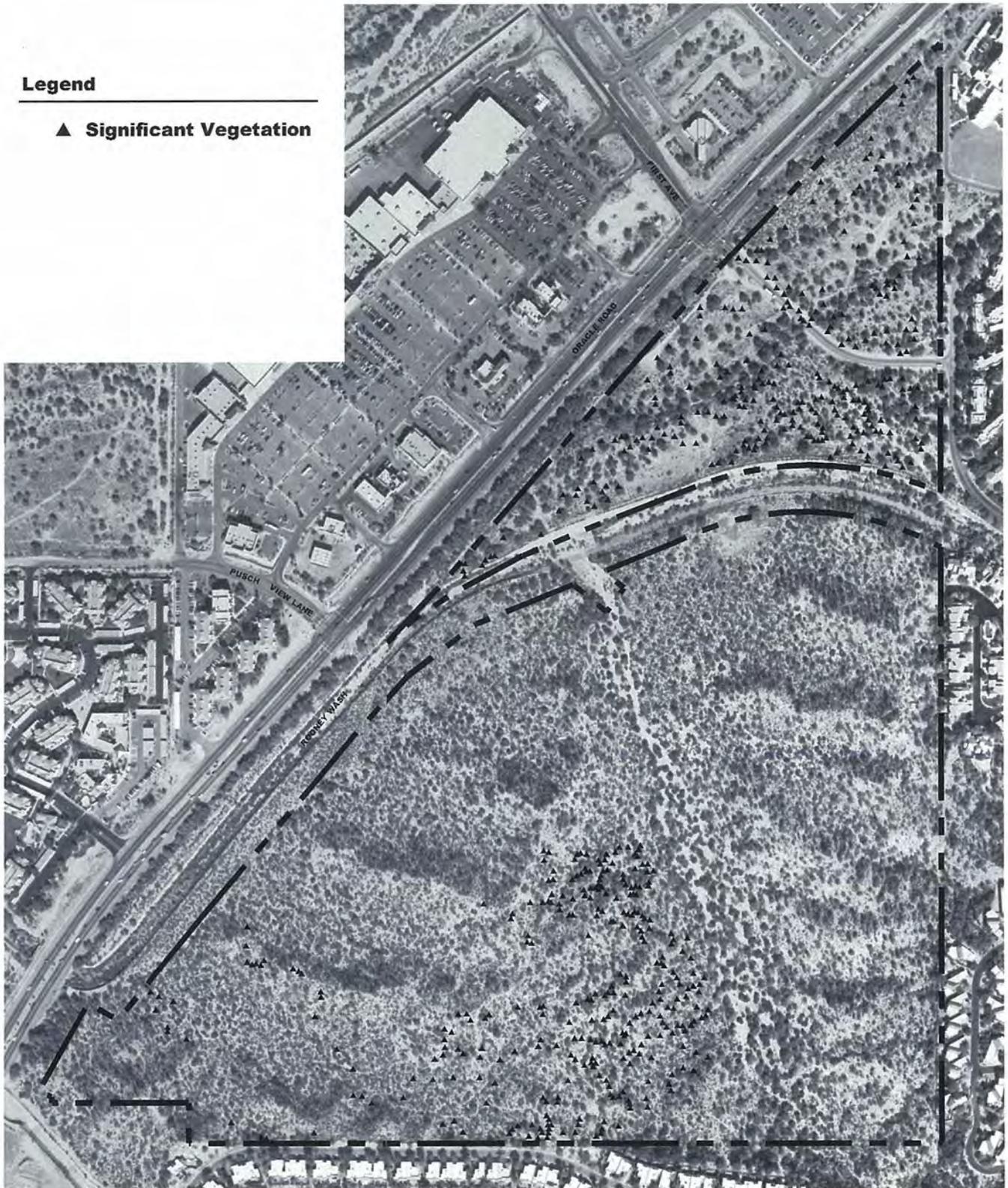


**EXHIBIT D-2:
VEGETATIVE DENSITIES**



Legend

▲ Significant Vegetation



**EXHIBIT D-3:
SIGNIFICANT VEGETATION SURVEY**

E. WILDLIFE

1. Letter (Exhibit E-1): A letter has been included, concerning wildlife and habitat areas of the Rooney Ranch, from the Tucson Regional Office of the Arizona Game and Fish Department, Ms. Sherry A. Ruther, Region V (Observations made on Section 7, Township 12 South, Range 14 East).
2. Description of Wildlife Habitats
 - a. Federal and State listed threatened or endangered species - Only one is listed, and is the Cactus Ferruginous Pygmy-Owl. ~~To date, three surveys have been conducted and have provided negative results.~~ Surveys have been continuously conducted over the past 9 years. The most recent survey was conducted on 10/26/2010. To date, these surveys have provided negative results. These studies are available upon request.



THE STATE OF ARIZONA
GAME AND FISH DEPARTMENT

2221 WEST GREENWAY ROAD, PHOENIX, AZ 85023-4399
 (602) 942-3000 • WWW.AZGFD.COM

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 DIRECTOR
 DUANE L. SHROUFE
 DEPUTY DIRECTOR
 STEVE K. FERRELL



Tucson Office, 555 N. Greasewood Rd., Tucson, AZ 85745

August 2, 2001

Mr. Gustav Orland
 The WLB Group
 4444 E. Broadway Blvd.
 Tucson, Arizona 85711

Re: 144-Acre Parcel at Oracle Road and 1st Avenue; T12S, R14E, Sections 7 & 18.

Dear Mr. Orland:

Due to excessive workloads and limited personnel availability, the Arizona Game & Fish Department (Department) is, at this time, only able to provide you with limited information regarding your proposed project. Enclosed, you will find a set of recommendations that relate to Federal/State regulatory compliance and 'wildlife friendly' development practices. Also included is a list of special status species that are known to occur in the vicinity of the above-referenced parcel. This list is based on the review of records in the Department's Heritage Data Management System¹ (HDMS). Any of these species are likely to occur on-site to the degree that the parcel provides the species' habitat requirements. For information that will assist you in identifying the on-site native vegetation communities and their values as wildlife habitat, the Department recommends the following references:

- Brown, D.E. (ed). 1994. *Biotic Communities - Southwestern United States and Northwestern Mexico*. University of Utah Press, 342 pp.
- Shaw W.W., L.K. Harris, M. Livingston, J.P. Charpentier, and C. Wissler. 1996. *Pima County Habitat Inventory - Phase II*. Arizona Game & Fish Dept. Contract No. G50028-001, Phoenix, AZ. 94pp. (Pima County maintains GIS coverages from this report.)
- Pima County's 1986 Map of Critical and Sensitive Wildlife Habitats.

¹ Information contained in the Department's HDMS is dynamic and updated on a periodic basis. Any information, therefore, is likely to become outdated shortly after its release. Such information is intended to serve as a guide regarding what species may be found in a particular area. It does not represent the results of comprehensive species-specific surveys.

AN EQUAL OPPORTUNITY REASONABLE ACCOMMODATIONS AGENCY

**EXHIBIT E-1:
 ARIZONA GAME AND FISH DEPARTMENT LETTER
 (PAGE 1 OF 4)**

Mr. Orland
August 2, 2001
2

Federal/State Regulatory Compliance:

The following measures that relate to Federal/State regulatory compliance should be applied when appropriate.

- It appears that the subject parcel falls within Zone 2 of the Cactus Ferruginous Pygmy-Owl Survey Zones. Apply the Guidance for Private Landowners from the U.S. Fish & Wildlife Service (USFWS) and contact them as appropriate. The Landowner Guidance and accompanying information can be found in the Documents Library section of the USFWS's website: <http://arizonaes.fws.gov/>.
- If plants protected under the Arizona Native Plant Law are likely to occur on the subject parcel, contact the Arizona Department of Agriculture for additional information regarding potential restrictions which may apply to the salvage or removal of plant species.

James McGinnis
Manager, Native Plant Law
Plant Services Division
Arizona Dept. of Agriculture
1688 W. Adams
Phoenix, Arizona 85007
602/542-3292

- Adhere to the attached tortoise handling guidelines for development projects if Sonoran desert tortoise are likely to occur on the subject parcel.
- Contact the Department's Tucson Regional Office immediately for direction regarding the disposition of an active bat roost site(s) if one is found on the property.
- During pre-construction and construction activities, contact the Department's Tucson Regional Office immediately for direction regarding the disposition of an active raptor nest(s) if one is found on the property. (Please note that an active raptor nest can also be located in a burrow as well as the more common arboreal situation. Nests of the burrowing owl are one example.)

Landscape Design/Site Planning:

The recommended landscape design and site planning practices are practices beneficial in maintaining habitat elements compatible with native desert wildlife. Implementation of these landscape design/site planning practices will not totally mitigate for the loss of native desert habitats, however, evidence shows that incorporation of these practices will foster the retention of those native wildlife species which can exist in urban/suburban environments. The Department recommends these landscape/site planning practices be implemented as part of any anticipated on-site development.

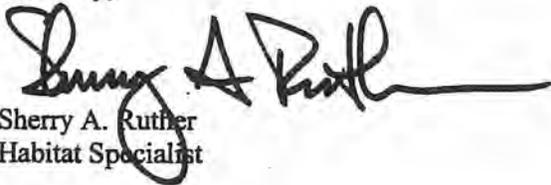
**EXHIBIT E-1:
ARIZONA GAME AND FISH DEPARTMENT LETTER
(PAGE 2 OF 4)**

Mr. Orland
August 2, 2001
3

- Maximize the amount of interconnected open space within the development.
- Utilize native plant species for all on-site vegetation and revegetation.
- Employ revegetation schemes that re-establish and maintain vertical diversity (ground cover, shrub layer, and canopy cover) with native plant species.
- Retain in place or salvage woody vegetation including saguaros and ironwoods (mature adults as well as immatures).
- Maintain the vegetative and hydrologic integrity of all washes, especially those which Pima County's 1986 Map of Critical and Sensitive Wildlife Habitats identifies as Class I or II Riparian Habitats.

Please call me at 520/628-5982 Ext. 137 if you have questions.

Sincerely,



Sherry A. Ruther
Habitat Specialist

SAR:sr

cc: Bob Broscheid, Project Evaluation Program Supervisor, Habitat Branch, PHX (AGFD Log No.7-10-01/16a)
Sherry Barrett, USFWS, Assistant Field Supervisor, Az Ecol. Services Field Ofc, TUC
James McGinnis, AZ Dept. of Ag, Plant Services Div., PHX

Attachments

C:\PROJECTS\CITIES\VOROVLLY\144@1* & Oracle.doc

**EXHIBIT E-1:
ARIZONA GAME AND FISH DEPARTMENT LETTER
(PAGE 3 OF 4)**

Special Status Species within 5 miles of T12S,R14E Sec 7, 18

Arizona Game and Fish Department, Heritage Data Management System
July 24, 2001

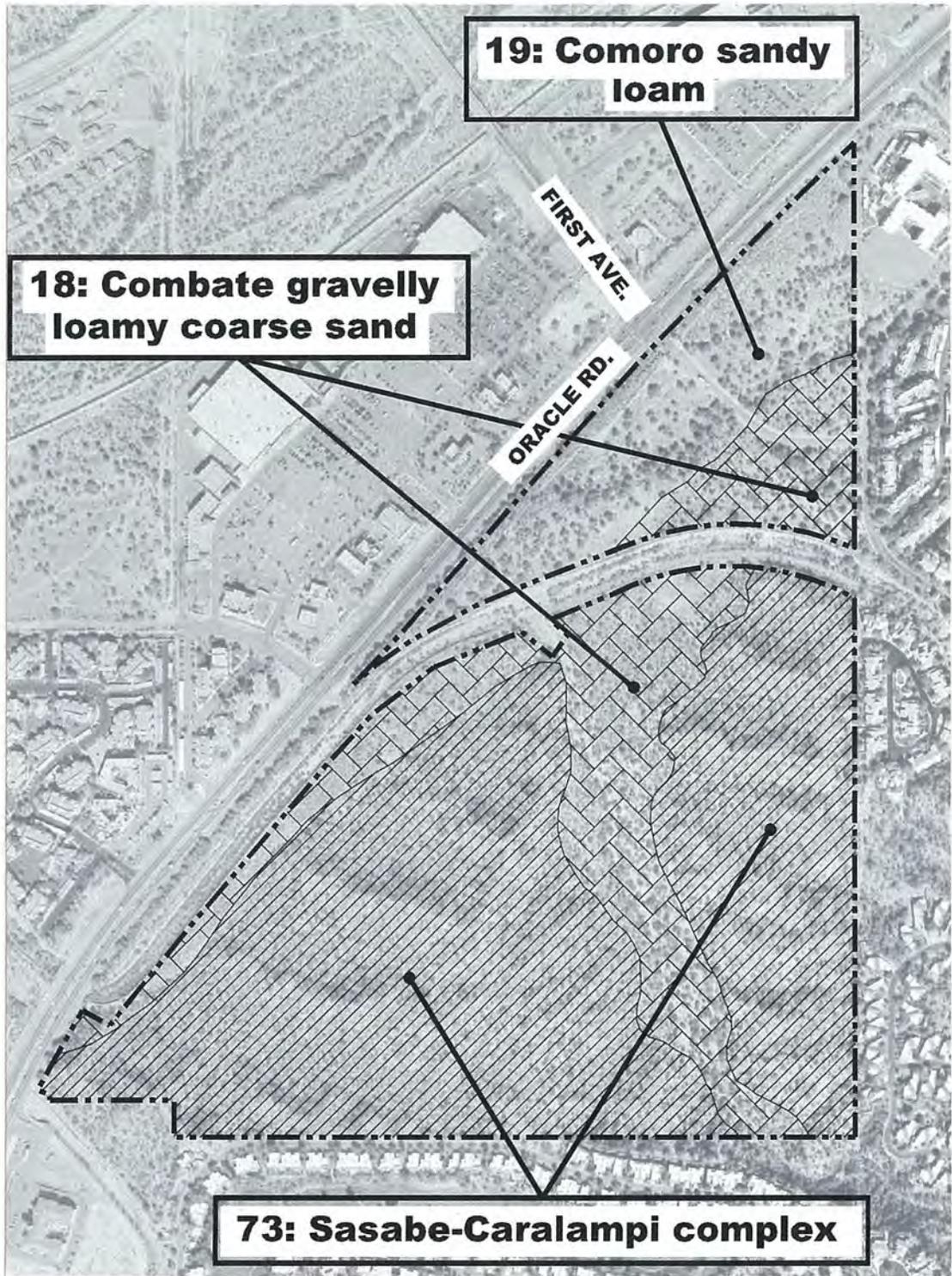
Scientific Name	Common Name	ESA	USFS	BLM	WSCA	NPL
<i>ABUTILON PARISHII</i>	PIMA INDIAN MALLOW	SC	S			SR
<i>AGAVE SCHOTTII</i> VAR <i>TRELEASEI</i>	TRELEASE AGAVE	SC	S			HS
<i>CALEPHELIS RAWSONI ARIZONENSIS</i>	ARIZONA METALMARK		S			
<i>CHOERONYCTERIS MEXICANA</i>	MEXICAN LONG-TONGUED BAT	SC		S	WC	
<i>CNEMIDOPHORUS BURTI STICTOGRAMMUS</i>	GIANT SPOTTED WHIPTAIL	SC	S	S		
<i>FALCO PEREGRINUS ANATUM</i>	AMERICAN PEREGRINE FALCON	SC	S		WC	
<i>GLAUCIDIUM BRASILIANUM CACTORUM</i>	CACTUS FERRUGINOUS PYGMY-OWL	LE			WC	
<i>GOPHERUS AGASSIZII</i> (SONORAN POPULATION)	SONORAN DESERT TORTOISE	SC			WC	
<i>HACKELIA URSINA</i>	CHIHUAHUAN STICKSEED		S			
<i>HEDEOMA DENTATUM</i>	MOCK-PENNYROYAL		S			
<i>HERMANNIA PAUCIFLORA</i>	SPARSELEAF HERMANNIA		S			
<i>MUHLENBERGIA XEROPHILA</i>	WEeping MUHLY		S			
<i>NOTHOLAENA LEMMONII</i>	LEMMON CLOAK FERN	SC				
<i>RANA YAVAPAIENSIS</i>	LOWLAND LEOPARD FROG	SC	S		WC	
<i>THELYPTERIS PUBERULA</i> VAR <i>SONORENSIS</i>	ARAIPA WOOD FERN			S		

Critical Habitat for the cactus ferruginous pygmy-owl within project area (~ 3 miles west). AGFD #7-10-01(16a); Oro Valley.

EXHIBIT E-1: ARIZONA GAME AND FISH DEPARTMENT LETTER (PAGE 4 OF 4)

F. SOILS

1. Floodplains: The site is protected by a series of engineered drainageways consisting of an excavated channel with soil cement sides and backfill. The underlying soils, however, are typical of a major geological floodplain.
2. Soils Exhibit and Development Suitability: There are ~~two~~three soil groups within the subject property (Exhibit F-1, Soils) and these soil groups are per the U.S. Department of Agriculture, Natural Resources Conservation Service:
 - a. Arizo Riverwash Complex #34—This soil complex (0 to 3 percent slopes) is on nearly level flood plains and channel bottoms. It occurs at the base of the gravel hills along the southern parcel edge. According to the U.S. Geological Survey maps and soil texts, this complex is comprised largely (50 percent) of Arizo fine sandy loam and secondly (20 percent) of riverwash. Another 10 percent is Tanque sandy loam with the balance in various mixes of Arizo soils. Comoro Sandy Loan #19 (Group B) – This soil complex occurs on slopes of 0 to 2% and typically exists in flood plain areas at elevations of 2,600 to 3,800 feet. It is typical in areas of 12 to 16 inches of precipitation. This soils complex consists largely of Comoro and similar soils (80%). (21 Acres or ~15% of the site)
 - b. Pinaleno Nickel Palos Verdes Complex #28C—The balance of the property being analyzed is within the Pinaleno Nickel Palos Verdes soil complex. The complex covers an area of gravel hills of 10 to 35 percent slopes. This unit is 35 percent Pinaleno very cobbly sandy loam, 35 percent Nickel very gravelly sand loam, and 15 percent Palos Verdes gravelly sandy loam. Pinaleno tends to occur on the shoulders and crests of the fan terraces (10 to 35 percent slopes). Nickel tends to occur on the backslopes of the fan terraces (20 to 35 percent slopes). Palos Verdes tends to occur on the summits of terrace remnants (10-15 percent slopes). The area tends to appear as a gravelly, cobbly hill region. The soil group is moderately alkaline and calcareous. At depths of 40 inches or more, some caliche may be found. The only significant limitation to urban development is slope and a moderate permeability, which limits septic use. Combate Gravelly Loamy Coarse Sand #18 (Group B) – This soil complex occurs on slopes of 2% to 8% and typically exists in alluvial fans at elevations of 2,900 to 4,600 feet. It is typical in areas of 12 to 16 inches of precipitation. This soils complex consists largely of Combate and similar soils (85%).- (32 acres or ~23% of the site)
 - ~~c.~~ Sasabe-Caralampi Complex #73 (Group B 40% and Group C 60%) - This soil complex occurs on slopes of 1% to 15% and typically exists in fan terraces at elevations of 3,100 to 3,700 feet. It is typical in areas of 12 to 16 inches of precipitation. This soils complex consists largely of Sasabe and similar soils (45%) and Caralampi and similar soils (30%). (88 acres or ~62% of the site)



**EXHIBIT F-1:
SOILS ANALYSIS**

1"=600'



4.27.2011
WLB No: 181057-R011

G. VIEWS/VISTAS

1. Important Vistas from the Site (Exhibit G-1, 1a)

The site is primarily made up of three general view areas:

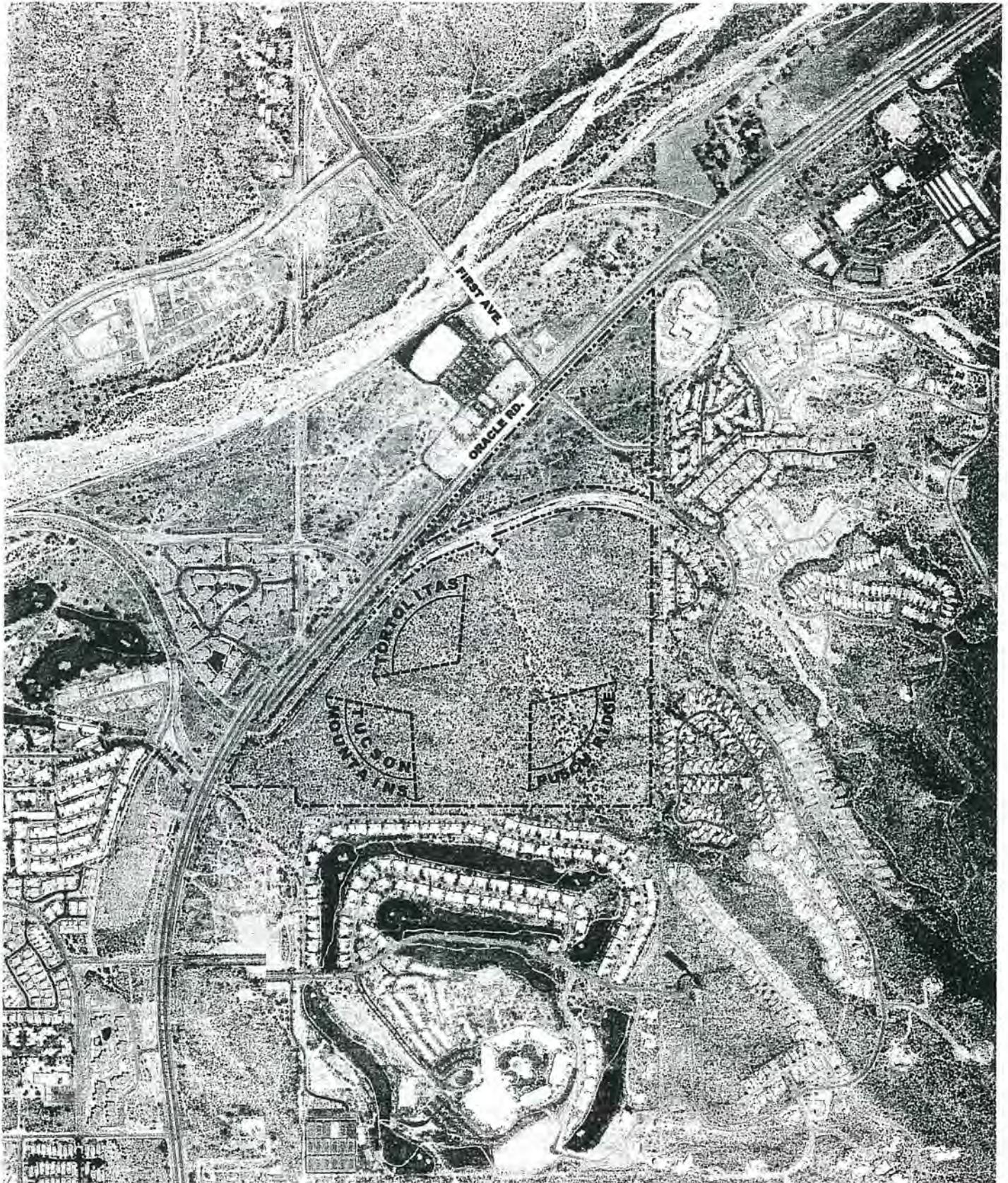
- a. Views from the central area (between Oracle Road and the base of the foothills south of Oracle Road) are the low, flat parcels with limited views primarily to the panorama of the Catalina Mountains or Pusch Ridge to the south and east. Due to the of the ridgelines north of **First1st** Avenue and southwest on Oracle Road, the Tortolita and Tucson Mountains are completely obscured. Instead, the development on the foothills surrounding the "central plain" will provide limited middle range views.
- b. Views from the south foothill area (the area south of the Rooney Wash) are perhaps the most comprehensive in terms of views. The strongest and most immediate viewplane is to the south and around to the east, which takes in the Catalina Mountains or Pusch Ridge, which are virtually upslope from the site. The ridge is so close and so completely dominant that it can be viewed from virtually any point on the south foothills area. The foothills are also high enough in elevation and far enough south of the ridgeline north of the Canada del Oro that a panorama view of the Tortolitas is available to all of the ridge tops and sides. These same locations also afford another interesting and valued vista of the opening across the upper plains between the Catalina and Tortolita. The higher elevations along the western boundary of the south foothills area also afford a distant view of the Tucson Mountains.

2. Important Vistas to the Site - Onsite Views (Exhibit G-2, 2a, 2b, 2c)

Views onto and toward the site are equally as important as views from the site. Buildings and other site elements should be placed in a manner sensitive to the viewsheds created by access corridors leading to the site. The uniqueness of this site stems from its form as a central bowl into which all approaches focus. In other words, the intersection of Oracle Road and North **First1st** Avenue is a natural focal point when the site is viewed from all directions. Both sides of a gravel ridge to the north as viewed from the perimeter of the "bowl" serve as a secondary focus.

- a. Approaching northbound on Oracle Road - As you round the corner near the entrance to the El Conquistador Resort, the projected mixed use commercial town center area on the broad and flat middle area comes into view below. The southern commercial elements of the town-center-proposed development south of Oracle Road come into view just before the bottom of the hill on Oracle Road-
- b. Approaching southbound on North **First1st** Avenue, and above the bridge over the Canada Del Oro Wash, one is provided with a full panoramic view of the mixed use commercial town-centerdevelopment.
- c. When viewing the site from the southern foothill area, the commercial hub area of the town is most obvious below.

- d . The north-side foothills "bowl" affords very locally contained intimate views to the surrounding ridges as well as to Pusch Ridge in the distance.



**EXHIBIT G-1:
VIEWS FROM SITE**

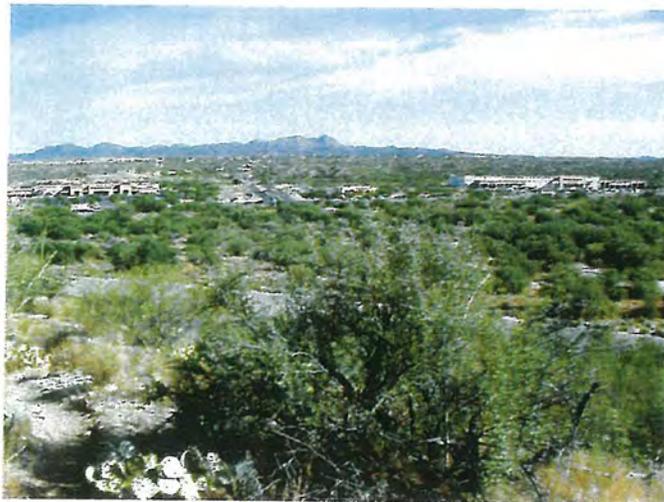




View of Pusch Ridge

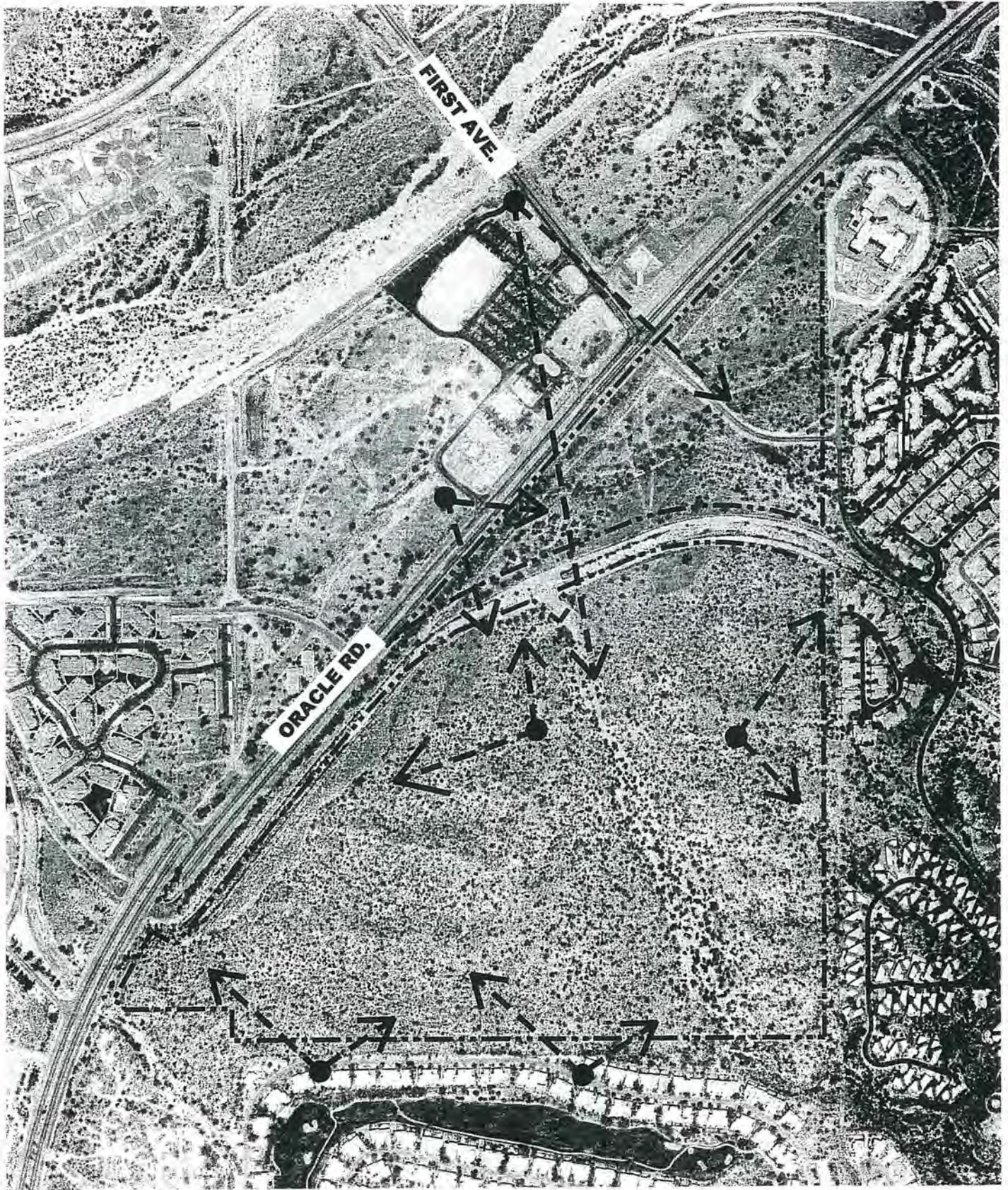


View of Tucson Mtns



View of Tortolitas

**EXHIBIT G-1 A:
PHOTOS OF VIEWS FROM SITE**



**EXHIBIT G-2:
ON-SITE VIEWS**



View From 1st Ave.



View From Blockbuster

**EXHIBIT G-2A:
PHOTOS OF ON-SITE VIEWS**



View to Rooney Commercial Center

**EXHIBIT G-2C:
PHOTOS OF ON-SITE VIEWS**

H. TRAFFIC

1. Existing and Proposed Streets

Access to the Oro Valley Town Centre PAD is provided from Oracle Road (State Highway 77), First1st Avenue and La Reserve Drive. Oracle Road provides access from the north and south and First1st Avenue from the west. Oracle Road is a major link between Tucson and the communities of Catalina, Oracle and San Manuel to the north as well as Rancho Vistoso. First1st Avenue to the north and west connects with Tangerine Road, which is a major arterial roadway providing access between Interstate 10 to the west and Oracle Road.

2. Arterial Streets within One Mile of Project

Oracle Road

- a. The right-of-way is 200 feet.
- b. This right-of-way conforms to the standards for Major Arterial roads as outlined in the Oro Valley General Plan.
- c. Public ownership.
- d. The rights-of-way are continuous along the frontage of the subject property.
- e. The road contains 6 travel lanes and the posted speed limit is 50 mph.
- f. According to the most recent data from the Pima Association of Governments (2006), the portion of Oracle Road south of First1st Avenue carries 50,000 Average Daily Trips (ADT) and the portion north of First1st Avenue carries a volume of 30,000 ADT.
- g. The road was recently improved as a result of the Oracle Road Improvement District and the pavement is in good condition. Curb cuts and turnouts were constructed and a bridge over the Rooney Channel on the Pusch View Lane alignment was also constructed as part of the Improvement District.
- h. At this time, the only improvements that would be required to Oracle Road involve the east facing traffic signal lights – they were not installed and would need to be installed in order to provide access into the site from the Pusch View Lane alignment.

First1st Avenue

- a. The right-of-way is 200 feet.
- b. This right-of-way conforms to the standards for Major Arterial roads as outlined in the Oro Valley General Plan.
- c. Public ownership.
- d. The rights-of-way are continuous.
- e. The road contains 4 travel lanes and the posted speed limit is 45 mph.
- f. According to the most recent data from the Pima Association of Governments (2004), First1st Avenue carries 34,000 Average Daily Trips (ADT).
- g. The pavement is in good condition.
- h. No improvements are required to this road to provide access to the subject property.

Pusch View Lane

- a. The right-of-way is approximately 90 feet and then widens to approximately 140 feet about 500 feet west of Oracle Road.
- b. This right-of-way conforms to the standards for Major Arterial roads as outlined in the Oro Valley General Plan.
- c. Public ownership.
- d. The rights-of-way are continuous.
- e. The road contains 4 travel lanes and the posted speed limit is 45 mph.
- f. The most recent data from the Pima Association of Governments does not include information for Pusch View Lane, and as such the Average Daily Trips (ADT) is not known.
- g. The pavement is in good condition.
- h. No improvements are required to this road to provide access to the subject property.

Roads and Streets

The section of Oracle Road adjacent to the proposed development has been fully improved to a six lane divided highway. Bike lanes have been provided and a continuous turn land exists along the western boundary of the site. The improvements to Oracle were made via a past Improvement District that was formed for the purpose of making improvements to Oracle Road, First1st Avenue and Pusch View Lane.

The extension of First1st Avenue through the property is a two lane paved road with extruded curb and no sidewalks. The posted speed limit is 25 mph.

3. Existing and Proposed Intersections

Traffic from this project will utilize the following intersections within one mile of the site:

Oracle Road and First1st Avenue
Oracle Road and Pusch View Lane
First1st Avenue and Lambert Lane

4. Existing Bicycle and Pedestrian Ways

There is a 5 foot sidewalk along the entire western edge of the subject property, as well as along both sides of First1st Avenue and on the north side of Pusch View Lane. There is a 5 foot sidewalk along the west side of Oracle Road. There is a 6 foot wide sidewalk on the north side of the bridge that was constructed over the Rooney Channel on the Pusch View Lane alignment.

There is also a 6 foot wide bicycle lane on both sides of Oracle Road, both sides of First1st Avenue and both sides of Pusch View Lane.

There is a 10 foot wide asphalt multi-use path along the south side of Lambert Lane.

Access

Access to the Oro Valley Town Centre is currently provided from Oracle Road (State Highway 77), First Avenue and La Reserve Drive. Oracle Road provides access from the north and south and First Avenue from the west. Oracle Road is a major link between Tucson and the communities of Catalina, Oracle and San Manuel to the north as well as Rancho Vistoso. First Avenue to the north and west connects with Tangerine Road, which is being developed as a major highway between Interstate 10 to the west and Oracle Road.

2. Existing Conditions

Roads and Streets

The section of Oracle Road adjacent to the proposed development has been improved to a four lane divided highway. Bike lanes have been provided. An Improvement District is currently being formed for the purpose of making improvements to Oracle Road, First Avenue and Pusch View Lane.

Traffic Volumes

Current traffic volumes in the area of 28,000 Average Daily Traffic (ADT) are being adequately carried by Oracle Road, which has a capacity of approximately 37,000 ADT at level of service D operation. Future traffic volume assignments indicated in Table 1 will warrant additional widening at some future time.

First Avenue currently carries a volume of 21,400 ADT.

3. Traffic Impact Analysis

A Traffic Impact Analysis (April 2002) has been completed for this project by DMJM Harris. A copy of this report is available from the Town Engineer.

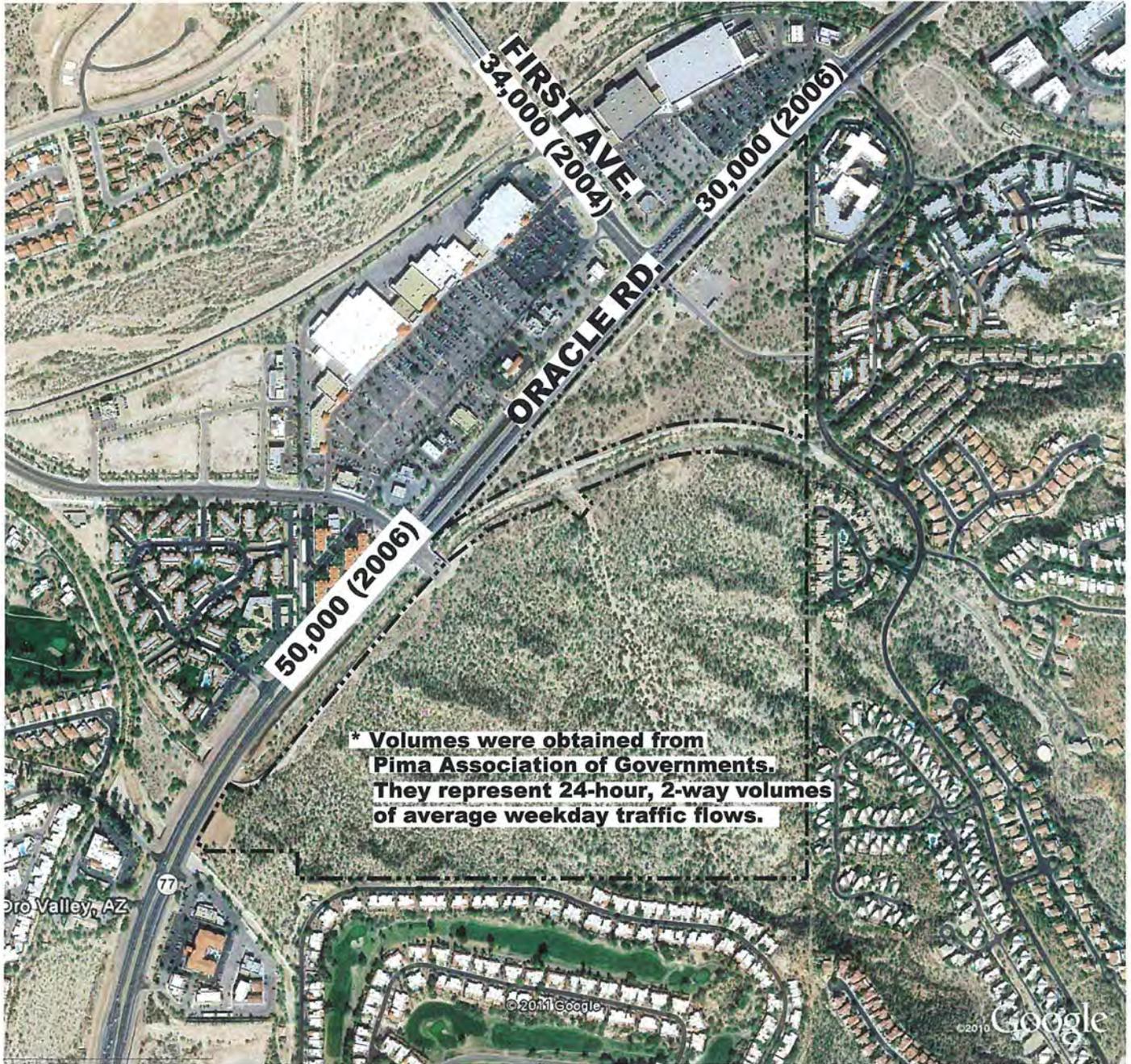


EXHIBIT H-1: TRAFFIC VOLUMES



I. SEWER/WATER/OTHER UTILITIES

1. Existing Public Sewers

The project envisions only the use of publicly owned gravity flow sanitary sewers. The existing lines are all upstream lines of the Pima County's Department of Wastewater Management's Canada del Oro interceptor. The existing 21-inch sewer line adjacent to Oracle Road is shown on Exhibit I-1.

2. Pima County Wastewater Management Department Capacity Response Letter - Letter follows as Exhibit I-2.

3. Projected Sewers

Where possible, all sewer lines will gravity flow into the existing 21 inch sewer line adjacent to Oracle Road.

4. Existing Water

The proposed PAD lies within the certified area of the Oro Valley Water Utility. Existing lines are shown on Exhibit I-1.

5. Proposed Water Improvements

None proposed directly impacting the site. The developer must design and pay for the installation of the necessary infrastructure to serve this site along with the replacement of the existing water main which may traverse the property.

6. Water Service Availability

The project is within the service area of the Oro Valley Water Utility. ~~Preliminary discussions with a company spokesperson have indicated that Oro Valley Water Utility will work with the developer of this project to provide water to the project.~~ Preliminary discussion with a company spokesperson have indicated that the Oro Valley Water Utility (OVWU) will serve the project.

7. Other Existing Utilities

Other existing utilities are shown on Exhibit I-1.

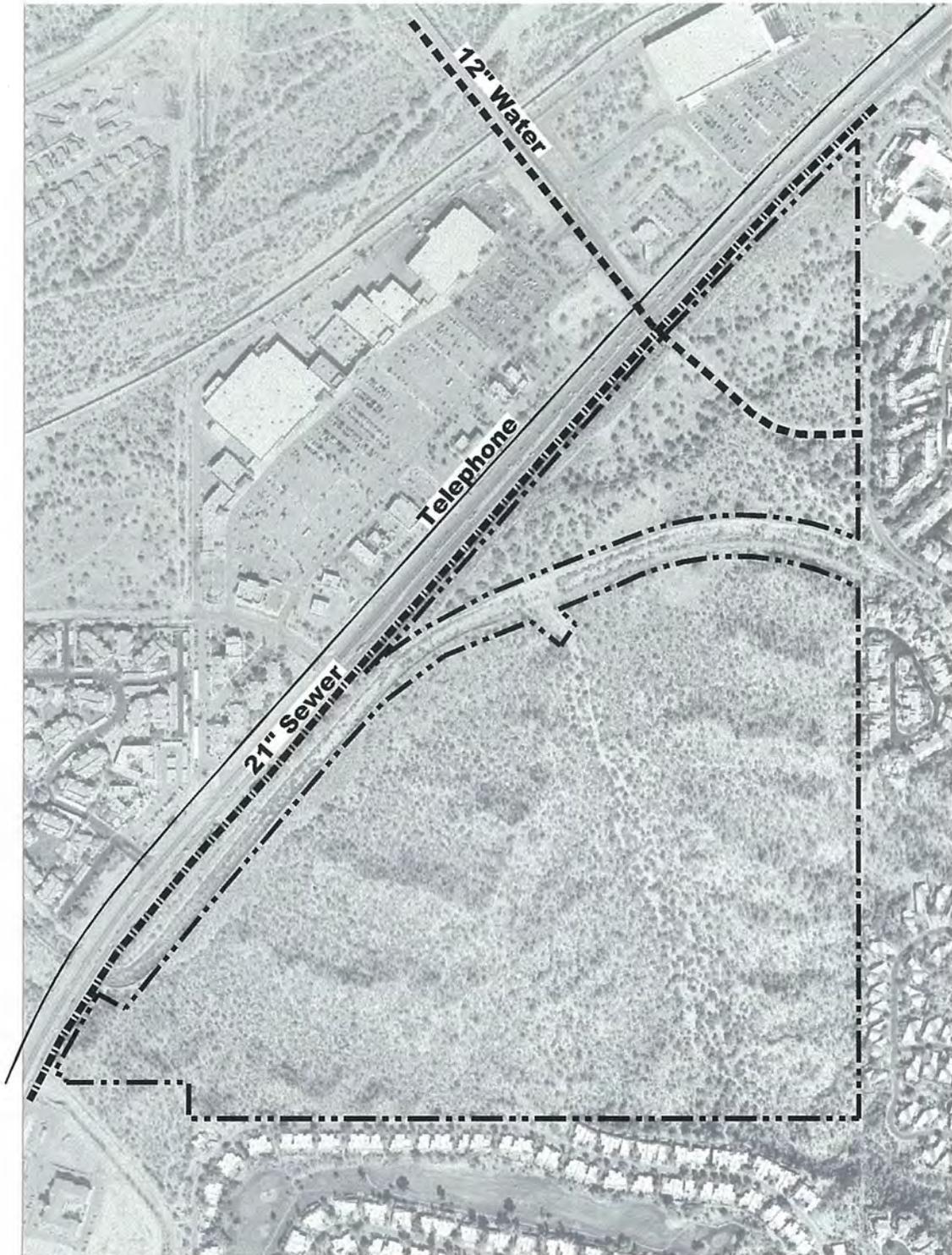


EXHIBIT I-1: EXISTING UTILITIES



**Pima County
Regional Wastewater Reclamation Department**

Michael Gritzuk, P.E.
Director

201 N. Stone Ave., 8th Floor
Tucson, Arizona 85701
(520) 740-6500

Visit our website:
<http://www.pima.gov/www>

December 2, 2010

Ms. Wendy Fowler
Kitchell Development Company
1707 E. Highland Avenue, #100
Phoenix, AZ 85016

Capacity Response No. 10-185 Type I

**RE: The Village at Oro Valley, 220 Lots on Parcel # 220-09-0020.
Estimated Flow 50,600 gpd (ADWF).**

Greetings:

The above referenced project is tributary to the Ina Road Wastewater Reclamation Facility via the Cañada del Oro Interceptor.

Capacity is currently available for this project in the 21-inch public trunk sewer G-81-030, at manhole #2729-20.

This letter is not a reservation or commitment of treatment or conveyance capacity for this project. It is an analysis of the system as of this date and valid for one year.

Note: Conditions within the public sewer system constantly change. An update to this letter must be obtained to verify that capacity exists in the downstream public sewer system just prior to submitting the development plan or subdivision plat for review and approval.

If further information is needed, please feel free to contact us at (520) 740-6500.

Respectfully,

A handwritten signature in cursive script that reads "Mary M. Hamilton".

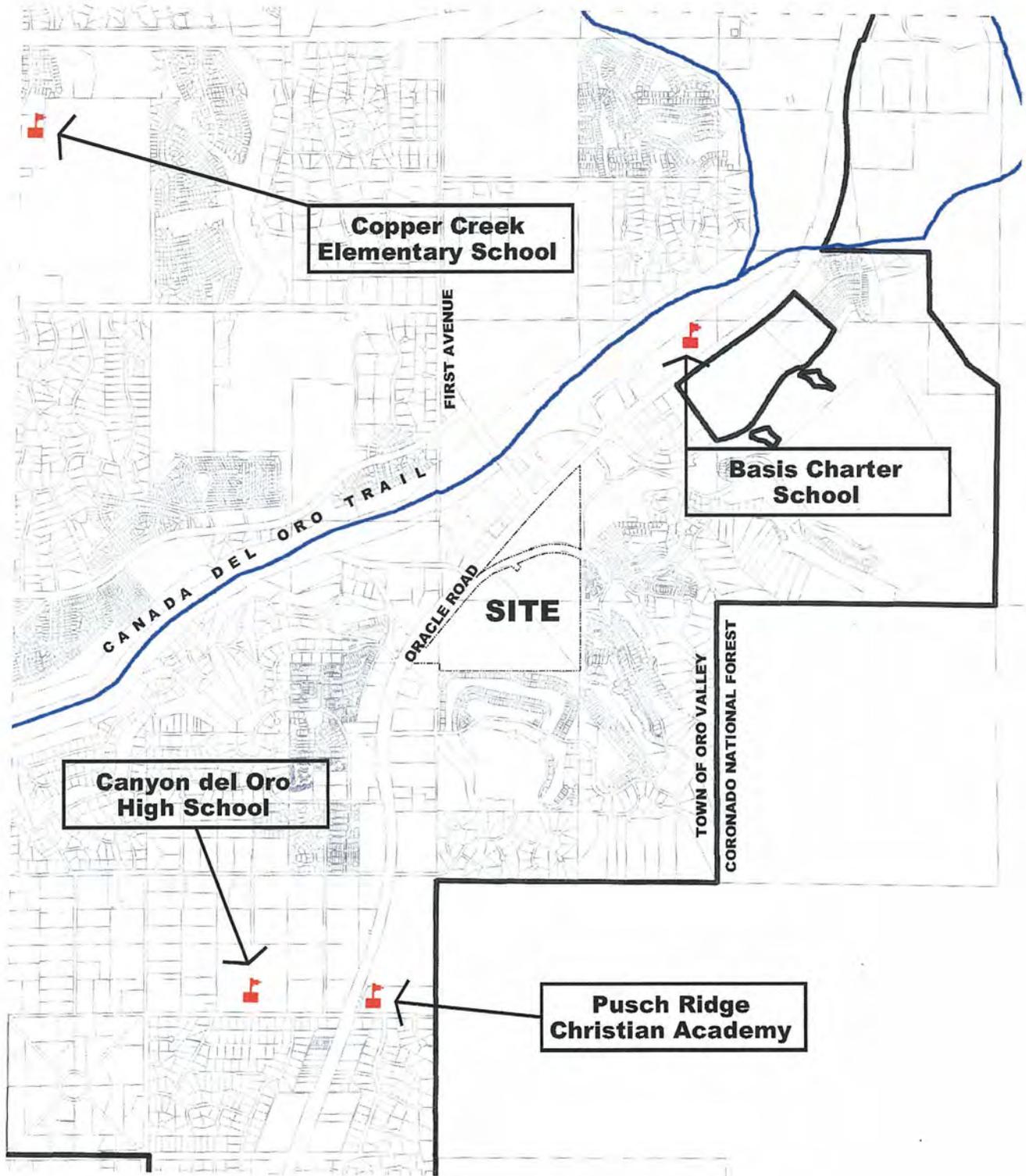
Mary Hamilton, P.E.
PCRWRD Planning Section Manager

MH:ks

c: T12, R14, Sec. 07

J. SCHOOLS

1. Existing Schools (Exhibit J-1). The site lies within the Amphitheater School District. No school sites are planned within the proposed PAD.
 - a. Junior/Senior High Schools - Cross Junior High School is located five miles south of the site. Amphitheater School District has constructed a new high school, Ironwood Ridge High School, on Naranja Road and the existing Canada Del Oro High School is located three miles to the south of the site.
 - b. Elementary Schools - The nearest elementary school, called Copper Creek, is located approximately one and one-half miles to the west of the site.
 - c. Charter Schools - Basis Oro Valley was opened in 2010. It is located approximately one mile to the northeastwesteast of the site.



**EXHIBIT J-1:
SCHOOLS**

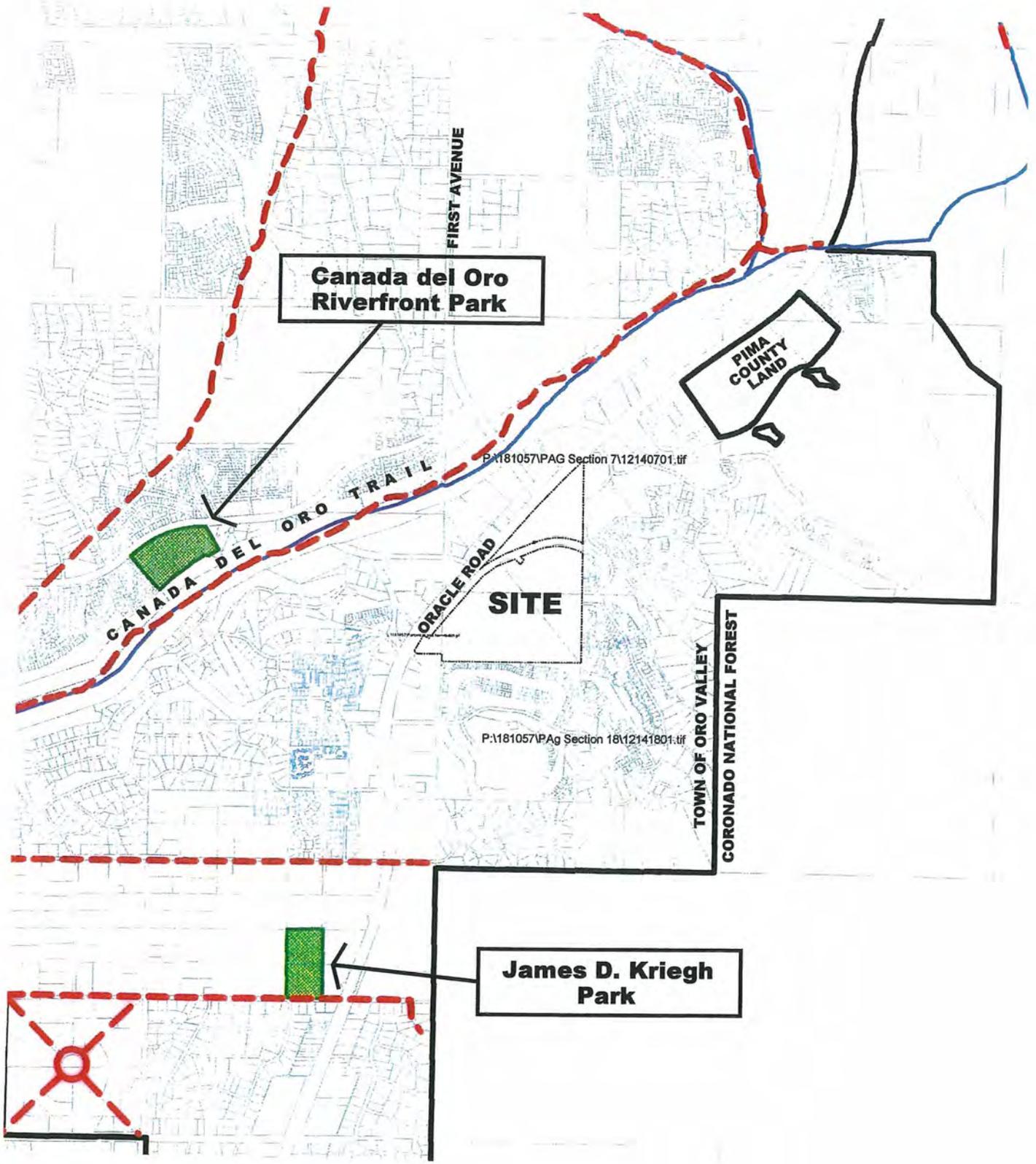
1"=0.5 MI.



4.27.2011
WLB No. 161067-R011

K. RECREATION AND TRAILS

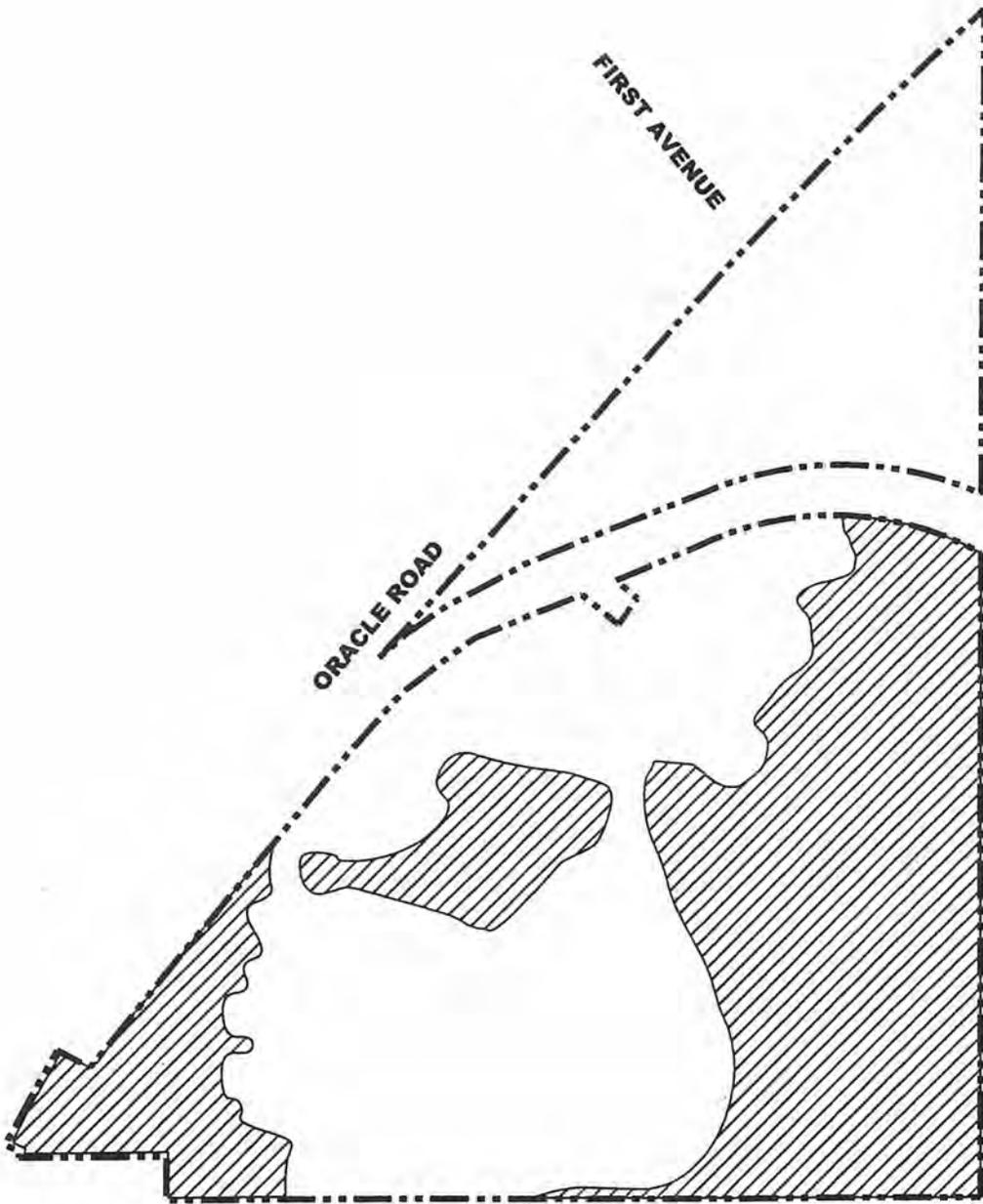
1. General Offsite Parks and Recreational Areas (Exhibit K-1) - There are innumerable and diverse recreational opportunities within five miles of the site. They include:
 - a. Catalina State Park - 5,511 acres, two miles east of the site off Oracle Road. The park is a full service active and passive recreation area.
 - b. The Coronado National Forest - The Coronado National Forest can be accessed through Catalina State Park and various other trailheads immediately south of the site. It is an extensive national resource area for hiking, horseback riding, camping, skiing, and picnicking.
 - c. Tortolita Mountain Park and The Tortolita Mountains - Generally considered a publicly held conservation area, the mountain reserve contains thousands of acres for recreational use. The mountains are approximately five miles northwest of the site.
 - d. James D. Kriegh Park and Canada Del Oro Riverpark - Originally known as Dennis Weaver Park, James D. Kriegh Park is located on Calle Concordia, just west of Oracle Road. The centerpiece of park activity in Oro Valley, this comprehensive facility includes an Olympic-size swimming pool, picnic ramadas, playground equipment, racquetball courts, and sports fields for Little League, softball, and soccer. Canada Del Oro Riverpark features an outdoor performance and community events center to seat approximately 500, two softball/little league baseball fields with lights for night use, two soccer/multi-purpose fields with lights, basketball and tennis courts, four picnic ramadas, children's play area, horseshoe pits, and a 3/4 mile walking/multiple use path. This park opened in June 2000.
 - e. Golfing/Swimming/General Recreation - Within close proximity of the site are numerous resort areas and golf clubs, including the following:
 1. Oro Valley Country Club (1/2 mile)
 2. The various courses at Rancho Vistoso (2-4 miles)
 3. The El Conquistador Country Club (2-1/2 miles)
 4. Sheraton El Conquistador Resort (abutting the site)
 - f. Linear Trail System - Pima County is planning a linear Park and Trail System along the Canada del Oro Wash.
2. Undisturbed Natural Open Space (Exhibit K-2)
3. Additional Information - The proposed PAD will not have a large residential component but it views open space and recreation systems more as a provision of visitor and customer amenity and to accommodate and encourage pedestrian access to and movement within the proposed commercial area.



**EXHIBIT K-1:
OFF-SITE PARKS AND RECREATION AREAS**

1"=0.5 MI.





**EXHIBIT K-2:
UNDISTURBED NATURAL OPEN SPACE**



**APPROXIMATE AREA OF UNDISTURBED
NATURAL OPEN SPACE**

1"=600'



L. CULTURAL RESOURCES

1. Letter from the Arizona State Museum. A letter from the Arizona State Museum has been included in this document as Exhibit L-1.
2. Archaeological Report. Prior to any ground modification activities, an archaeological report shall be completed.

PIMA COUNTY ARCHAEOLOGICAL SITE RECORDS SEARCH RESULTS

E-mail Request Received: 4/26/2011

Search Completed: 4/29/2011

Requester Name and Title: Wendy Fowler, Development Administrator
Company: Kitchell Development Company
Address: 1707 E. Highland Avenue, Suite 100
City, State, Zip Code: Phoenix, AZ 85016
Phone/Fax/or E-mail: (602) 631-6102

Project Name and/or Number

Planned Area Dev. / Pars. 22009-0020/-0030, 22013-0010/-0020, 22431004B

Project Description

New planned development

Project Area Location: SWC & SEC of 1st Ave & Oracle Rd, Pima County, Arizona

Legal Description: A portion of the SW, S7, & the NW, S18, & the NE, S19, T12S, R14E, G&SR B&M, Pima County, Arizona.

Search Results: A search of the archaeological site files and records retained at the Arizona State Museum (ASM) found that a records search was completed on the subject project area in 2001. In a letter dated 5 July 2001 to Mr. Oland of the WLB Group, Inc., the ASM public archaeologist recommended that the area now encompassed by the subject project area be resurveyed before any development begins (a copy of that letter accompanies the present records search). Although the property had been surveyed in 1988, the ASM and the Pima County Cultural Resource Office found that significant time had elapsed from the 1988 survey to 2001 and that cultural resources could be newly exposed. The present records search finds that the project area has not been resurveyed subsequent to 1988. One prehistoric site has been identified within the project area, and an additional site may also lie within it. The present search finds that 41 additional archaeological inspections were completed within a mile radius of the project area between 1976 and 2008 and 16 additional historic and prehistoric cultural resources are identified within a mile. A color orthophotograph taken of the proposed project area in 2010, enclosed, depicts a relatively unmodified ground surface covered with native vegetation.

Sites in Project Area: One, maybe two. Others are possible

Recommendations: Because Pima County has jurisdiction in this project area, the county will make decisions for the proposed project using its own search results and it may use the ASM's search results and / or others. Should the county require additional archaeological work in this parcel, you will need to contact a qualified archaeological contractor whose name is maintained on a list posted on the ASM website at the following address: <http://www.statemuseum.arizona.edu/crservices/permits/index.shtml>.

Pursuant to *Arizona Revised Statutes* §41-865 et seq., if any human remains or funerary objects are discovered during your project work, all effort will stop within the area of the remains and Dr. Todd Pitezal, assistant curator of archaeology, will be contacted immediately at (520) 621-4795.

If you have any questions about the results of this records search, please contact me at the letterhead address or the phone number or e-mail address as follows.

Sincerely,



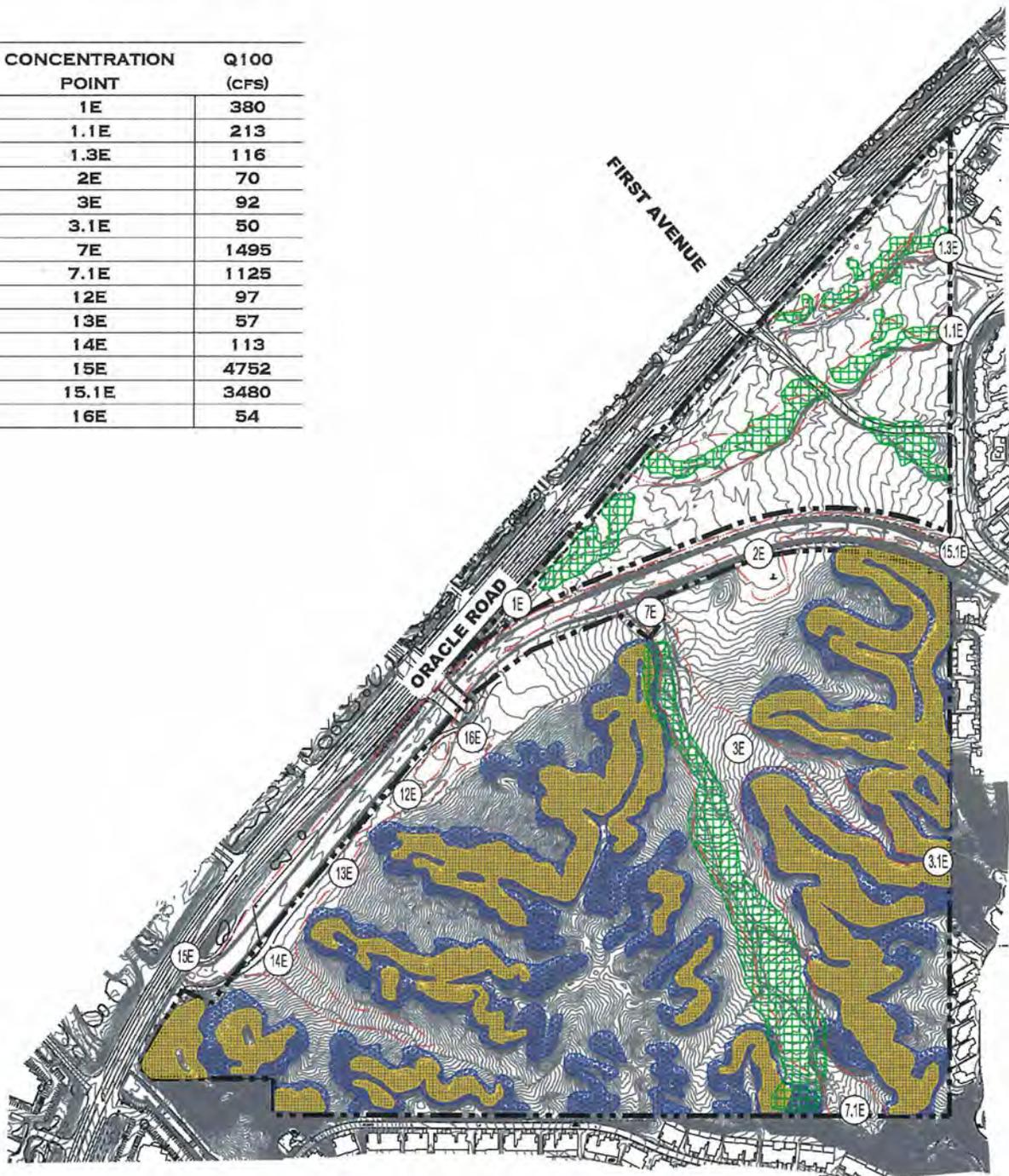
Nancy E. Pearson
Assistant Permits Administrator
(520) 621-2096
npearso@email.arizona.edu



M. COMPOSITE EXHIBIT

1. General Composite Exhibit - Exhibit M-1 shows a collection of environmental considerations. Soils were not included since all three soils groups, though each dictating a different design in terms of load-bearing or landscaping, are suitable for development.
 - a. Hydrology - Engineered channel bottoms are shown as well as an unprotected area on the north parcel and an undeveloped side-wash area on the south property flowing into the Rooney Wash. Approximate 100-year floodplains and concentration points are also shown.
 - b. Topography - Areas having slopes in excess of 25 percent are shown. These areas would dictate restricted low density development or should remain undeveloped.
 - c. Vegetation and Wildlife - ~~The high density vegetation areas (and accompanying wildlife habitats) are shown~~ Areas containing significant vegetation are shown.

CONCENTRATION POINT	Q100 (CFS)
1E	380
1.1E	213
1.3E	116
2E	70
3E	92
3.1E	50
7E	1495
7.1E	1125
12E	97
13E	57
14E	113
15E	4752
15.1E	3480
16E	54



LEGEND

-  AREAS CONTAINING SIGNIFICANT VEGETATION
-  AREAS OF >25% SLOPE
-  AREAS OF 15% TO 25% SLOPE
-  CONCENTRATION POINT
-  100 YEAR FLOODPLAIN LIMIT

**EXHIBIT M-1:
COMPOSITE MAP**

1"=600'



4.28.2011
WLB No. 101.007A-R011

SECTION II - LAND USE PROPOSAL

SECTION II

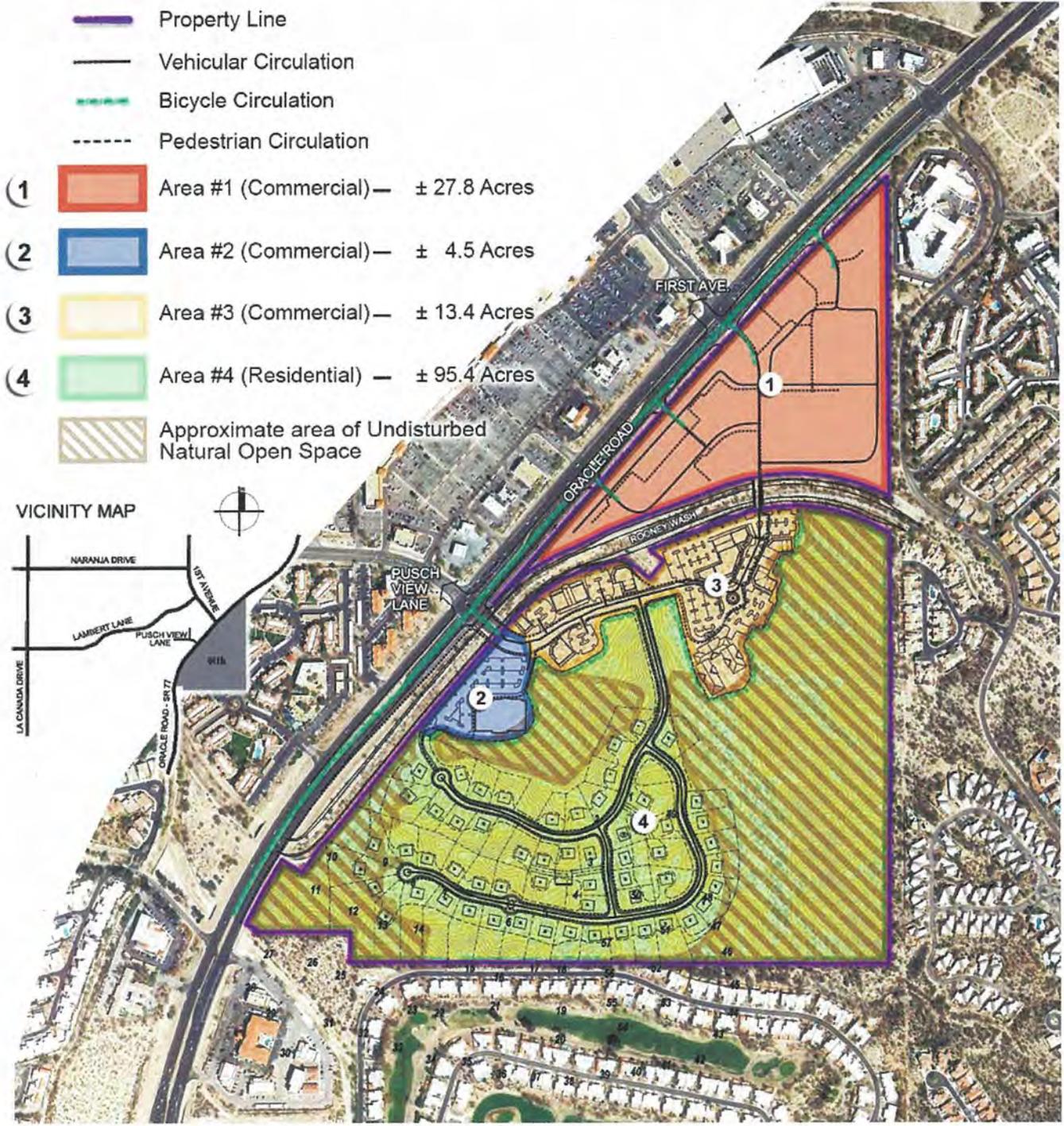
LAND USE PROPOSAL

A. PROJECT OVERVIEW

General Urban Land Use Strategy - The Town of Oro Valley General Plan "Focus 2020" recognizes that lands in the immediate vicinity of Oracle Road and North ~~First-1st~~ Avenue are appropriately projected to be higher density urban and commercial developments than lands away from the intersection and the contributing corridors. It is the intent of the proposed amended PAD ~~that there be created to create~~ a high quality ~~and discernable Oro Valley Town Centre~~ mixed multiple use development, ~~which focuses on that major intersection,~~ which ~~also~~ is located near the very geographical center of the Town's projected incorporated area. The proposal is for a commercial core, ~~which includes~~ ing residential, office, hotels, retail, restaurant, ~~and~~ entertainment facilities, medical facilities, and ~~neighborhood~~-convenience retail. ~~The mix of uses is not only intended to extend the times during which the center is active, but also to maximize the use of amenities and infrastructure in a series of often non-conflicting peak periods of demand.~~ The land use mix also is designed to create a destination critical mass for services and a potential urban synergy. Because of the nature of the street and drainage network, the project is primarily segmented into commercial/office/apartment uses north of the proposed Pusch View Lane extension and single family residential south of the proposed Pusch View Lane extension. Exhibit AA-1, Preliminary Conceptual Site Tentative Development Plan, demonstrates the general land use proposed for the development.

The Land Use Plan and Illustrative Site Plans for this project ~~have~~ been developed ~~based on design principles of the New Urbanist Movement to allow a horizontal mix of uses.~~ These include pedestrian scale, pedestrian access and movement, traffic control via physical barriers, mix of ~~retail with residential~~ retail, residential and office, and access to natural open space. ~~The primary focus of the development is an old "main street theme" which features on-street parking, buildings located close to the street, office and apartments above the retail uses with sit-down restaurants focused around a village commons area. Buildings are architecturally "five sided" with parking located in small groups on all four sides of the buildings. Landscaped pedestrian pathways connect the various retail areas emphasizing the importance of pedestrian movement rather than automobile movement. The design principles of New Urbanism will be further utilized to evaluate the Development Plan and Architectural review for each individual building. The primary focus of the architectural design provisions will be to create a foundation for design that will ensure development of an attractive, high quality mixture of architectural styles with primary emphasis on mixed use commercial retail, office, and residential.~~

Note: The circulation patterns shown are conceptual, and may ultimately be different from that which is shown depending on the final configuration of the site



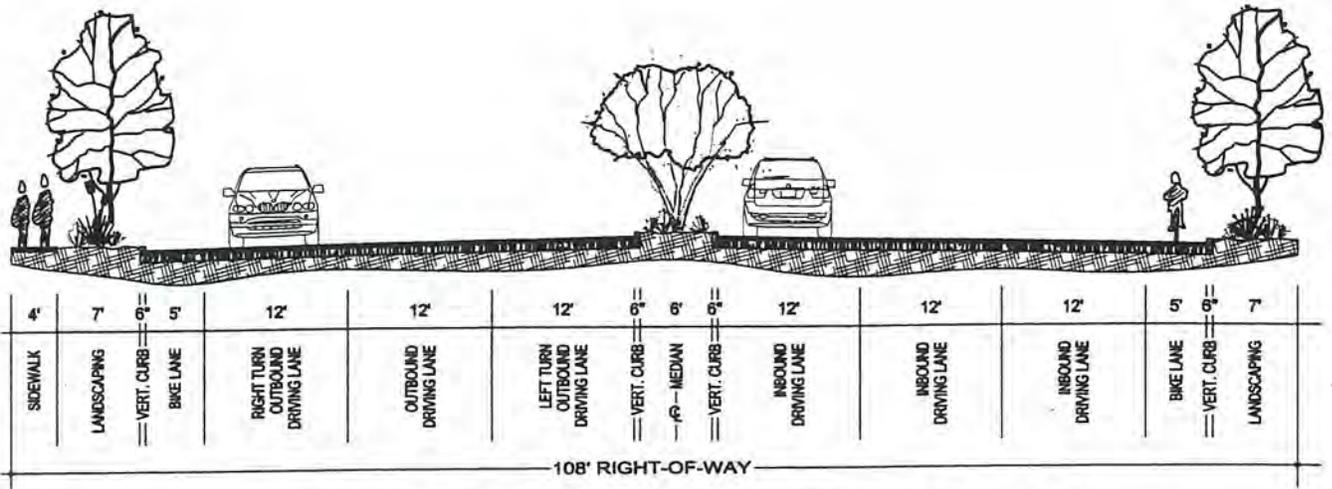
Tentative Development Plan (TDP)

04152 05.10.11

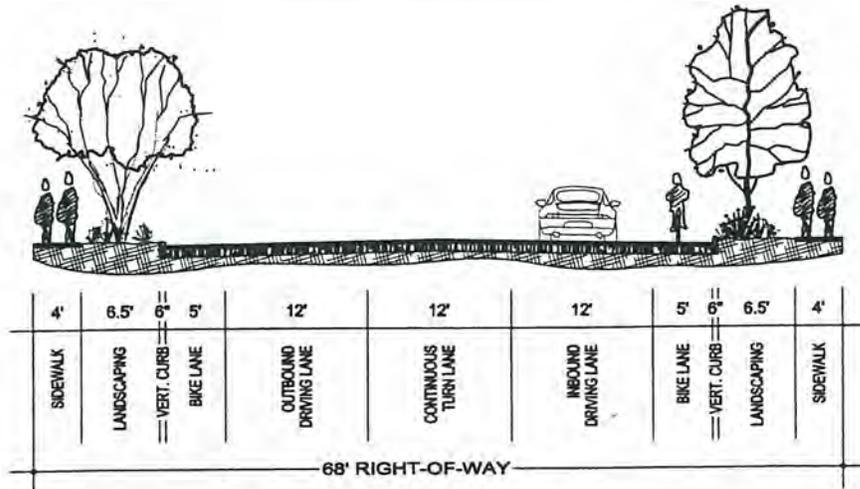


ORO VALLEY Towne Center
 ORACLE ROAD & FIRST AVENUE
 TOWN OF ORO VALLEY, ARIZONA



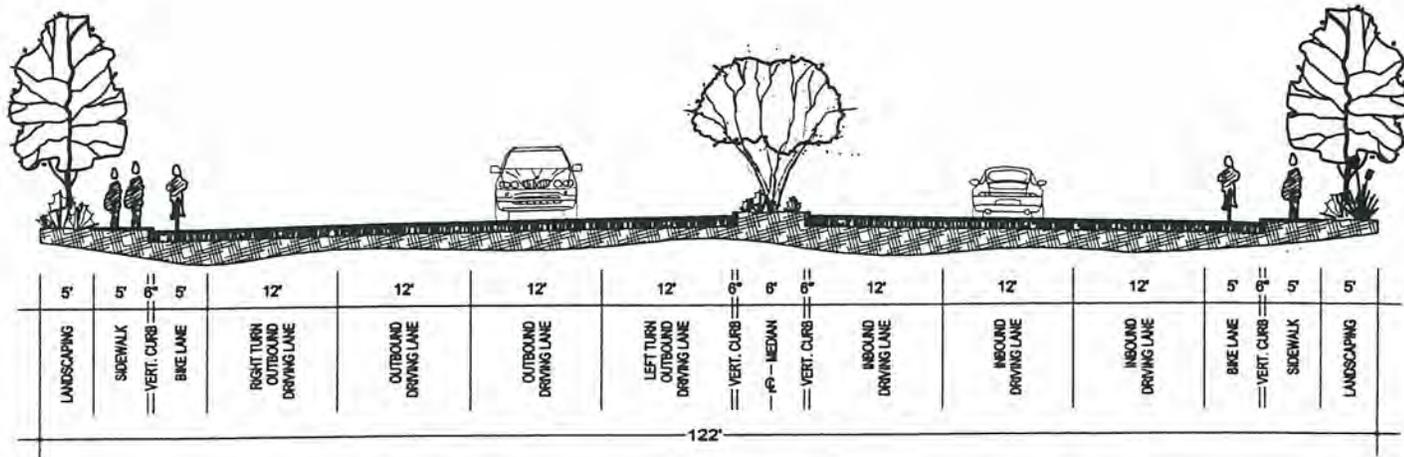


PUSCH VIEW LANE SECTION (INTERSECTION AT ORACLE ROAD)
N.T.S.

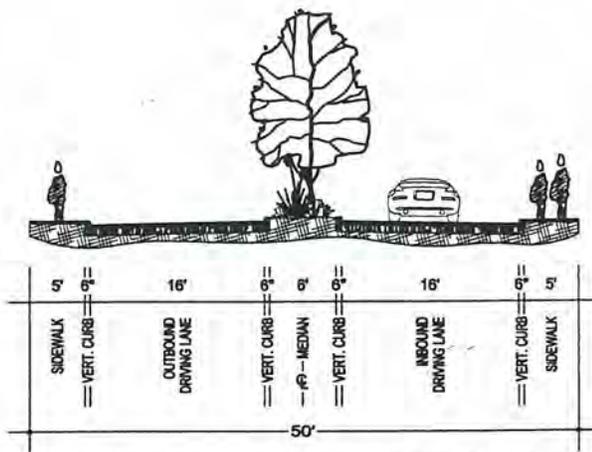


PUSCH VIEW LANE SECTION
N.T.S.

EXHIBIT AA-2: PUSCH VIEW LANE SECTIONS



FIRST AVENUE SECTION (INTERSECTION AT ORACLE ROAD)
N.T.S.



TWO-LANE ENTRY SECTION (TYP.)
N.T.S.

EXHIBIT AA-3: FIRST AVENUE AND ENTRY SECTIONS

B. COMMUNITY GOALS AND POLICIES

Goals

1. To create a high quality horizontally integrated mixed use master planned community development that, which effectively servesing the Town of Oro Valley as an efficient and discernable “center,” or commercial core, and which at the same time is compatible with surrounding uses as well as the town’s vision for this area.
2. Through the comprehensive planning approach on a significantly large, centrally-located tract, establish an economically viable critical mass of urban services to cause it to be a regionally important commercial destination.
3. Through the PAD process, comprehensively plan higher development intensities on environmentally sound sites while planning lower densities or eliminating development altogether where slopes and unique vegetation warrant.
4. Through a master planned urban design, position and develop elements to maximize views, minimize the loss of views of adjacent land uses and create a very “readable” urban texture or “sense of place” and “function.”
5. ~~Through the vegetation and landscaping plans, create and preserve excellent microclimates, which become quality amenities for tenants, customers, and other visitors while perpetuating the sense maintaining of “indigenous” Arizona upland landscape.~~
- 5.6. ~~Through the use of sensitive grading plans and re-vegetation, create and treat cut slopes such that they will appear not to have been disturbed in the single family residential development areas.~~
6. ~~Through the use of sensitive grading plans and re-vegetation, create and treat cut slopes such that they will appear not to have been disturbed.~~
7. Through vision, experience, thoughtful planning, quality design and creativity, develop an excellent ~~commercial core mixed-use project, which is effectively new that provides a comfortable and interesting experience,~~ exciting, and different to the extent that it offers a distinctive and excellent alternative to other business, retail, and residential areas in the northern Tucson metropolitan region.

Policies

1. Oracle Road Scenic Corridor Overlay District - The subject parcel is located within the jurisdiction of the Oracle Road Scenic Corridor Overlay District (ORSCOD); therefore, it is subject to the provisions of that overlay district. The Oro Valley Town Centre PAD controls and coordinates approximately 141 acres in this corridor. With a few exceptions, this PAD complies with the ORSCOD. The primary exceptions involve five areas, listed as follows:

building heights, setbacks along Oracle Road, floor area ratio, free-standing building pads and landscape/screening treatment standards.

As stated in the ORSCOD, the intent of the ordinance is to establish the physical form and continuity of character in the ORSCOD before uncoordinated development occurs, depriving the area of its natural scenic beauty. The scenic beauty presented by the corridor consists primarily of the background views of the Santa Catalina Mountains and Pusch Ridge. This commercial portion of this project strives to protect these views by placing buildings and other site improvements in the valleys, thereby preserving ridge tops in their natural condition.

The rationale for deviating from ORSCOD in these ~~four~~five areas is discussed below:

- a. Height Limitations - The Oro Valley Town Centre at Rooney Ranch proposes various building heights necessary for one, ~~two and through~~ five story ~~development structures~~ (office buildings are limited to three (3) stories maximum) appropriate for a strong commercial core in a mixed-use neighborhood/community commercial land use designation. However, ORSCOD restricts the heights of buildings within 300 feet of the Oracle Road ROW to 18 feet. This limitation would severely constrain implementation of the General Plan and PAD policies.

Also, based on the results of the View Corridor Analysis completed for Oro Valley Town Centre, a minimum of 60% of the frontage to a depth of 300 feet along the east side of Oracle Road will be maintained as a view corridor and will not be used for building purposes. Although the buildings within 300 feet will, under this proposal, exceed 18 feet, they will not negatively affect the view corridors.

- b. Setbacks - The apparent intent is to preserve both foreground views and background views of the mountains. There are areas along Oracle Road where a 100-foot buffer is appropriate. Those areas are where the viewshed is at essentially the same elevation as the roadway. In the case of Oro Valley Town Centre at Rooney Ranch, the viewshed is the background views of the Santa Catalina Mountains and Pusch Ridge beyond the site. The dense vegetation located in a 30 foot wide strip adjacent to the right-of-way, which will for the most part be retained, limits the foreground viewshed. ~~It is the intent of the Oro Valley Town Centre at Rooney Ranch to preserve this strip of natural vegetation as a part of the overall effort to preserve significant natural vegetation on the site.~~ In short, this PAD proposes a 30-foot enhanced landscape buffer adjacent to the east right-of-way line of Oracle Road.
- c. Floor area ratio – The ORSCOD permits a floor area ratio (FAR) of .25 for sites two acres or larger. The FAR of the Oro Valley Town Centre, based on the total square footage shown will be determined at the time of final site planning but will not be limited to .25 on the TDP, and further based only on the net commercial acreage, is approximately .29. it should be noted hHowever, ~~the approximate FAR, when including the there are approximately~~ 79 acres of open space planned in Area 4 designated within this project, is .11. The project will be viewed holistically when calculating allowable FAR. The ~~purpose of these calculations is to demonstrate that this project is sensitive to the natural environment, through both the preservation of open space and the placement of commercial development in areas requiring little topographic manipulation.~~

- d. Free-standing building pads – The ORSCOD states that free-standing building pads only be permitted with a minimum of 50,000 square feet of gross floor area in the principal structure. The changes proposed to this timing issue are specifically addresses in Section (II)(B)(8).
- e. Landscape/screening treatment standards – This PAD complies with the ORSCOD landscape standards and guidelines with the one exception. The ORSCOD requires that within 100-feet of the Oracle Road right-of-way, tree species be restricted to the following: Blue and Foothills Palo Verde (*Cercidium floridum* and *C. microphyllum*), Mesquite (*Prosopis* spp.) and Ironwood (*Olneya tesota*). It further states that all introduced shrubs, accents and ground covers shall comply with the Oro Valley Approved Plant List.

Oro Valley Town Centre will announce its entries in part through the use of vegetation. As a means of creating visual interest and a unique identity for the project, each entry to the project will have a unique blend of plants and will have its own unique species of tree. In order to accomplish this, trees other than those identified in the ORSCOD must be located within 100-feet of the Oracle Road right-of-way. The species proposed are discussed in detail in Section (II), (E) of this document.

- 2. Hydrology – With any form of development comes the compaction of soils and the coverage of surfaces with impervious materials, both of which tend to reduce the ability of the ground to absorb rainfall in addition to accelerating runoff. The Oro Valley Town Centre PAD is unique in the sense that, for typical rainfall events, the runoff from the proposed development areas have a sufficient opportunity to be absorbed locally in the sand channel which transects the site (Rooney Wash). In the less common rainfall events where intensity and duration are considerable, the ground will become saturated and cause runoffs comparable to developed surfaces. In any event, it shall be the policy of the PAD to adhere to the following:
 - a. Not to disturb surfaces and vegetation in areas which will remain undeveloped.
 - b. Outside of roofed areas, streets, parking areas, and sidewalks, to minimize the use of impermeable materials on the surfaces of the developed areas.
 - c. To develop local retention in swales and other re-vegetated open spaces following the completion of development.
 - d. On larger local drainageways (in excess of 500 cfs) where stabilized side embankments may be needed to protect against erosion, the channel bottoms will be designed to maximize infiltration by leaving them as sand and gravel, cobbles, native vegetation, or a combination of the three.
 - e. On smaller local drainageways (less than 500 cfs), the design will accommodate maximum infiltration by utilizing stone, gravel and sand, and vegetation where feasible. Where not feasible, drainage may be through underground pipe systems.

f. It is the intent of Canada Del Oro Partners to bridge or cross both Rooney Wash and the unnamed wash coming from the El Conquistador Resort to the south in several places. These crossings may be in the form of clear span bridges, box culverts, pipe crossings as required by the hydrology report, and in compliance with OVZCR and the Town's Floodplain Management Ordinance. Crossing shall be for either pedestrians or vehicles.

g. A Letter of Map Amendment (LOMA) dated March 31, 2003 has been received from the Federal Emergency Management Agency. This letter indicates that the subject property is not located within a Special Flood Hazard Area (SFHA). The area is now designated as Zone X (shaded), an area of moderate flooding outside the SFHA. This letter is included in this document as Appendix D.

g.h. This project will request a detention waiver in accordance with the Town of Oro Valley Drainage Criteria Manual, Section 11.4. This project is directly adjacent to the Rooney Wash and outflows from the developed site will be demonstrated not to affect the peak flow rate within this wash.

3. Grading – Recognizing that since the adoption of Rooney Ranch Oro Valley Center PAD in February 1989, the Town of Oro Valley has adopted numerous grading ordinances and revisions to those ordinances. The intent of these ordinances and their revisions have been to protect our Sonoran Desert and to assure that any disturbance of the existing landscape would be mitigated. That is also the intent of this Grading Standard for Rooney Ranch Oro Valley Town Centre. This Grading Standard adopts the current Oro Valley Grading Ordinance with only a few exceptions. These exceptions are Section ~~15-404~~27.9.E.1 and Section ~~15-405~~27.9.E.5 of the Oro Valley Zoning Code Revised.

In large part, the area north of Rooney Wash complies with ~~Chapter 15~~Chapter 27.9 of the Oro Valley Zoning Code Revised, Grading Ordinance, with the possible exception of Section ~~15-409~~27.9.E.9, Phased Grading.

Given the nature of the property south of Rooney Wash, it will be necessary to make cuts and fills which exceed the limitations of Section ~~15-404~~27.9.E.1. A grading plan for this area is included in this PAD. Once approved by Council, ~~it shall serve as the future grading plans may generally conform to this~~ Grading Concept by which any subsequent development must comply and adhere. This plan shall be accompanied by a landscape mitigation plan defining mitigation procedures for exposed slopes.

With regard to Section ~~15-405~~27.9.E.5, 25 percent slopes will be mapped and any encroachment will be mitigated on a 1:1 basis via a set-aside of land with slopes less than 25 percent.

These considerations will allow the site to be developed and at the same time avoid scarring and other adverse visual impacts from cut, fill and any other type of ground disturbance.

It should also be noted that approximately 70% of the property south of Rooney Wash will remain in a natural, undisturbed condition. A portion of this undisturbed area will act as an approximately 800-foot buffer yard between the proposed residential development and the existing residential communities to the east of the subject property.

Refer to section (II)(D) for a detailed discussion of the grading concept.

4. Landscaping – The more specific criteria for re-vegetation of areas disturbed by approved grading follows the development proposal. However, from a general policy standpoint:

- a. All trees that can be reasonably salvaged will be boxed or transplanted by tree spade ~~immediately to a temporary on site nursery and then ultimately distributed throughout the site. These transplanted trees will be replanted and will remain to a landscape buffer area along a nearby roadway where final plans allow it to be left as a permanent part of the landscape and will be located in, including but not limited to, parking islands and landscape areas.~~ These trees will be ~~irrigated over a couple of seasons to allow them to become established and acclimated to survival on rainfall.~~ maintained by the overall property manager.
- b. ~~All other more local development projects will salvage trees from the building pads and move them to local parking islands and landscape areas by tree spade, thus utilizing the PAD area as its own nursery.~~
- e. — Salvageable trees ~~that cannot~~ will be spaded ~~shall be~~ or side-boxed.
- dc. Common Bermuda grass, mulberry trees and olive trees are specifically excluded from use in the landscaping of this PAD.
- de. For re-vegetation purposes, installation of long-term irrigation subsequent to the removal of temporary irrigation may be required.
- ef. Along Oracle Road there shall be a 30-foot landscape area (except at vehicle access points). One-third of the required landscape strip may be provided within the public right-of-way if approved by the Arizona Department of Transportation, the Zoning Administrator, and Town Engineer. Where Rooney Wash is adjacent to Oracle Road the wash in its existing state may serve as the 30-foot landscape area.
- fg. Along Pusch View Lane there shall be a 20-foot landscape area except at vehicle access points. Landscape frontage planting will be phased with construction of the road.
- gh. For the purpose of this PAD, natural open space is defined as any natural, completely undisturbed, desert area. Landscaped open space shall include all landscaped plazas, grass and trees, fountains, landscaped sidewalks within a landscaped setting, sitting areas, and landscaped areas exclusive of parking areas.
- hi. Within the landscape strip along Oracle Road and Pusch View Lane rights-of-way, a three-foot high berm or a three-foot masonry wall, or both, will be required in areas adjacent to parking.

5. Setbacks

- a. Building setbacks shall be a minimum of 5 feet from the Pusch View Lane right-of-way and a minimum of 30 feet from Oracle Road right-of-way.

6. Building Height

- a. For the purpose of this PAD and due to landform situations, building heights shall be defined as follows:

BUILDING HEIGHT OF shall mean the vertical distance measured from the grade found along the outside walls of a building to the highest point of the building, excluding any chimney. This definition applies only to a building footprint where the natural cross-slope is less than 6%.

BUILDING HEIGHT (SLOPED AREA) shall mean the maximum vertical distance measured from finished grade to the highest point of the building directly above, excluding any chimney. This definition applies only to a building footprint where the natural cross-slope is 6% or more.

- b. Architectural elements such as campaniles, clock towers, and steeples are encouraged. They may be freestanding as a campanile might be, or more commonly as an integrated part of a building or building group.
- c. Building heights shall be as defined by the Oro Valley Zoning Code Revised except C-1, C-2, C-N uses shall not exceed ~~35~~40 feet exclusive of architectural elements, ~~which elements which~~ can extend an additional ~~10~~5 feet (provided that the architecture provides visual relief to avoid bulk concerns), office uses shall not exceed ~~60~~50 feet inclusive of architectural elements (maximum of 3 stories), and hotel uses shall not exceed 75 feet inclusive of architectural elements. It is noted that the office uses are allowed a total of 5 feet of additional height compared to the other C-1, C-2, and C-N uses. These 5 feet of additional height will only be allowed for buildings that are not located directly along the Oracle Road frontage. Any office building located along the Oracle Road frontage shall not exceed 40 feet exclusive of architectural elements which can extend and additional 5 feet.

7. Signs

- a. Signs shall comply with the Oro Valley Zoning Code Revised. A comprehensive sign plan shall be developed for Oro Valley Town Centre and will comply with Chapter 28~~Section 12-104~~ of the OVZCR. The comprehensive sign plan ~~will~~ be submitted prior to obtaining any sign permits for the property.

8. Phasing

The residential and commercial portions of this project will be developed independently. Development may be phased within each portion of the project dependent upon market conditions.

~~Proposed Phase Associated Phase~~

~~A, B, C, or E Main Street; D and F or D and H or F and G or H and I~~

~~L J or K~~

~~Plaza~~

~~O, M, or N Pusch View Lane~~

~~Main Street~~

~~J or K Plaza~~

~~P, Q, R, S Pusch View Lane; 1st Avenue motor bridge over Rooney Wash~~

~~Residential Pusch View Lane~~

- a. A conceptual pedestrian master plan with associated conceptual landscaping and amenities (includes landscape pallet of materials to be used, approximate locations and plant types) is to be submitted with the first phase Development Plan Conceptual Site Plan and Landscape Plan.

9. Public Improvements

- a. Assessments. ~~CDO intends to~~ participated with an Oracle Road Improvement District ("ORID") and the improvements have been constructed. CDO Partners remains responsible for the assessments related to the ORID regardless of any future ownership transfers. under the following conditions:
 1. ~~No residential properties will be assessed as part of the District.~~
 2. ~~Any assessment of the commercial properties is contingent upon the adoption of this PAD.~~
 3. ~~Assessments are to be based solely on the zoning allowed by this PAD.~~
- b. The developer shall has dedicated the proposed extension of Pusch View Lane from Oracle Road to the east abutment of the bridge over Rooney Wash. All other internal roads shall remain private.
- c. ~~The developer shall participate on a pro-rata basis with respect to the right-of-way improvements, including right-of-way dedication, additional ingress/egress lanes,~~

additional travel lanes, and installation of medians and landscaping as defined by the Oracle Road Improvement District, and based on improvements recommended by the traffic impact report for this project.

10. General PAD Administration

a. This PAD is the controlling document for development of the Oro Valley Town Centre at Rooney Ranch. Any existing or future Town ordinances or regulations (including any design guidelines) that conflict with this PAD shall either not apply or shall be interpreted to allow the PAD regulations to control. In addition, the Oro Valley Environmentally Sensitive Lands Ordinance shall not apply to this PAD.

a-b. ~~All significant changes to the Oro Valley Town Centre at Rooney Ranch PAD shall be submitted to the Planning Commission and the Mayor and Council as amendments to the PAD in accordance with Article 3-1 of the Oro Valley Zoning Code Revised.~~ Any proposed changes to the PAD shall be submitted to the Planning and Zoning Administrator, who shall review the item and ascertain whether or not the change is significant based on the following criteria, 1 through 45. The Planning and Zoning Administrator may send any change to a hearing by ~~either DRB and Town Council or Planning and Zoning Commission and Town Council~~ the appropriate board, commission or Town Council. The representatives of the La Reserve Home Owner's Association and El Conquistador Homeowners Association will be notified in writing of any request made for any change to the PAD including any change requiring administrative review; they will have the opportunity to respond to such a notice and to participate in any such request for change.

For the purposes of the PAD, significant changes shall include, but not be limited to, the following:

1. Any change to the permitted use. Permitted uses shall mean ~~the primary and alternative-all~~ uses contained permitted in the PAD submittal.
2. Any change, modification or deletion to an approved PAD policy.
3. Any change to the development standards or zoning conditions set forth in the PAD, including proposed changes to height, setbacks, open space requirements, parking, floor area ratios, and density, as defined in this PAD.
4. Any change to the Tentative Development Plan (TDP) included as part of this rezoning, which would vary any material terms or conditions of the rezoning, which would modify any proposed density standards, ~~any kinds of street or land improvements proposed affecting the standards for vehicular circulation, signs and nuisance controls intended for the development.~~ DRB shall also review changes to the TDP. It is noted that the Illustrative Site Plans included in this package are meant to conceptually illustrate how the site might be developed and any changes to these plans would not require an amendment to the PAD.

b-c. Nothing in this section shall be deemed to authorize the Planning and Zoning Administrator to modify or approve any aspects of development reserved to the

Development Review Board, ~~pursuant to Article 3-3 of the Oro Valley Zoning Code Revised.~~

e.d. All ~~conceptual site plans~~ development plans, preliminary plats and submittals shall conform to the standards contained in Oro Valley Zoning Codes in effect at the time of that submittal, ~~which are not specifically modified by the provisions of the PAD. provided those standards do not conflict with any provisions of this PAD. If any conflict arises, the PAD document shall control.~~

d.e. Where an interpretation of the PAD is required, OVZCR Section 21.4.A and B ~~Section 1-502(l)~~ shall govern.

e.f. The Oro Valley Town Centre PAD may be amended from time to time. Proposed amendments shall be submitted by the owners of a development area to the Planning Commission and Town Council as outlined in Section 22.3 ~~Article 3-4~~ of the Oro Valley Zoning Code Revised.

f.g. If any provision, sentence, clause, section or subsection or phrase of this PAD is for any reason held to be invalid or unconstitutional, such decision shall not affect the validity of the remaining portion or portions of this PAD.

g.h. Where the PAD document is silent on an issue, OVZCR shall prevail.

11. Conceptual Site Plan Development Plan and/or Preliminary Plat Review

a. ~~The PAD shall be implemented via Conceptual Site Plans (formerly known as Development Plans and Preliminary Plats) as provided in the OVZCR. Any Conceptual Site Plans prepared for this PAD shall be in conformance with the provisions of the PAD and the Tentative Development Plan. The PAD will likely be developed in phases. As such, Conceptual Site Plans may be prepared for review and approval that address only the phase or portion of the PAD that is currently being developed. PAD shall be implemented via Development Plans and/or Preliminary Plats as provided in the OVZCR, Chapter 26. Any Development Plan or Preliminary Plat prepared for this PAD shall be in conformance with the provisions of the PAD and the Tentative Development Plan.~~

~~The PAD will likely be developed in phases. As such, Development Plans and/or Preliminary Plats may be prepared for review and approval that address only the phase or portion of the PAD that is currently being developed. PAD shall be implemented through Development Plan and/or Preliminary Plat review as provided in the OVZCR, Articles 3-3 and 4-5. The developer shall have the ability to determine the extent of any area to which a development plan and/or preliminary plat will apply, subject to the requirement that such individual development plans and/or preliminary plats shall be consistent with and implement the PAD and Tentative Development Plan (TDP).~~

~~The PAD will be approved with the TDP, and final development plans and/or preliminary plats will be processed for individual portions of the PAD area as they are developed.~~

C. PLANNED AREA DEVELOPMENT PROPOSAL

General

Keeping in mind the mixed use/~~commercial~~ core concepts discussed in the Project Overview Section, the Proposal Section deals specifically with the areas of development, their primary uses, and ~~the alternative uses as well as~~ development criteria.

Commercial Areas 1 & 2 (Commercial)

The limits of the Commercial Areas 1 & 2 are established on Exhibit CC-1. The more intense commercial activities ~~front on Oracle Road and Pusch View Lane near the intersection are located in these two areas.~~ The land use mix includes retail, including outdoor sales, theaters (movies and live) financial institutions, convenience uses, office, multi-family and hotel. These Commercial Areas will be allowed all uses permitted within the CN, C-1, and C-2 standards of the Oro Valley Zoning Coded Revised ("OVZCR"). All uses in the CN, C-1 and C-2 zoning districts which require a CUP shall also be permitted, provided the CUP is obtained through the Town's CUP process. In addition, a maximum of 15.5 acres may be used for multi-family/residential purposes with a maximum of 300275 multi-family/residential dwelling units are permitted. No more than three "Convenience Uses" as defined in the Oro Valley Convenience Use Ordinance shall be allowed. There shall be no fast food, drive-through or drive-in restaurants, gas stations, or car washes allowed unless specifically permitted by Mayor and Council. The combined commercial areas defined as areas 1 & 2 contains approximately 45.732.3 acres.

<u>Primary Uses</u>	<u>Restaurants, Hotels/Motels, Financial Institutions, Health Club, Lounge, Retail Center (C-2) including Outdoor Display, Theaters (including movies and live performances), Retail/Convenience Use subject to OVZCR Convenience Use Ordinance 9-110 (except 9-110Q), Business and Professional Offices, Multi-Family Residential (to be located on second stories of commercial buildings). Convenience Uses shall not require a conditional use permit, as the policies and conditions of the Oro Valley Town Centre PAD negate the need for a conditional use permit.</u>
<u>Prohibited Uses</u>	<u>Sanatorium, Auto Services (unless in conjunction with new auto sales and service bays are adequately screened from Oracle), Taxidermist, Pool Hall (unless in conjunction with a permitted restaurant use), Fortune Telling, Lumberyard, Helistop, Adult Book Store, Adult Theatre, Adult Amusement Facility, Pawn Shop, Flea Market, and Junk Yard.</u>

Development Criteria

1. Setbacks -
 - a. From Oracle Road right-of-way - 30 foot minimum ~~(Except where buffered by Rooney Wash).~~
 - b. From Pusch View Lane right-of-way - 5 foot minimum.
2. Building Heights - Maximum of ~~35~~40 feet for all buildings plus an additional ~~5~~40 feet for architectural statements. Office uses shall be limited to a 560 foot maximum height inclusive of architectural statements (Maximum of 3 stories). Hotel uses shall be limited to a 75 foot maximum height inclusive of architectural statements. It is noted that the office uses are allowed a total of 5 feet of additional height compared to the other C-1, C-2, and C-N uses. These 5 feet of additional height will only be allowed for buildings that are not located directly along the Oracle Road frontage. Any office building located along the Oracle Road frontage shall not exceed 40 feet exclusive of architectural elements which can extend and additional 5 feet.

3. Maximum Density - Floor Area Ratio of .40. Floor Area Ratio is the ratio of gross building floor area to the net lot area of the building site.
4. Minimum Landscape Requirements - ~~25 percent (subject to "I" of the Landscape Policy).~~ 15 percent minimum. No buffer yards will be required between similar uses. A minimum 15 foot Buffer Yard A shall be located along the rear property line. A 6 foot high wall shall be constructed the full length of the rear property line next to La Reserve, with landscaping provided on the Oro Valley Town Centre side of the wall as well as the La Reserve side of the wall. The landscaping on the La Reserve side of the wall shall be consistent with the existing La Reserve landscaping and color scheme.
5. Parking Requirements – ~~Parking shall comply with OVZCR Chapter 27.~~ Developer shall provide parking per a shared parking study, approved by Town staff.
6. Outdoor Displays - with the following conditions:
 - a. Subject to OVZCR ~~Chapter 25, 1.A Section A.4 § 9-118.~~
 - b. ~~The outdoor display area shall be clearly delineated by architectural features, and shall be screened by significant architectural elements such as arcading, columns etc. A minimum 6-foot wide sidewalk area shall remain clear for pedestrian circulation. Outdoor displays shall not be permitted within 6 feet of the entry doors.~~
 - c. ~~No items in the outdoor display area shall exceed six feet. (Plants, shrubs, trees, landscape display presentations, and items with significant vertical elements.)~~
 - d. ~~No outdoor display items shall be left out overnight. Plants, shrubs, trees, and landscape display presentations are exempt from this requirement.~~
 - e. ~~Outdoor storage of items is prohibited. Delivery items shall be placed within the store by the end of the business day.~~
 - f. ~~Seasonal outdoor sales events, such as Christmas tree sales, outside of the designated outdoor display area shall be subject to a Special Use Permit under the OVZCR.~~
 - g. ~~Outdoor display signage shall not include fluorescent or iridescent colors, and shall be limited to four square feet in size per display.~~
 - h. ~~Review and Regulation of Outdoor Displays—Outdoor displays shall be subject to the review and regulation of the Planning and Zoning Administrator of the Town of Oro Valley. A violation of the above outdoor display criteria shall result in a written violation notification addressed to the store manager.~~

~~Upon a violation of the outdoor display criteria, the offending party will be given a written notice of violation, and a copy of the notice shall be posted on the offending item(s). If the violation is not corrected within 72 hours, the offending party shall be issued a citation, and a copy of the citation shall be posted on the offending item(s).~~

- ~~• Upon five citations within a one-year period the Planning and Zoning Administrator shall review the outdoor display privileges of the offending party, and the party will be notified in writing of the review. The Planning and Zoning Administrator may suspend or revoke the outdoor display privileges of any or all items of the offending party. The Planning and Zoning Administrator will notify the party in writing of his or her decision within two weeks of the notice of review of outdoor display privileges. The decision of the Planning and Zoning Administrator may be appealed to the Board of Adjustment.~~

7. Pedestrian Connectivity

Hardscape design and pedestrian pathways are an integral component of the project. The movement of pedestrians throughout the development is intended to be comfortable and interesting. This will be done through the use of:

- Pedestrian paths and connections that are generally landscaped with canopy shade trees paralleling the walkway. Undergrowth, consisting of shrubs placed in alternating clusters and rows with strategically placed living ground covers will be included where feasible.
- Crosswalks will be enhanced by a landscaping focal point that features an accent tree with either shrubs and/or flowing ground cover.
- Hardscape designs involving decorative concrete or paving where adjacent to buildings and at entry drives.

A multiuse pathway will be included along the Rooney Wash similar in size and scale to the pathways depicted in the illustrative site plans.

Commercial Area 3 (Commercial)

The limits of the Commercial Area are established on Exhibit CC-1. ~~The more intense commercial activities front on Oracle Road and Pusch View Lane near the intersection.~~ The land use mix includes retail, including outdoor sales, theaters (movies and live) financial institutions, convenience uses, office, multi-family and hotel. No more than three "Convenience Uses" as defined in the Oro Valley Convenience Use Ordinance shall be allowed. There shall be no fast food, drive-through or drive-in restaurants, gas stations, or car washes allowed unless specifically permitted by Mayor and Council. The area contains approximately ~~45.7~~13.4 acres.

Primary Uses Restaurants, Hotels/Motels, Financial Institutions, Health Club, Lounge, Retail Center (C-2) including Outdoor Display, Theaters (including movies and live performances), Retail/Convenience Use subject to OVZCR Convenience Use ~~Ordinance 9-110~~Section 25.1 (except ~~9-110Q25.1.G.3.a~~), Business and Professional Offices, Multi-Family Residential (to be located on second stories of commercial buildings). Convenience Uses shall not require a conditional use permit, as the policies and conditions of the Oro Valley Town Centre PAD negate the need for a conditional use permit.

Development Criteria

1. Setbacks -
 - a. From Oracle Road right-of-way - 30 foot minimum.
 - b. From Pusch View Lane right-of-way - 5 foot minimum.
2. Building Heights - Maximum of 35 feet for all buildings plus an additional 10 feet for architectural statements. Hotel uses shall be limited to a 75 foot maximum height inclusive of architectural statements.
3. Maximum Density - Floor Area Ratio of .40. Floor Area Ratio is the ratio of gross building floor area to the net lot area of the building site.
4. Minimum Landscape Requirements - 25 percent (subject to "I" of the Landscape Policy). No buffer yards will be required between similar uses. A minimum 15 foot Buffer Yard A shall be located along the rear property line. ~~A 6 foot high wall shall be constructed the full length of the rear property line next to La Reserve, with landscaping provided on the Oro Valley Town Centre side of the wall as well as the La Reserve side of the wall. The landscaping on the La Reserve side of the wall shall be consistent with the existing La Reserve landscaping and color scheme.~~
5. Parking Requirements – Parking shall comply with OVZCR Chapter 27.
6. Outdoor Displays - with the following conditions:
 - a. Subject to OVZCR ~~§ 9-118~~Chapter 25, Section A.4.
 - b. The outdoor display area shall be clearly delineated by architectural features, and shall be screened by significant architectural elements such as arcading, columns

etc. A minimum 6-foot wide sidewalk area shall remain clear for pedestrian circulation. Outdoor displays shall not be permitted within 6 feet of the entry doors.

- c. No items in the outdoor display area shall exceed six feet. (Plants, shrubs, trees, landscape display presentations, and items with significant vertical elements.)
- d. No outdoor display items shall be left out overnight. Plants, shrubs, trees, and landscape display presentations are exempt from this requirement.
- e. Outdoor storage of items is prohibited. Delivery items shall be placed within the store by the end of the business day.
- f. Seasonal outdoor sales events, such as Christmas tree sales, outside of the designated outdoor display area shall be subject to a ~~Special~~ Use Permit under the OVZCR.
- g. Outdoor display signage shall not include fluorescent or iridescent colors, and shall be limited to four square feet in size per display.
- h. Review and Regulation of Outdoor Displays - Outdoor displays shall be subject to the review and regulation of the Planning and Zoning Administrator of the Town of Oro Valley. A violation of the above outdoor display criteria shall result in a written violation notification addressed to the store manager.

Upon a violation of the outdoor display criteria, the offending party will be given a written notice of violation, and a copy of the notice shall be posted on the offending item(s). If the violation is not corrected within 72 hours, the offending party shall be issued a citation, and a copy of the citation shall be posted on the offending item(s).

Upon five citations within a one-year period the Planning and Zoning Administrator shall review the outdoor display privileges of the offending party, and the party will be notified in writing of the review. The Planning and Zoning Administrator may suspend or revoke the outdoor display privileges of any or all items of the offending party. The Planning and Zoning Administrator will notify the party in writing of his or her decision within two weeks of the notice of review of outdoor display privileges. The decision of the Planning and Zoning Administrator may be appealed to the Board of Adjustment.

Residential Area 4 (Residential)

The Residential Area is proposed as a single family, detached, gated development and is depicted on Exhibit CC-1. The area contains 95.4 acres.

Primary Uses Recreational facilities (HOA maintained) and single family residential

Development Criteria

1. Setbacks - Front - 20 feet
Rear - 12 feet
Side - 5 feet (corner lots add 5 feet).

For the homes closest to El Conquistador, the homes shall be set back at least 100 feet from El Conquistador's northern property line. Patio walls and swimming pools shall be allowed within 20 feet of the El Conquistador northern property line.

2. Building Height – Single family residential - 25 feet; residential homes closest to El Conquistador and along Oracle Road (Lots 10, 11, and 27-41, as shown on the TDP) shall be limited to 18 feet.
3. Maximum Number of Units: 65.
4. Minimum Lot Size: 15,000 square feet.
5. Average Lot Size: 20,000 square feet.
6. Minimum Landscaping Requirement - 25 percent of gross land area. A minimum 100 foot natural buffer yard shall be required along the ROW for Oracle for residential development.
7. Parking Requirement - Per Oro Valley Zoning Code, Revised.
8. Outdoor Displays -There shall be no outdoor displays.

- ①  Area #1 (Commercial) — ± 27.8 Acres
- ②  Area #2 (Commercial) — ± 4.5 Acres
- ③  Area #3 (Commercial) — ± 13.4 Acres
- ④  Area #4 (Residential) — ± 95.4 Acres

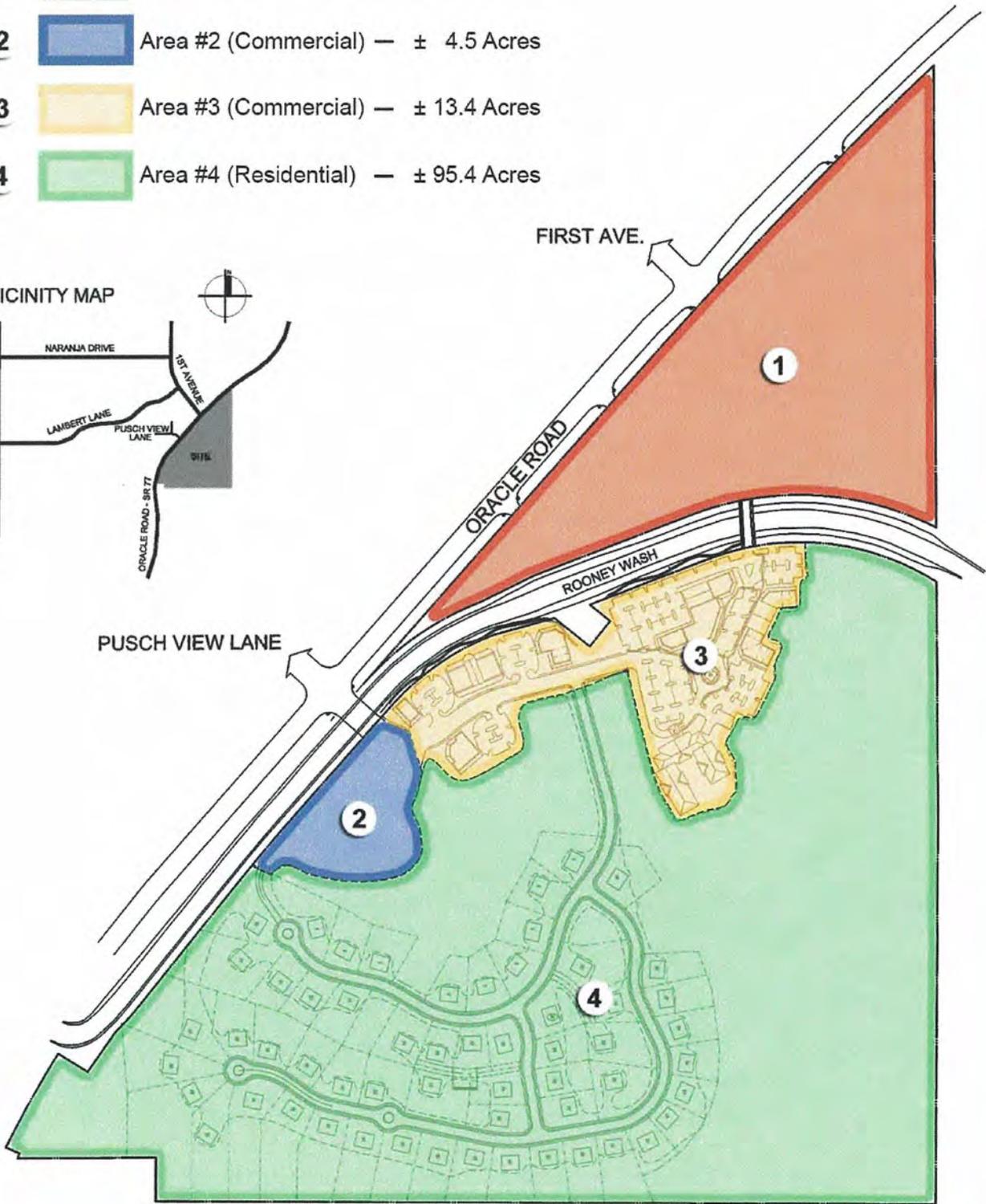


Exhibit CC-1
Limits of Commercial/Residential Areas

04152 03.14.11



ORO VALLEY *Towne Center*
ORACLE ROAD & FIRST AVENUE
TOWN OF ORO VALLEY, ARIZONA



D. CONCEPTUAL GRADING CONCEPT

1. General - All of the areas of the Oro Valley Town Centre will have some building pad and surface drainage alterations as would any typical development project.

a. Standards. The following grading standards (demonstrated in graphic format in Exhibits DD-4 thru DD-8) apply to Oro Valley Town Centre at Rooney Ranch:

- The general thrust of the grading concept is to utilize contour grading and landscaping techniques in the creation of cut slopes to achieve appearances that emulate natural, undisturbed slopes.
- All disturbed areas with 3:1 slopes or less will be re-vegetated or landscaped to control dust and stabilize the slope. The intent is to restore disturbed slopes to a condition that emulates the pre-disturbed condition. ~~The methodology used shall be consistent with the requirements as outlined in Exhibit DD-7. This methodology involves planting disturbed slopes with a minimum of 12 trees, 30 shrubs and 35 accents per every 10,000 square feet of graded area.~~
- 25 percent slopes will be mapped and any encroachment will be mitigated on a 1:1 basis via a set-aside of land with slopes less than 25 percent.
- ~~Long slopes will be designed to include bench terraces.~~ Terraces, walls or other approved treatment shall be required for cut and fill slopes greater than 10 feet in height. Refer to Exhibit DD-9 for a depiction of a ~~terraced~~-retaining wall.
- The overall shape, height and grade of any cut or fill slope will be designed to simulate the existing natural contours and scale of the natural terrain of the site.
- ~~In situations where cut or fill slopes are greater than 5 feet in height and exceed 100 feet in length, the contours of the slope will be manipulated and curved in an undulating fashion in order to reflect the natural terrain.~~
- Rounded edges and smooth transitions will be utilized so that grading blends into the existing topography.
- Careful site planning will minimize the potential for erosion, flood hazards or unsightly scars.
- Vegetation in the bottom of the fill areas will be salvaged and reused on re-sculptured cut embankments and along rights of way.
- This project will be developed in phases; grading of the site will generally follow these phases but there may be situations where larger areas should be disturbed prior to immediate development to balance the cut/fill calculations thereby minimizing the import and export of fill to the site. ~~, ensuring that only areas under immediate development are disturbed.~~ Furthermore, all graded areas shall be ~~re-vegetated~~, stabilized and/or constructed prior to the expiration of the grading permit. If any

portion of the phase is not developed within 12 months, the salvaged vegetation not used on the developed portion of the site shall be replanted ~~on the undeveloped portion of the site~~ in a temporary nursery located on the site.

- Cut slopes will be sculpted and re-vegetated to emulate naturally existing slopes.
- Create undulating slope banks and vary gradients to assist in the creation of slopes with natural appearances.
- Seeding and erosion control techniques shall be employed, such as wood fiber hydromulch, drilled seed with straw mulch and jute matting.
- Where possible, shielded cuts will be utilized.
- In the Residential Area, restrict cuts to particular sites where possible and make efforts to minimize cuts.
- Driveway slopes shall not exceed 14% within the right-of-way and 20% outside the right-of-way.

b. 25% Slope. No localized slope in excess of 25 percent, as designated by Exhibit B-1, topography and slope analysis may be graded or disturbed, except as provided in the attached grading plan. It is recognized that Exhibit B-1 may not be completely accurate and the developer shall resubmit a more accurate exhibit at the time of Conceptual Site Plan Development Plan submittal or Preliminary Plat submittal, which depicts all 25 percent or greater slopes. This exhibit shall be based on an in-field survey and staked in the field for review and verification by the Town Engineer prior to approval of development.

Slopes in excess of 25 percent may be graded as shown on the attached grading plan.

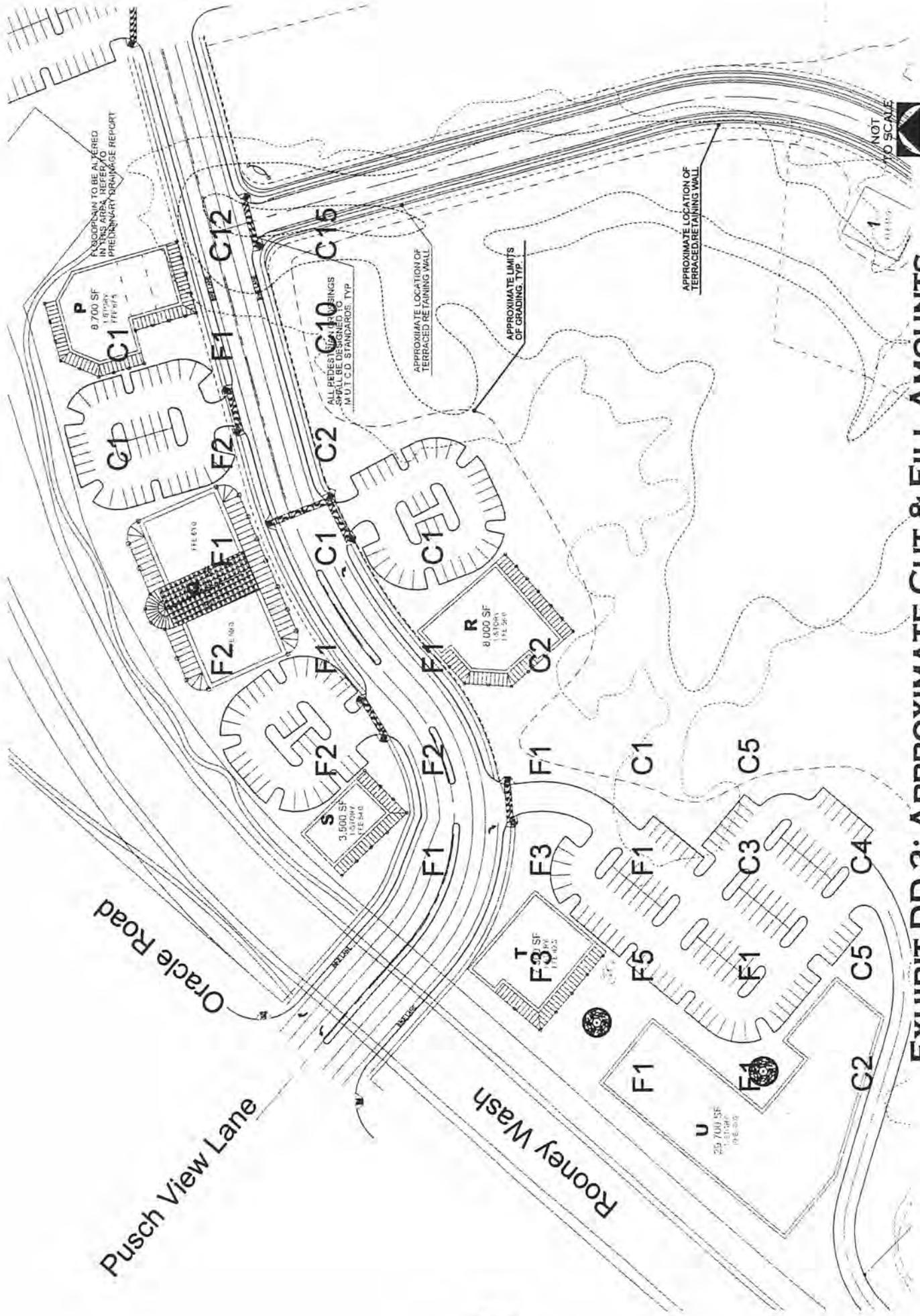
c. Compliance with Grading Ordinance. In large part, the property north of Rooney Wash complies with ~~Chapter 15~~ Section 27.9 of the Oro Valley Zoning Code Revised, Grading Ordinance, with the possible exception of ~~Section 15-409~~ 27.9.E.9, Phased Grading.

d. Open Space Buffer. It should also be noted that approximately 70% of the property south of Rooney Wash will remain in a natural, undisturbed condition. A portion of this undisturbed area will act as an approximately 800-foot buffer between the proposed residential development and the existing residential communities to the east of the subject property.

2. Average Cross Slope: The average cross slope for the site has been calculated as follows:

$$\text{ACS} = \frac{2 (\text{Contour Interval}) \times 523,081 (\text{Length of Contour Lines}) \times .0023}{141.12 (\text{Area in Acres})}$$

$$= 17.04\%$$



Oracle Road

Pusch View Lane

Rooney Wash

FLOORPLAN TO BE ALTERED
IN THIS AREA. REFER TO
PRELIMINARY DRAINAGE REPORT

ALL REVESTMENTS SHALL BE DESIGNED TO MEET MUTCD STANDARDS, TYP.

APPROXIMATE LOCATION OF TERRACED RETAINING WALL

APPROXIMATE LIMITS OF GRADING, TYP.

APPROXIMATE LOCATION OF TERRACED RETAINING WALL



**EXHIBIT DD-2: APPROXIMATE CUT & FILL AMOUNTS
(SOUTHWEST QUADRANT OF COMMERCIAL AREA)**

TOTAL ADJUSTED CUT: ±80,000 CU. YDS.
TOTAL ADJUSTED FILL: ±20,000 CU. YDS.
EXPORT REQUIRED: ±60,000 CU. YDS. (TO BE SENT TO SOUTHEAST QUADRANT)

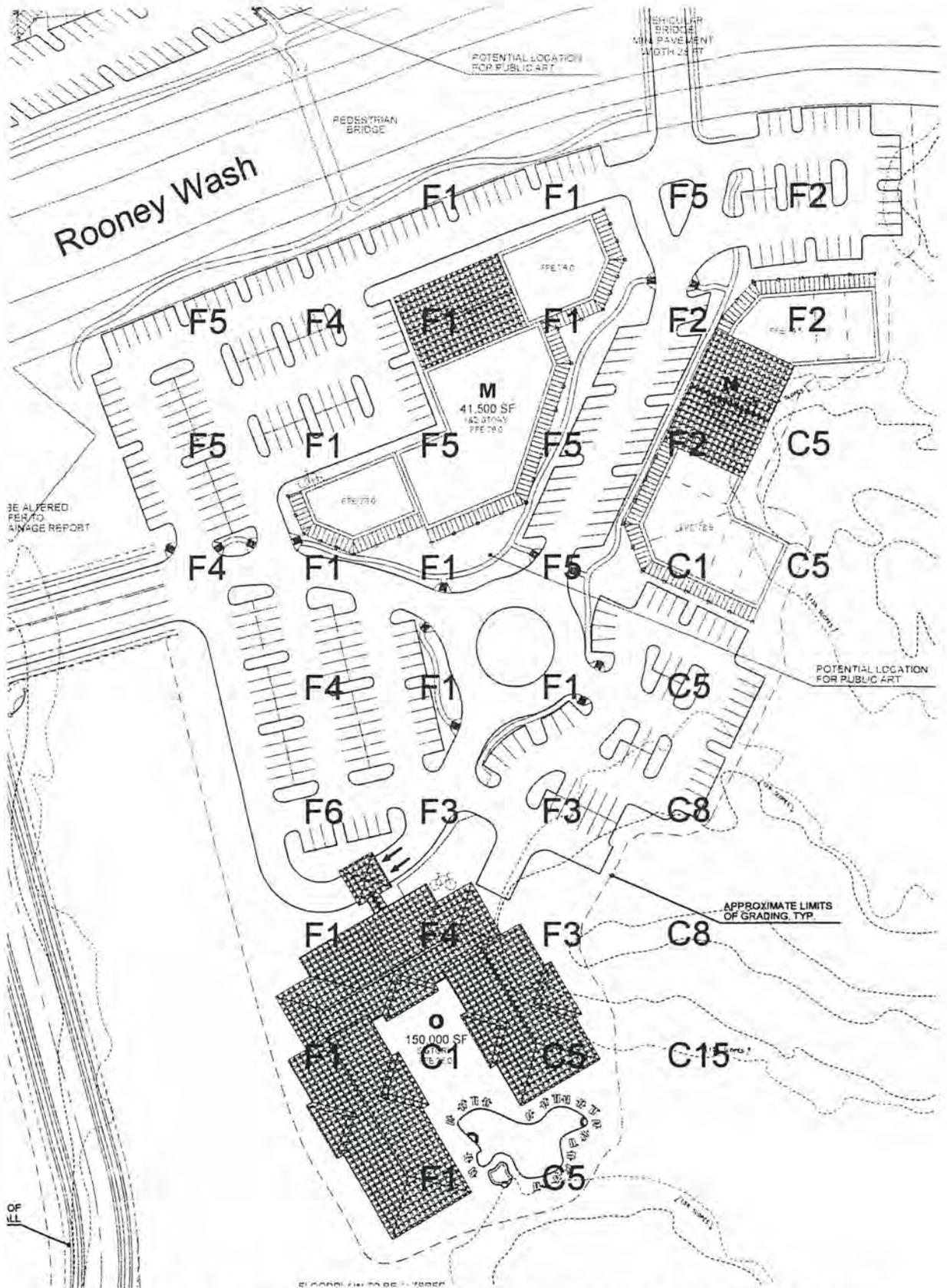


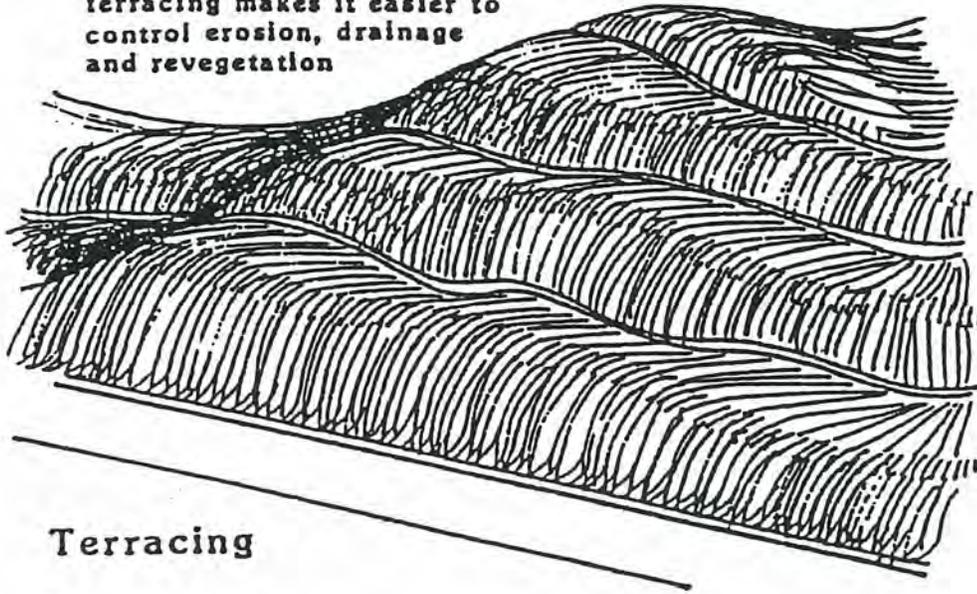
EXHIBIT DD-3: APPROXIMATE CUT & FILL AMOUNTS (SOUTHEAST QUADRANT OF COMMERCIAL AREA)

TOTAL ADJUSTED CUT: ±35,000 Cu. Yds.
TOTAL ADJUSTED FILL: ±90,000 Cu. Yds.
IMPORT REQUIRED: ±55,000 Cu. Yds.
 (IMPORT TO BE RECEIVED FROM SOUTHWEST QUADRANT)

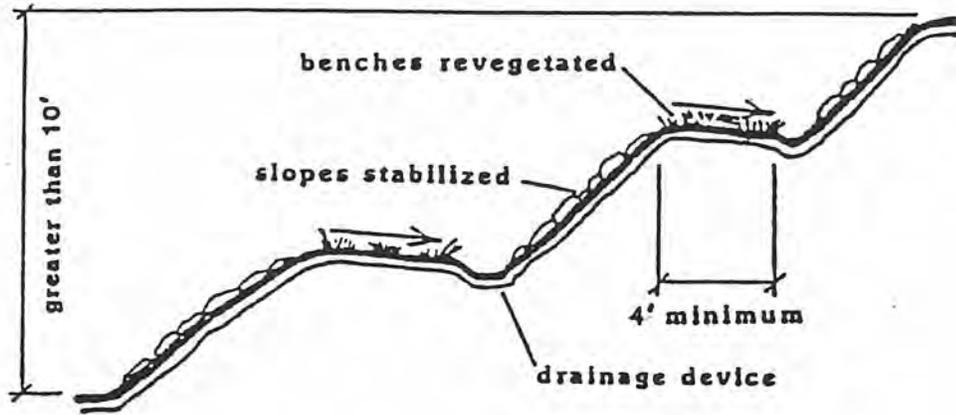
NOT TO SCALE



terracing makes it easier to control erosion, drainage and revegetation



Terracing



terrace section

EXHIBIT DD-6: GRADING AND TERRACING TECHNIQUES

Exhibit DD-7 Intentionally Deleted

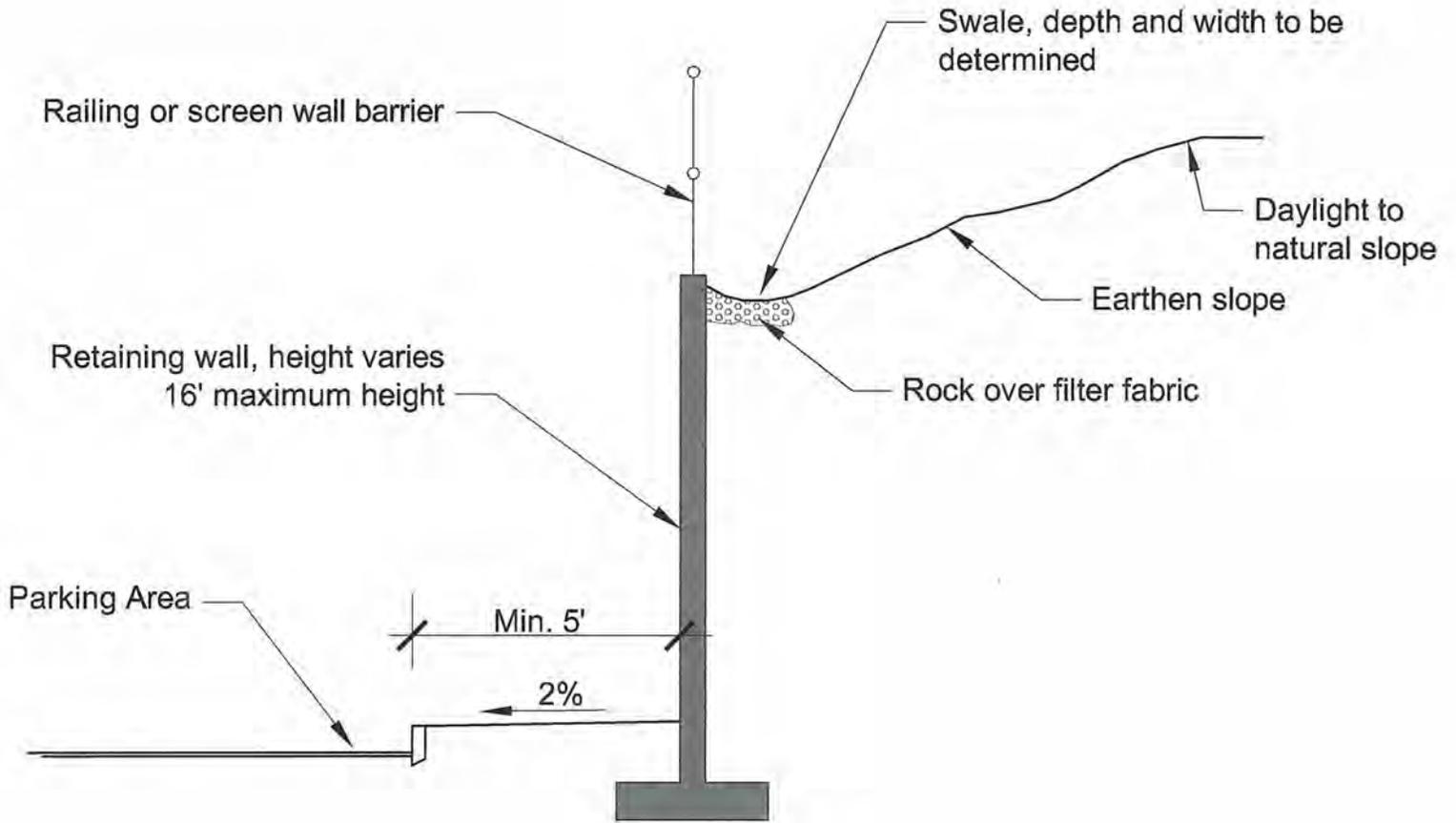


EXHIBIT DD-8: RETAINING WALL

E. PROJECT DESIGN CRITERIA

The purpose of these design guidelines is to provide an overall framework for development and to create a cohesive project at Oro Valley Town Centre. The guidelines will provide standards for architectural style, landscape standards, height, colors, exterior materials, a process for approval for all development projects and construction regulations. The Town's Design Standards, adopted March 2011, shall take precedence in situations where the PAD Land Use Proposal, the PAD Project Design Criteria, the PAD Exhibits, and/or the Illustrative Site Plans (in relation to Site Design Standards illustrated on the plans) are silent.

1. ARCHITECTURAL DESIGN CRITERIA

a. Statement of Intent:

The architectural style for Oro Valley Town Centre at Rooney Ranch is intended to contribute to and create a sense of place. The architectural flavor for this project will include specific elements that create a pleasing and attractive quality to the buildings. The character of the architecture is regional in form, derived from the regional historical styles. The intended project architectural character is illustrated by ~~the rendering~~ representative imagery of commercial, retail and office buildings, Exhibit EE-3. Building forms respond to and support the planning concepts, functional uses, environmental conditions and views toward the Catalina Mountains.

b. General Commercial Zone Design Criteria

The criteria discussed in this section apply to all architectural elements contained within the Oro Valley Town Centre Commercial Zone.

i. Design Standards

- Buildings will respond to their proposed use with a combination of massing, shapes and materials that will create an authentic, enjoyable place for shopping, working or relaxing.
- All buildings should have proportions and an overall scale that relates to the pedestrian. If the building height exceeds 18 feet, molding, trimming, and/or running relief work shall be applied to the façade between 15 and 20 feet above-grade to break up the building elevation. An over-head shade structure may be used to meet these criteria.
- Outdoor gathering spaces / common open spaces shall be provided throughout the site, similar in size scope and design to those depicted in Exhibit C-2. A minimum of 2% of the development shall consist of outdoor gathering spaces or common open spaces similar to those depicted in Exhibit C-2.
- ~~Building placement is such that it creates outdoor spaces where people may gather for activities~~
- ~~The base of buildings shall be accented by a transition in material, an applied molding, pedestal, and/or plinth.~~

- Buildings shall be placed close to the adjoining street and any breaks between buildings shall be wide enough to allow for pedestrian movement while at the same time restricting vehicular access. Where necessary, pedestrian sidewalk may be widened to allow for outdoor restaurant seating.
- Buildings are to use a multi-color palette to enhance the architectural detailing of the facades, i.e., reliefs, cornices, architraves, friezes, lintels, sills, trim, applied columns, pilasters and blind arcades.
- Finished building material must be applied to all exterior sides of buildings and structures that face public streets. Each material will be used to express its characteristics in an appropriate manner with colors and textures compatible with the natural surroundings and other buildings and structures in the general vicinity.
- Flat roofs shall have a parapet that extends past the roofline and must hide all vent pipes and other mechanical systems protruding above the plane of the roof. Parapets must have an entablature consisting of a cornice, frieze and architrave. The cornice and architrave must be distinguishable from the frieze and the rest of the building by a change in material and/or color. Colors with a low light reflectivity value shall be used on flat roofs.
- Fenestrations should be recessed to allow a break in the building façade and provide articulation. All openings should be accented by trim, lintels, and/or sills, which should be accentuated by a different use of materials and/or color. Fenestrations should comprise the majority of the main entry elevation.
- Entryways should be recessed to break up the main building façade and should utilize archways and-or vaulted ceilings to provide further articulation.
- Where pedestrian access is planned, overhead shading should be provided. Acceptable shading strategies include overhead vegetation, awnings, trelliswork, arcades or a variation thereof. This will provide weather protection and further serve to articulate building facades and streetscape character.
- Roof lines will vary through elevation changes.
- Heights and massing should be varied in order to provide visual relief and to maintain views.
- Color selection is to reflect the rich and varied colors of the desert.

ii. Exterior Colors

- ~~Plans and specifications submitted to the Architectural Review Committee must include detail of the exterior color scheme including all exterior surfaces.~~ Exterior surfaces must be compatible with the other buildings in the neighborhood.
- ~~Any repainting or redecorating of exterior surfaces will also require submission of a color~~

~~scheme to the Architectural Review Committee for approval.~~

iii. Building Materials

- Finished building materials must be applied to all exterior sides of buildings and structures. Each material will be used to express its characteristics in an appropriate manner with colors and textures consistent with the architectural character of the project and expressed in Exhibits EE-1, 2 and 3 and compatible with the natural surroundings and other buildings and structures in the general vicinity.
- Permitted exterior finished materials include plastered unit masonry, adobe, slump, split or textured decorative block, and rough sawn wood. Other materials may be approved ~~by the Architectural Review Committee~~. Accent panels of wood or brick may be utilized ~~if approved by the Architectural Review Committee.~~
- ~~If~~ ~~C~~ construction materials, such as tilt-up concrete, smooth-faced concrete block, prefabricated steel panels, and other similar material ~~shall be avoided~~ are utilized, then, ~~unless~~ the exterior surface is to be covered with an architectural treatment, ~~acceptable to the Architectural Review Committee.~~

iv. Roofs

- "Built-up" type roof covering materials shall not be visible from ~~view as determined by the Architectural Review Committee~~ Oracle Road.
- Generally acceptable roof covering materials shall be standing seam steel, concrete tile, or clay tile. ~~Other materials may be approved by the Architectural Review Committee.~~ Colors must conform to the overall natural desert color palette ~~and must be approved by the committee.~~
- Overhead screens, shade covers, patio roofs, and other similar structures shall be constructed of materials and color to match or complement the main roof.
- Colors and materials with a low light reflectivity value (not to exceed 50%) shall be used on flat roofs.
- The exterior visible portion of a skylight must be bronze or a similar dark color to blend in with the colors of the roof. The interior of the skylight may be white or a light color.
- All vent pipe stacks and any equipment protruding above the plane of the roof and visible from neighboring property must be painted and/or screened to match the roof ~~as approved by the Architectural Review Committee.~~

c. COMMERCIAL ZONE – SPECIFIC AREA CRITERIA

The criteria discussed in this section are specific to sub-areas with the Oro Valley Town Centre ~~and include the mini-department store area, the hotel area and the main street area~~ as shown on the map.

i. **Mini-Department Store and Hotel Area Areas 1 and 2 (Commercial)**

~~These two areas have~~ This area has been grouped together due to the relative similarity in size of the proposed buildings.

~~In addition to the general criteria outlined Section (E)(1)(b)(i) – General Commercial Zone Design Criteria, the following additional criteria apply to the Mini-Department Store and Hotel Areas:~~

- Facades and Exterior Walls - The buildings shall be designed in such a way that reduces the mass and impersonal appearance of the buildings and will provide visual interest consistent with the character, identity and scale of Oro Valley Town Centre. Long building walls shall be broken up with projections or ~~recessions~~ recessions with depths of at least three (3) percent of the façade length along all sides of the building.
- Detail Features - Provide architectural features that contribute to visual interest at the pedestrian scale and reduce the massive aesthetic effects by breaking up the building wall, front, side or rear with color, texture change, wall offsets, reveals or projecting ribs. Utilize pedestrian-scale features at ground level, such as planters and benches.
- Entryways - The building design shall provide design elements that provide users of the building orientation on accessibility and that add aesthetically pleasing character to buildings by providing clearly defined, highly visible building entrances.
- Pedestrian Connectivity – Hardscape design and pedestrian pathways are an integral component of the Commercial Area development. The movement of pedestrians throughout the development is intended to be comfortable and interesting. This will be done through the use of the following:
 - Pedestrian paths and connections that are generously landscaped with a canopy of shade trees planted in widened landscaped areas paralleling the walkway. Undergrowth, consisting of shrubs placed in alternating clusters and rows with strategically placed living ground covers, will be included where feasible.
 - Crosswalks will be enhanced by a landscape focal point that features an accent tree with shrubs and/or flowering ground cover.
 - Pedestrian inter-connectivity between all commercial areas creates an integrated feel to the overall commercial development.
- ~~For the mini-department store, OVZCR Chapter 16, Sections 16-103(4)(a-c) shall apply.~~

ii. **Mini-Department Store and Hotel Area 3 (Commercial)**

~~This~~ ese two areas ~~have~~ has been grouped together due to the relative similarity in size of the proposed buildings.

In addition to the general criteria outlined Section (E)(1)(b)(i) – General Commercial Zone Design Criteria, the following additional criteria apply to ~~the Mini-Department Store and Hotel Areas #3:~~

- Facades and Exterior Walls - The building shall be designed in such a way that reduces the mass and impersonal appearance of the building and will provide visual interest consistent with the character, identity and scale of Oro Valley Town Centre. Long building walls shall be broken up with projections or recessions with depths of at least three (3) percent of the façade length along all sides of the building.
- Detail Features - Provide architectural features that contribute to visual interest at the pedestrian scale and reduce the massive aesthetic effects by breaking up the building wall, front, side or rear with color, texture change, wall offsets, reveals or projecting ribs. Utilize pedestrian-scale features at ground level, such as planters and benches.
- Entryways - The building design shall provide design elements that provide users of the building orientation on accessibility and that add aesthetically pleasing character to buildings by providing clearly defined, highly visible building entrances.
- ~~For the mini-department store, OVZCR Chapter 16, Sections 16-103(4)(a-c) shall apply.~~

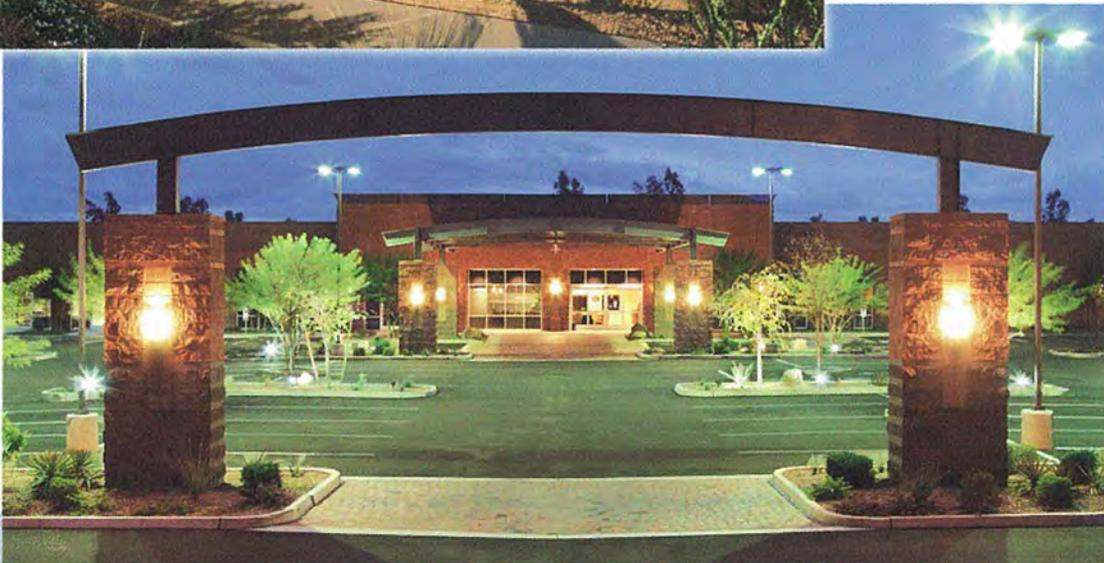
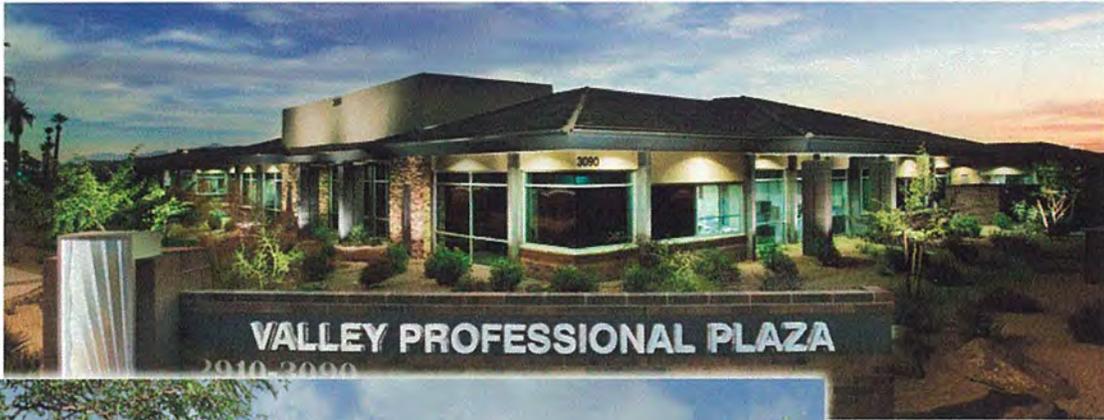
ii. Main Street Area

In addition to the general criteria outlined Section (E)(1)(b)(i) — General Commercial Zone Design Criteria, the following additional criteria are proposed to apply to the Main Street Area.

Continuity of Architectural Forms and Elements and Recognition of Experience/Sense of Place— The Statement of Intent and Overall Design Criteria (described earlier in Section E of this PAD) provide the specific architectural guidelines for this area; however, due to the presence of the main street area as a focal point within the development and due to the fact that its elements serve significantly in the creation of a sense of place and unique identity for Oro Valley Town Centre, its importance cannot be overstated. In order to convey a character synonymous with a traditional main street theme, the backbone of the development, this area depends heavily on architectural articulation, attention to scale, connectivity of architectural elements and buildings that stand close to the street for the establishment of a character synonymous with a traditional main street theme. The intent of the area is to provide the user of the space, whether they be moving through as a pedestrian or traveling through in a vehicle, with an experience founded upon the design principles of New Urbanism. As such, it is particularly important that the buildings in the main street employ as many of the design criteria outlined in this section as possible.

As a means of further guiding the development and creation of the main street experience, photographs, character vignettes and an architectural rendering have been included in this PAD as Exhibits EE 1, 2 and 3. These exhibits depict many key architectural elements, including the following:

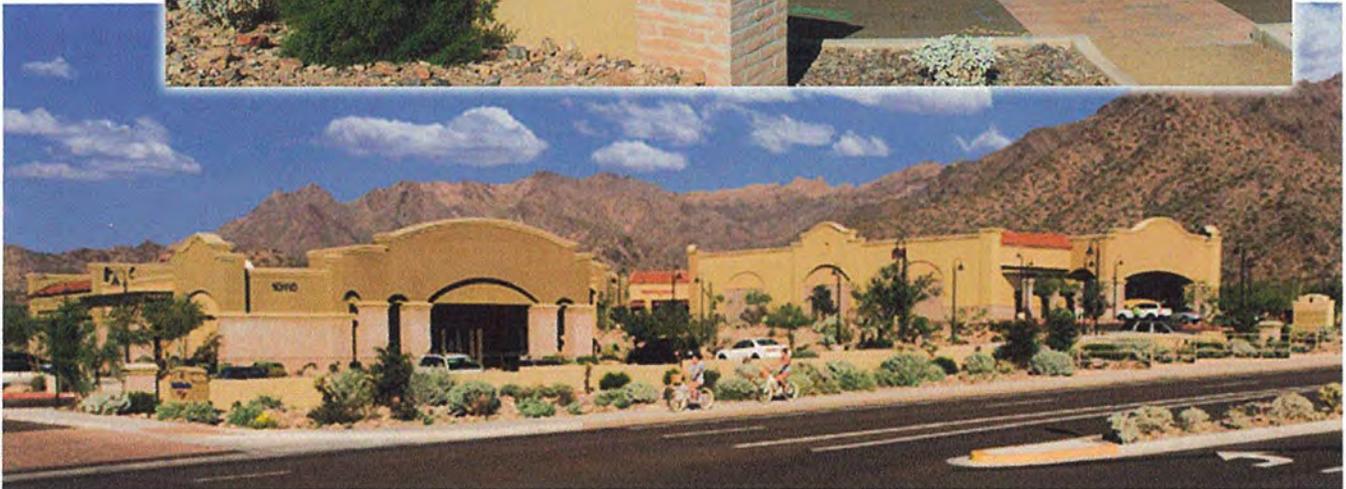
- Arcades and other shading strategies to serve pedestrians (both on street level and second stories), such as awnings above window headers on the first floor, or canopies along with landscaping to provide shade
- Variety of roof types and lines
- Fenestrations and accent trim to provide building articulation
- Placement of buildings close to the adjoining street
- Variety of colors respectful of tones native to the desert environment











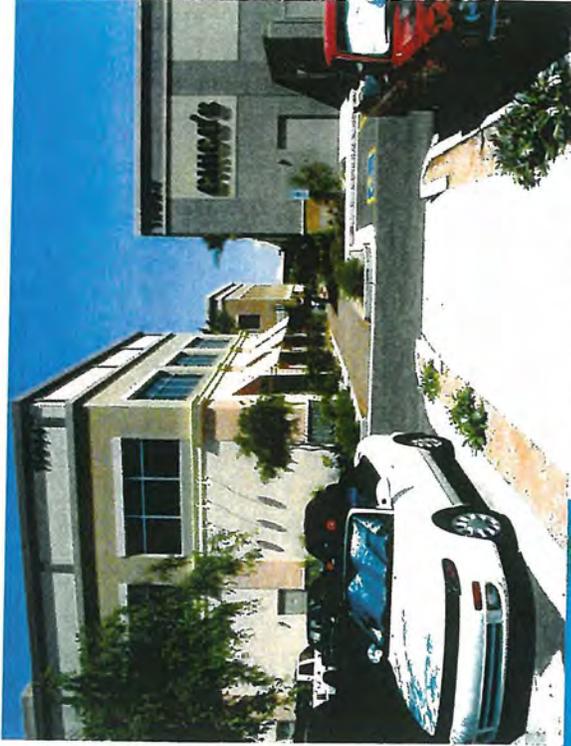




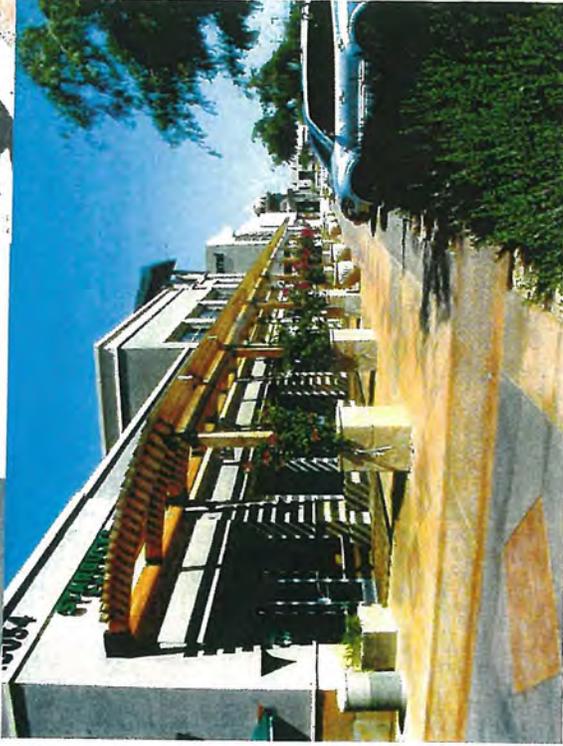




EACH BUILDING SHOULD HAVE DIFFERING THEMES AND STYLES



EACH BUILDING SHOULD HAVE DIFFERING HEIGHTS, COLORS AND FINISHES



EACH BUILDING SHOULD HAVE CANOPIES TO SHADE PEDESTRIANS

EXHIBIT EE-2 ARCHITECTURAL THEME AND DESIGN ELEMENTS

d. Residential Zone Design (Area 4)

i. Criteria

- Residential structures and community features shall be coordinated in architectural materials, details and quality. Community features include bus stops, recreational facilities and pedestrian access features.
- Colors used on any buildings in the residential area shall not exceed 50% reflectivity value.
- Building mass is probably the most prominent design feature of a project. The design of residential units should avoid long, unbroken building facades without the use of offsets as an integral part of the facade design.
- Units will be designed to have a low level profile and integrate into the natural terrain of the site to minimize views from Oracle Road. Residential units highly visible from Oracle Road shall not exceed 18 feet in height.
- ~~Garage design shall comply with Section 16-1 of the OVZCR.~~
- Chimneys shall be compatible in materials to the accompanying structure.

ii. Roofs

- Roofs shall be colored to blend with surrounding geology.
- A range of roof forms and roof pitch adds an appealing visual context to the community/streetscape.

e. Public Areas

i. Roadway Entries

- In the area where Pusch View Lane enters the site, an entry statement and sense of arrival should be created through landscaping, public art, and/or monumentation.
- The entry to the residential area must be designed to have a sense of arrival by incorporating monumentation, landscaping, or gates.
- Decorative paving shall be used at major intersections.

ii. Motor and Pedestrian Bridges

- DRB shall review pedestrian and motor bridges for consistency with overall project design at such time that the above bridges are required to be constructed in association with that phase of development.

iii. Pedestrian System

- The pedestrian system within the project shall include amenities such as benches, shade structures, and water fountains to encourage pedestrian use. Landscaping will also be an integral part of the pedestrian system to offer shade and to define the trail.
- Pedestrian crossings of roads shall adhere to the standards as established by the Manual on Uniform Traffic Control Devices (MUTCD).

f. Procedures

~~i. All buildings, roof types, designs, covering color and material, exterior building materials, exterior colors (color chips to be submitted) and other improvements erected within Oro Valley Town Centre must be approved by the Architectural Town of Oro Valley during the review process. Review Committee prior to submittal to Town of Oro Valley or the commencement of construction.~~

~~ii. Preliminary architectural designs for all buildings and structures must be reviewed and tentatively approved by the Architectural Review Committee prior to the preparation of final plans to be submitted to the Town.~~

~~iii. The Architectural Review Committee encourages building designs and the use of materials consistent with the architectural character of the project and expressed in Exhibits EE-1, 2 and 3. Architectural design should also be sensitive to and compatible with the natural desert environment.~~

~~iv. Developer shall control the Architectural Review Committee.~~

2. LANDSCAPE DESIGN CRITERIA

Landscape Design Guidelines shall be per Section 27.6 of the Oro Valley Zoning Code (including native plant salvage, landscaping, water harvesting, and irrigation standards) unless specifically conflicted elsewhere in the PAD, in which case the PAD shall supersede the Oro Valley Zoning Code.

a. Statement of Intent:

~~The landscape architecture of the project, and specifically the types and placement of plants, is a critical element in the creation of a sense of place. Through the use of different effects and strategies to create several themes throughout the project, plants will serve to provide this project with a unique sense of identity. For instance, the buffer yards around the perimeter of the site will, in large part, adhere to the plant list found in the newly proposed landscape section of the OVZCR. It is, however, in the interior portions of the project that a different palette is proposed for this project. The proposed plant palette contains species of plants, some of which are not indigenous to the Southwest or the Sonoran Desert; they are, however, recommended by the following books widely used by Landscape Architects in dry climates:~~

~~—————“Plants for Dry Climates,” by Warren Jones and Mary Rose Duffield~~

~~—————“Native Plants for Southern Landscapes,” by Judy Mielke~~

~~—————“Low Water Use Plants,” by Carol Shuler~~

In order to create a hierarchy of vehicular passages within the project, a particular tree species will be chosen to represent different areas of the project. For instance, the "main street" area entry will have its own tree species which lines the vehicular passage and serves to further differentiate the area from other portions of the site. Also, designed within the project are several courtyards or plazas intended to attract pedestrians for sitting, gathering, or for passing through to other areas of the project (see Exhibits EE-5 and 6). These areas will be enhanced through the use of shade trees, lush appearing shrubs and richly colored groundcovers. Turf will also be used in these areas. In essence, the plants will contribute to the creation of microclimates, which are especially desirable in heat of summer.

Project entries will also be enhanced through the use of vegetation. Each entry to the project will have a unique blend of plants and will have its own unique species of tree. See character sketch of entry monumentation and landscaping in Exhibit EE-4.

The landscaping of this project is not only functional, but is also a crucial element in the creation of a sense of place. It will be used to announce arrival at the site, will serve to help move people through the spaces and to serve to slow them down and cause them to sit and linger. It will be compatible with and enhance the architecture of the project, helping to provide definition of scale.

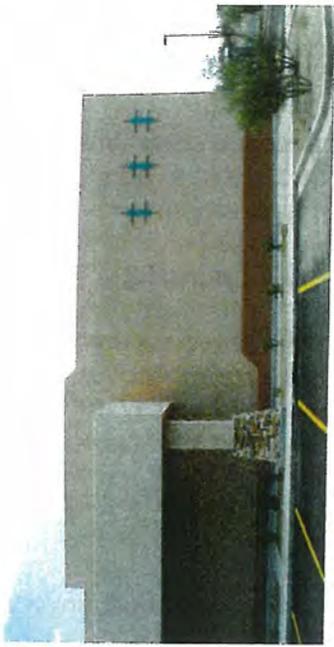
b. Guidelines:

- ~~i. Site Resource Inventory and Native Plant Preservation, Salvage and Mitigation Plans shall be prepared and submitted to the Town of Oro Valley in accordance with the standards set forth in Chapter 14 of the Oro Valley Zoning Code.~~
- ~~ii. All plant material is to be irrigated with an automatic underground drip irrigation system.~~
- ~~iii. Plant materials listed in Chapter 10 of the Oro Valley Zoning Code revised "Oracle Road District Regulations" (p. 10-36) are required in the subject district and area acceptable elsewhere as "native vegetation" except that palms may be permitted by the owner under approved conditions such as in a heavily maintained and irrigated courtyard as a feature. Allowable palms include: Mexican Fan Palm, Windmill Palm, Date Palm, Canary Island Date Palm, Mediterranean Fan Palm, Pindo Palm, Mexican Blue Palm and the Sage Palm.~~
- ~~iv. Turf may be used in courtyard, patio, oasis, pedestrian and specialty areas. Overall, the turf shall not exceed 15 percent of the total landscape area.~~
- ~~iiiv. Each parcel or lot within the overall site shall be landscaped similarly. Fifty percent of the proposed plant materials shall match adjacent landscape areas within the project.~~
- ~~iyvi. All buffer yard walls shall be a maximum of 35 inches in height except along La Reserve Drive where the wall shall be a minimum of 6 feet in height.~~
- ~~vii. The buffer yard walls shall be all the same color and material as selected by the Master Developer. The walls adjacent to and facing La Reserve Drive will conform to colors designated by the La Reserve Home Owner's Association architectural guidelines and covenants, thereby creating uniformity with the existing walls within La Reserve.~~

- ~~viii. Certain plants are specifically prohibited as they may be a fire hazard, an ecological nuisance, an aesthetic detriment, or produce noxious seed and pollen conditions. They are:
 - ~~• Conifers such as pines, cedars, cypress, or juniper (not indigenous in appearance).~~
 - ~~• Noxious pollen producers such as olive trees, except "Swan Hill" olives, mulberry, all varieties of citrus, and common Bermuda grass.~~
 - ~~• Non-native grasses which may take over a landscape or serve as fuel for fires.~~~~
- ~~viiix. General—It is the intent of the owner to further regulate landscape colors, materials, and placement so as to achieve a very native and consistent environment throughout the PAD area and the landscaping and color scheme present on La Reserve Drive.~~
- ~~viiix. All planting islands in the parking lot are to be a minimum of 5 feet wide.~~
- ~~ixxi. All roads in the development (See Exhibit AA-2 for example of cross-section of road) are to be landscaped on both sides of the road with trees, shrubs and groundcover. The main entry roads are to be landscaped in such a manner as to achieve a "tree-lined boulevard" effect. As such, tree spacing should be twenty-five feet on center. Landscaping shall not encroach into the clear zones on Pusch View Lane.~~
- ~~xii. Strive to preserve washes in their natural condition.~~
- ~~xiii. Provide landscaping to complement site architecture, highlight the built environment, define pedestrian circulation and announce building entrances.~~
- ~~xivii. Provide distinctive landscaping and hardscape at strategic key intersections and other focal points.~~
- ~~xviii. Place plant materials to maximize shade for pedestrians and to provide shade for buildings to promote energy efficiency. Shade trees or arcades or shade structures shall be provided at building entrances and along pedestrian ways throughout the project.~~
- ~~xixvi. Utilize plant materials to screen undesirable views and parking/loading areas.~~
- ~~xviii. Water harvesting will be incorporated for pads and paved surfaces where possible above ground.~~
- ~~xviii. Approved landscaping pursuant to landscape plan for each phase of development is to be installed and maintained prior to the issuance of a final certificate of occupancy, subject to the following:
 - ~~• A minimum 30-foot landscape buffer is required along Oracle Road.~~
 - ~~• All areas, other than those covered by buildings or paving for required parking, shall be landscaped or maintained as natural.~~
 - ~~• Landscaping islands in accordance with the Town's off-street parking ordinance shall~~~~

be provided in all parking areas.

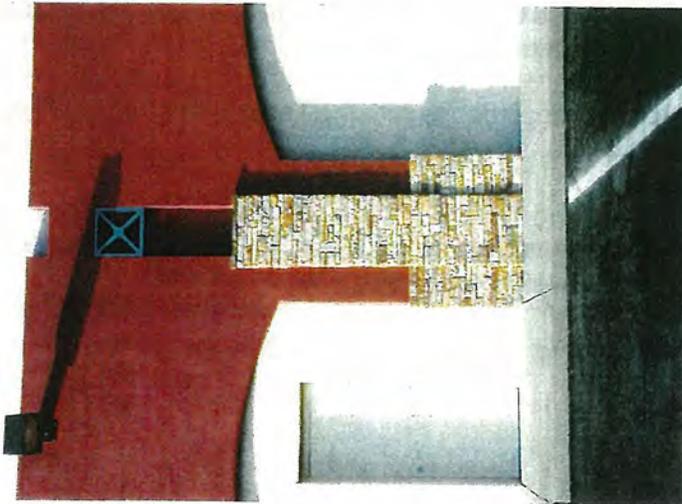
- Existing vegetation along Oracle Road shall be preserved to the greatest extent possible. A complete salvage plan per OVZCR Section 14-1 shall be prepared and submitted with each development plan or tentative plat.



SHADE STRUCTURES SHALL BE PROVIDED TO CREATE A PLEASANT WALKING ENVIRONMENT FOR THE PEDESTRIAN.



CORNER TOWERS CAN BE USED TO VARY THE ROOF LINE OF LARGE BUILDINGS.



BUILDING ELEVATIONS CAN BE BROKEN UP BY THE USE OF COLUMNS, BLIND ARCADES, AND ARCHITECTURAL DETAILING.



ARTICULATED THROUGH THE USE OF DIFFERENT COLORS, TEXTURES, AND MATERIALS.

EXHIBIT EE-4 ARCHITECTURAL THEME AND DESIGN ELEMENTS

Exhibit EE-6 Intentionally Deleted

Exhibit EE-7 Intentionally Deleted

Exhibit EE-8 Intentionally Deleted

Exhibit EE-9 Intentionally Deleted

EXHIBIT EE-10

ORO VALLEY TOWN CENTRE RECOMMENDED PLANT LIST

Per Addendum C of the Oro Valley Zoning Code

TREES:

	Desert Willow
Acacia-abyssinica (Height: 15'-25') Abyssinian Acacia	*Fraxinus-greggii (10'-12') Little Leaf Ash
Acacia-farnesiana (15'-25') Sweet Acacia	*Fraxinus-volutina (25'-30') Arizona Ash
Acacia-smallii (15'-25') Sweet Acacia	*Geijera-parviflora (15'-20') Australian Willow
Acacia-stenphylla (20'-30') Shoestring Acacia	*Jacaranda-mimosifolia (30'-35') Jacaranda
Acacia-salicina (20'-30') Willow Acacia	Lysiloma-candida (10'-15') Palo-Blanco
Acacia-willardiana (15'-20') Palo-Blanco	Lysiloma-thornberi (15'-20') Fern of the Desert
*Albizia-julibrissin (15'-20') Silk Tree	Olea-europaea "Swan Hill" (15'-25') Swan Hill Olive
Brachychiton-populneus (30'-35') Bottle Tree	Olneya-tesota (20'-30') Ironwood
Cercidium-floridum (25'-30') Blue Palo Verde	Pistacia-chinensis (20'-30') Chinese Pistache
*Cercidium "Hybrid" (20'-25') Desert Museum	Pithecellobium-flexicaule (15'-20') Texas Ebony
Cercidium-microphyllum (10'-15') Little Leaf Palo Verde	Pithecellobium-mexicanum (20'-25') Mexican Ebony
Cercidium-praecox (15'-20') Palo Brea	Pithecellobium-pallens (20'-25') Apes Earring
Cercis-canadensis-mexicana (10'-15') Mexican Redbud	*Platanus-wrightii (30'-40') Arizona Sycamore
Chilopsis-linearis (20'-25')	Prosopis-alba "Thornless" (20'-30') White Mesquite

~~Prosopis chilensis (20'-30')~~
~~Prosopis glandulosa (25'-35')~~
Honey Mesquite
~~Prosopis pubescens (10'-15')~~
Fremont Screwbean

~~Prosopis velutina (20'-25')~~
Velvet Mesquite

~~*Prunus cerasifera "Atropurpurea" (10'-15')~~
Purple Leaf Plum

~~*Quercus buckleyi "Red Rock" (25'-30')~~
Red Rock Oak

~~Quercus ilex (25'-30')~~
Holly Oak

~~*Quercus polymorpha (25'-30')~~
Monterrey Oak

~~Quercus suber (25'-30')~~
Cork Oak

~~Quercus virginiana "Heritage" (25'-30')~~
Heritage Oak

~~Rhus lancea (20'-25')~~
African Sumac

~~Sophora secundiflora (10'-15')~~
Texas Mountain Laurel

PALMS:

~~Washingtonia robusta~~
Mexican Fan Palm

~~Trachycarpus fortunei~~
Windmill Palm

~~Phoenix dactylifera~~
Date Palm

~~Phoenix canariensis~~

~~Chilean Mesquite~~

~~Canary Island Date Palm~~

~~Chamaerops humilis~~
Mediterranean Fan Palm

~~Butia capitata~~
Pindo Palm

~~Brahea armata~~
Mexican Blue Palm
~~Cycas revoluta~~
Sage Palm

SHRUBS AND ACCENTS:

~~Acacia berlandieri~~
Guahillo

~~Acacia constricta~~
Whitethorn Acacia

~~Acacia greggii~~
Gatsclaw Acacia

~~*Acacia schottii~~
Schott Acacia

~~*Agave chrysantha~~
Golden Flowered Agave

~~Agave colorata~~
Mescal Ceniza

~~*Agave deserti~~
Desert Agave

~~*Agave geminiflora~~
Twin-flowered Agave

~~*Agave havardiana~~
Harvard Agave

~~*Agave lechuguilla~~
Lechuguilla

**Agave murpheyi*
Murphy Agave

**Agave neomexicana*
New Mexico Agave

Agave ocahui
Ocahui Agave

Agave palmeri
Palmer's Agave

**Agave parrasana*
NGN

**Agave parryi*
Artichoke Agave

**Agave schidigera* "Durango Delight"
Durango Delight Agave

**Agave toumeyana*
Toumey's Agave

**Agave utahensis*
Utah Agave

Agave vilmoriana
Octopus Agave

Agave vitorriae-reginae
Queen Victoria's Agave

**Aloe dawei*
Dawe's Aloe

Aloe ferax
Cape Aloe

**Aloe striata*
Coral Aloe

**Aloe vera*
Medicinal Aloe

Ambrosia ambrosioides
Giant Bursage

Ambrosia deltoidea
Bursage

Anisacanthus thurberi

Desert Honeysuckle

**Aristida purpurea*
Purple Threawn

Asclepias subulata
Desert Milkweed

**Asparagus densiflorus* "Myers"
Myers Asparagus

Atriplex canescens
Fourwing Saltbush

Atriplex lentiflormis
Quail Brush

**Bacharris* "Centennial"
Centennial Coyote Bush

**Bacharris pilularis*
Dwarf Coyote Bush

Baileya multiradiata
Desert Marigold

Bougainvillea spp.
Bougainvillea

**Bulbine frutescens*
Bulbine

Caesalipinia gilliesii
Yellow Bird-of-Paradise

Caesalipinia mexicana
Mexican Bird-of-Paradise

Caesalipinia pulcherrima
Red Bird-of-Paradise

Calliandra californica
Baja Fairy Duster

Calliandra eriophylla
Fairy Duster

Calylophus hartwegii
Calylophus

Carnegiea gigantea
Saguaro

Cassia-wislizeni
Shrubby-Cassia

Celtis-pallida
Desert Hackberry

Celtis-reticulata
Netleaf Hackberry

**Chrysactinia-mexicana*
Damianita

**Condalia-globosa*
Bitter Condalia

Gordia-parvifolia
Little-Leaf Cordia

**Cycas-revoluta*
Sago Palm
Dalea-bicolor
Indigo Bush

**Dalea-capitata*
Golden Dalea

Dalea-frutescens
Black Dalea

Dalea-greggii
Trailing Indigo Bush

Dalea-pulchra
Bush Dalea

Dalea-versicolor
Wislizenus Dalea

Dasyliirion-acrotriche
Green Desert Spoon

**Dasyliirion-longissima*
Toothless Spoon

Dasyliirion-wheeleri
Desert Spoon

Dodonaea-viscosa
Hopbush

Dyssodia-acerosa
Dyssodia

Echinocactus-grusonii
Golden Barrel Cactus

Echinocereus-engelmannii
Hedgehog

Encelia-californica
Brown-Eyed Susan

Encelia-farinosa
Brittle Bush

Ephedra-spp.
Mormon Tea

**Eremophila-species* "Valentine"
Valentine Shrub

**Ericameria-laricifolia*
Turpentine Bush

**Eriogonum-fasciculatum*
California Buckwheat

**Eschscholzia-californica*
California Poppy

**Eschscholzia-mexicana*
Mexican Poppy

Euphorbia-rigida
Gopher Plant

Feijoa-sellowiana
Pineapple Guava

Ferrocactus-wislizenii
Barrel Cactus

Fouquieria-splendens
Ocotillo

**Gaura-lindheimeri*
Gaura

Hesperaloe-funifera
Coahuilian Hesperaloe

Hesperaloe-parviflora
Red Yucca

**Hymenoxys-acaulis*

Angelita Daisy

Hyptis emeryi
Desert Lavender

Jatropha cardiophylla
Limberbush

Leucophyllum laevigatum
Chihuahuan Rain Sage

Justicia californica
Chuparosa

Justicia spicigera
Mexican Honeysuckle

Lantana spp.
Lantana

Larrea tridentata
Creosote Bush
Leucophyllum frutescens spp.
Texas Ranger

Leucophyllum laevigatum
Chihuahuan Rain Sage

**Lotus rigidus*
Deer Vetch

**Lycium pallidum*
Squawberry

Macfadyena unguis-cati
Cat's Claw Vine

Melampodium leucanthum
Blackfoot Daisy

Mimosa biuncifera
Catclaw Mimosa

Mimosa dysocarpa
Velvetped Mimosa

**Muhlenbergia capillaris* "Regal Mist"
Regal Mist

**Muhlenbergia lindheimeri* "Autumn Glow"
Autumn Glow

Myoporum parvifolium
Trailing Myoporum

Myrtus communis "Compacta"
Compact Myrtle

Nolina microcarpa
Bear Grass

Oenothera berlandieri
Mexican Evening Primrose

Oenothera stubei
Chihuahuan Primrose

Opuntia basilaris
Beaver Tail Cactus

Opuntia microdasys
Bunny Ears

Opuntia violaceae santa rita
Santa Rita Prickly Pear
Opuntia spp.
Cholla and Prickly Pear

Penstemon eatonii
Firecracker Penstemon

**Penstemon palmeri*
Palmer's Penstemon

Penstemon parryi
Parry's Penstemon

Penstemon pseudospectabilis
Canyon Penstemon

Penstemon superbus
Suberb Penstemon

**Plumbago auriculata*
Blue Cape Plumbago

**Plumbago scandens*
White Plumbago

Prunus caroliniana
Carolina Laurel Cherry

Psilostrophe cooperi
Paperflower

Punica granatum Pomegranate	Verbena gooddingii Goodding Verbena
Rhus ovata Sugarbush	Verbena peruviana Peruvian Verbena
Rosmarinus spp. Rosemary	*Verbena rigida Sandpaper Verbena
Ruellia californica Sonoran Desert Ruellia	Viguiera deltoidea Goldeneye
Ruellia peninsularis Baja Ruellia	Yucca baccata Banana Yucca
Salvia greggii Autumn Salvia	Yucca brevifolia Joshua Tree
Salvia clevelandii Chaparral Sage	Yucca elata Soaptree Yucca
Salvia leucantha Mexican Bush Sage *Salvia microphylla Red Bush Sage	*Yucca faxoniana Spanish Bayonet Yucca rigida Blue Yucca
Santolina chamaecyparissus Lavender Cotton	Yucca whipplei Our Lord's Candle
Santolina virens Lavender Cotton	Zauschneria californica Hummingbird Trumpet Bush
Simmondsia chinensis Jojoba	Zinnia acerosa Desert Zinnia
*Spaeralcea ambigua Globemallow	Zizyphus obtrusifolia Grey Thorn
*Stachys coccinea Texas Betony	*Zexmenia hispida "Devil's River"
*Trixis californica Trixis	
Vauquelinia californica Arizona Rosewood	*Denotes plant species that is not on the Oro Valley Approved Plant List.

F. SIGNS

1. Signs shall comply with the Oro Valley Zoning Code Revised. A comprehensive sign plan shall be developed for Oro Valley Town Centre and will comply with ~~Section 12-104~~Chapter 28 of the OVZCR. The comprehensive sign plan will be submitted prior to obtaining any sign permits for the property.

G. NOISE ABATEMENT

1. Noise abatement shall be addressed as outlined on the Oro Valley Zoning Code Revised with the following additional restrictions:
 - ~~a. There shall be no delivery or loading operations for commercial uses between 10:00 p.m. and 7:00 a.m.~~
 - a. There shall be no delivery or loading operations for commercial uses between 10:00 p.m. and 6:00 a.m.
 - b. No trash shall be removed for the commercial uses between 10:00 p.m. and 7:00 a.m.
 - c. Delivery trucks shall not be parked in close proximity to or within designated delivery or loading areas during non-delivery hours with motors and/or refrigeration/generators running, unless the area where trucks are parked is set back at least 300 feet from residential property. The setback does not apply if the main building is located between the truck parking and residential use or residentially zoned property to act as the screen.
 - d. Delivery trucks shall not be left idling between the hours of 6:00 p.m. and 7:00 a.m.
 - e. Any outdoor, amplified concerts or activities shall cease no later than 11:00 p.m.

H. LIGHTING

1. Lighting shall be in conformance with ~~the proposed Chapter 17~~[Section 27.5](#) Outdoor Lighting ~~section~~ of the Oro Valley Zoning Code Revised.

APPENDICES

APPENDIX 'A'



**LEGAL DESCRIPTION
ROONEY RANCH PARCEL H**

That portion of Section 7, Township 12 South, Range 14 East, Gila and Salt River Meridian, Pima County, Arizona, described as follows:

COMMENCING at the South Quarter (S 1/4) corner of said Section 7;

THENCE N 00°20'33" W, along the North-South midsection line, a distance of 979.48 feet to the **POINT OF BEGINNING**;

THENCE continue N 00°20'33" W, along said line, a distance of 1,558.44 feet to a point on the arc of a non-tangent curve concave to the Southeast, a radial line of said curve through said point having a bearing of N 43°24'23" W, said point being on the Southeasterly right-of-way line of State Route 77 (Oracle Road);

THENCE Southwesterly along said right-of-way line, along the arc of said curve, to the left, having a radius of 16,270.22 feet and a central angle of 05°08'59" for an arc distance of 1,462.38 feet to a point of tangency;

THENCE S 41°26'38" W, along said right-of-way line, a distance of 1,380.19 feet to a point of cusp of a non-tangent curve concave to the Southeast, a radial line of said curve through said point having a bearing of N 48°33'22" W, said point being on the North right-of-way line of the Rooney Channel, recorded in Docket 7415 at Page 158, Pima County Recorder's Office, Pima County, Arizona,

THENCE Northeasterly along said right-of-way line, along the arc of said curve, to the right, having a radius of 1,014.93 feet and a central angle of 27°30'00" for an arc distance of 487.13 feet to a non-tangent line;

THENCE N 63°44'26" E, along said right-of-way line, a distance of 202.15 feet;

THENCE N 68°55'55" E, along said right-of-way line, a distance of 564.00 feet to a point of curvature of a tangent curve concave to the South;

THENCE Easterly along said right-of-way line, along the arc of said curve, to the right, having a radius of 1,034.93 feet and a central angle of 47°38'20" for an arc distance of 860.50 feet to the **POINT OF BEGINNING**.

Containing 27.80 acres, more or less.

Prepared By:
THE WLB GROUP, INC.

Jack A. Buchanan, RLS
JAB:cjl

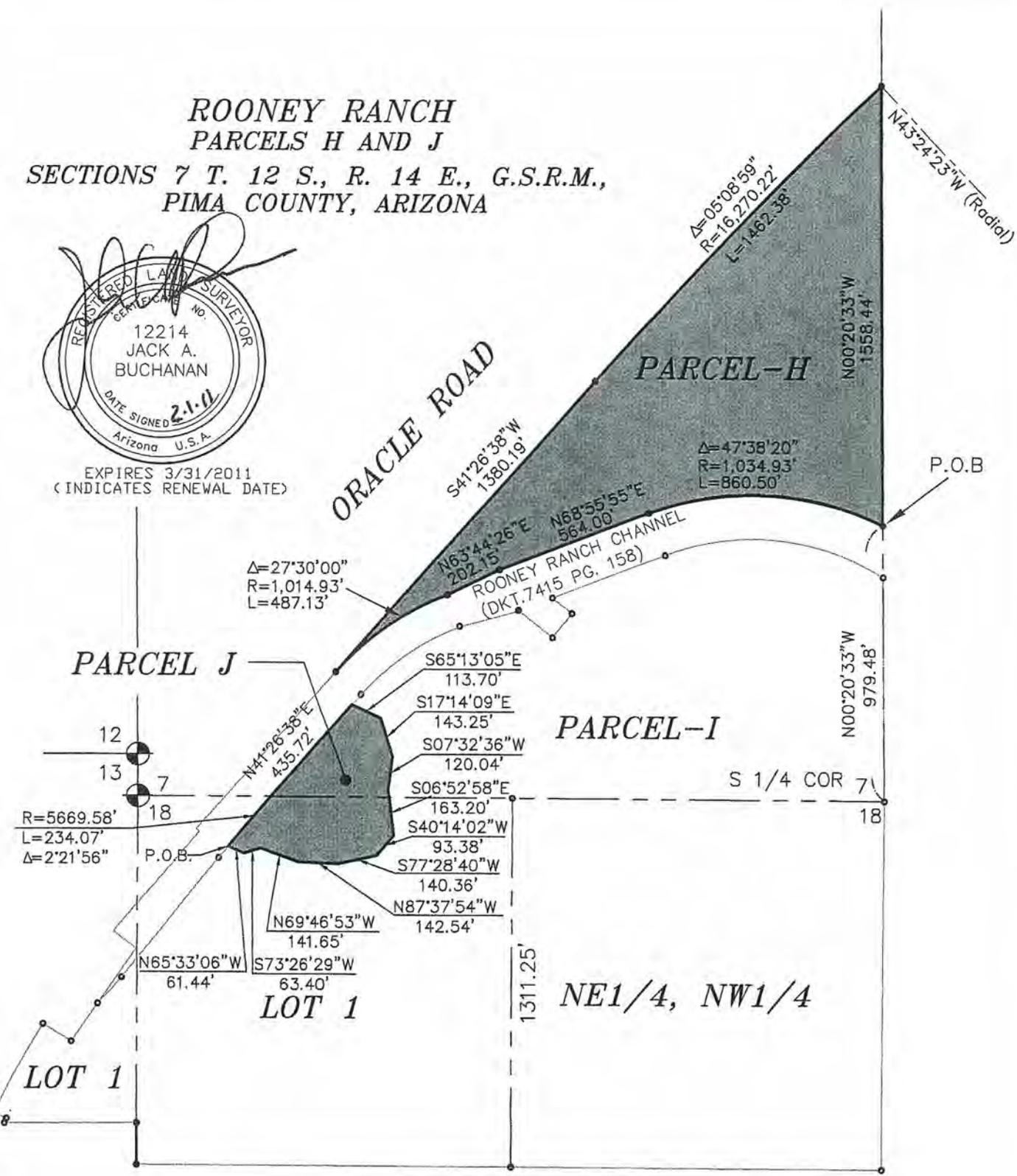


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(INDICATES RENEWAL DATE)

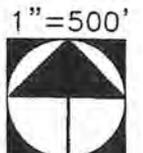
**ROONEY RANCH
PARCELS H AND J**
SECTIONS 7 T. 12 S., R. 14 E., G.S.R.M.,
PIMA COUNTY, ARIZONA



EXPIRES 3/31/2011
(INDICATES RENEWAL DATE)



EL CONQUISTADOR RESORT
PATIO HOMES
BOOK 36 M&P PAGE 44





**LEGAL DESCRIPTION
ROONEY RANCH PARCEL I
(PARCEL RETAINED BY CANADA DEL ORO PARTNERS)**

Those portions of Sections 7 and 18, Township 12 South, Range 14 East, and that portion of Section 13, Township 12 South, Range 13 East, Gila and Salt River Meridian, Pima County, Arizona, described as follows:

COMMENCING at the Southwest corner of Lot 1 of said Section 18, said point being the **TRUE POINT OF BEGINNING**;

THENCE N 00°0'51" W, along the west line of said Lot 1 a distance of 148.47 feet to the southeast corner of Lot 1 of said Section 13;

THENCE S 89°48'34" W along the south line of said Lot 1 a distance of 468.43 feet to a point on the east right-of-way line of Oracle Road (State Highway 77);

THENCE N 23°08'24" E along said right-of-way line 17.45 feet;

THENCE N 65°39'07" W along said right-of-way line 50.31 feet to a point of curvature of a non-tangent curve concave to the southeast, a radial line through said point bears N 63°51'30" W;

THENCE northeasterly along the arc of said curve to the right, having a radius of 3719.72 feet, a central angle of 5°34'41", for an arc length of 362.13 feet;

THENCE S 58°25'16" E, 117.80 feet;

THENCE N 34°42'55" E, 164.39 feet to a point on the southerly right-of-way line of the Rooney Channel recorded in Docket 7415, Page 158, being a point of curvature of a non-tangent curve concave to the northwest, a radial line through said point bears S 44°21'30" E;

THENCE northeasterly along said right-of-way line and the arc of said curve to the left, having a radius of 1014.93 feet, a central angle of 7°03'51", for an arc length of 125.13 feet;

THENCE N 38°37'32" E, a distance of 544.19 feet to a point of curvature of a non-tangent curve concave to the southeast, a radial line through said point bears N 51°27'13" W;

THENCE northeasterly along said right-of-way line and the arc of said curve to the right, having a radius of 5669.58 feet, a central angle of 0°31'55", for an arc distance of 52.65 feet to a point of a non-tangent line;



THENCE S 65°33'06" E, a distance of 61.44 feet;

THENCE N 73°26'29" E, a distance of 63.40 feet;

THENCE S 69°46'53" E, a distance of 141.65 feet;

THENCE S 87°37'54" E, a distance of 142.54 feet;

THENCE N 77°28'40" E, a distance of 140.36 feet;

THENCE N 40°14'02" E, a distance of 93.38 feet;

THENCE N 06°52'58" W, a distance of 163.20 feet;

THENCE N 07°32'36" E, a distance of 120.04 feet;

THENCE N 17°14'09" W, a distance of 143.25 feet;

THENCE N 65°13'05" W, a distance of 113.70 feet to a point on the south right-of-way line of said Rooney Channel;

THENCE N 41°26'38" E, a distance of 48.10 feet to a point of curvature of a non-tangent curve concave to the southeast, a radial line through said point bears N 48°33'32" W;

THENCE northeasterly along said curve to the right, having a radius of 894.93 feet, through a central angle of 27°30'15", for an arc length of 429.60 feet to a non-tangent line;

THENCE N 74°37'28" E, a distance of 201.66 feet;

THENCE N 68°55'05" E, a distance of 11.18 feet;

THENCE S 51°04'05" E, a distance of 151.75 feet;

THENCE N 38°55'55" E, a distance of 110.00 feet;

THENCE N 51°04'05" W, a distance of 88.24 feet;

THENCE N 68°55'55" E, a distance of 425.49 feet to a point of curvature of a tangent curve, said point being on the south right-of-way line of said Rooney Channel;



THENCE easterly along the arc of said curve to the right, having a radius of 874.93 feet, through a central angle of 53°05'52", for an arc length of 810.83 feet to a point on the north-south mid-section line of said Section 7;

THENCE S 00°20'33" E, along said mid-section line a distance of 795.60 feet to the southeast corner of the Southwest Quarter (SW ¼) said Section 7: Said point being the northeast corner of the Northwest Quarter (NW ¼) of said Section 18;

THENCE S 00°23'10" W, along the east line of said Northwest Quarter (NW ¼) a distance of 1310.80 feet to the southeast corner of the Northeast Quarter of said Northwest Quarter (NE ¼, NW ¼);

THENCE N 89°47'48" W along south line of said Northeast Quarter of said Northwest Quarter (NE ¼, NW ¼) and the south line of said Lot 1 of said section, a distance of 2635.35 feet to the **POINT OF BEGINNING**.

Containing 108.88 acres, more or less.

Prepared By:
THE WLB GROUP, INC.

Jack A. Buchanan, RLS
JAB:cll



EXPIRES 3/31/2011
(INDICATES RENEWAL DATE)

ROONEY RANCH PARCEL I

(PROPERTY RETAINED BY CDO PARTNERS)

A PORTION OF SECTIONS 7 & 18 T. 12 S., R. 14 E., G.S.R.M.,

A PORTION OF SECTION 13 T. 12 S., R. 13 E., G.S.R.M.,

PIMA COUNTY, ARIZONA



EXPIRES 3/31/2011
(INDICATES RENEWAL DATE)

ORACLE ROAD
STATE HIGHWAY 77

ROONEY RANCH CHANNEL
(DKT. 7415 PG. 158)

PARCEL-I

S 1/4 COR 7

LOT 1

NE1/4, NW1/4

LOT 1

N89°47'48"W

2635.35'

P.O.B

EL CONQUISTADOR RESORT
PATIO HOMES
BOOK 36 M&P PAGE 44

N00°20'33"W
795.60'

N00°23'10"W
1310.80'

1311.25'

18



1" = 500'





**LEGAL DESCRIPTION
ROONEY RANCH PARCEL J**

That portion of the Southwest quarter (SW ¼) of Section 7, Township 12 South, Range 14 East, lying south of the south right-of-way line of the Rooney Channel, recorded in Docket 7415 at Page 158, Pima County Recorder's Office, and that portion of Lot 1 of Section 18, Township 12 South, Range 14 East, Gila and Salt River Meridian, Pima County, Arizona, described as follows:

Commencing at the southwest corner of Lot 1 of said Section 18;

THENCE N 00°00'51" W, along the west line of said Lot 1 a distance of 148.47 feet to the southeast corner of Lot 1 of said Section 13;

THENCE S 89°48'34" W, along the south line of said Lot 1, a distance of 468.43 feet to a point on the east right-of-way line of said Oracle Road (State Highway 77);

THENCE N 23°08'24" E, along said right-of-way line 17.45 feet;

THENCE N 65°39'07" W, along said right-of-way line 50.31 feet to a point of curvature of a non-tangent curve concave to the southeast, a radial line through said point bears N 63°51'30" W;

THENCE northeasterly along the arc of said curve to the right, having a radius of 3719.72 feet, a central angle of 5°34'41", for an arc length of 362.13 feet;

THENCE S 58°25'16" E, 117.80 feet;

THENCE N 34°42'55" E, 164.39 feet to a point on the southerly right-of-way of the Rooney Channel recorded in Docket 7415, Page 158, being a point of curvature of a non-tangent curve concave to the northwest, a radial line through said point bears S 44°21'30" E;

THENCE northeasterly along the arc of said curve said right-of-way line to the left, having a radius of 1014.93 feet, a central angle of 7°03'51", for an arc length of 125.13 feet;

THENCE N 38°37'32" E, along said right-of-way line a distance of 544.19 feet to a point of curvature of a non-tangent curve concave to the southeast, a radial line through said point bears N 51°27'13" W;



THENCE northeasterly along the arc of said curve said right-of-way line to the right, having a radius of 5669.58 feet, a central angle of 0°31'55", for an arc distance of 52.65 feet to the **TRUE POINT OF BEGINNING**;

THENCE continuing along the arc of said curve to the right, having a radius of 5669.58 feet, a central angle of 02°21'56", an arc distance of 234.07 feet to a point of a non-tangent line;

THENCE N 41°26'38" E a distance of 435.72 feet;

THENCE S 65°13'05" E a distance of 113.70 feet;

THENCE S 17°14'09" E a distance of 143.25 feet;

THENCE S 07°32'36" W a distance of 120.04 feet;

THENCE S 06°52'58" E a distance of 163.20 feet;

THENCE S 40°14'02" W a distance of 93.38 feet;

THENCE S 77°28'40" W a distance of 140.36 feet;

THENCE N 87°37'54" W a distance of 142.54 feet;

THENCE N 69°46'53" W a distance of 141.65 feet;

THENCE S 73°26'29" W a distance of 63.40 feet;

THENCE N 65°33'06" W a distance of 61.44 feet to the **TRUE POINT OF BEGINNING**;

Containing 196,934 square feet or 4.52 acres more or less.

Prepared By:
THE WLB GROUP, INC.

Jack A. Buchanan, RLS
JAB:cil

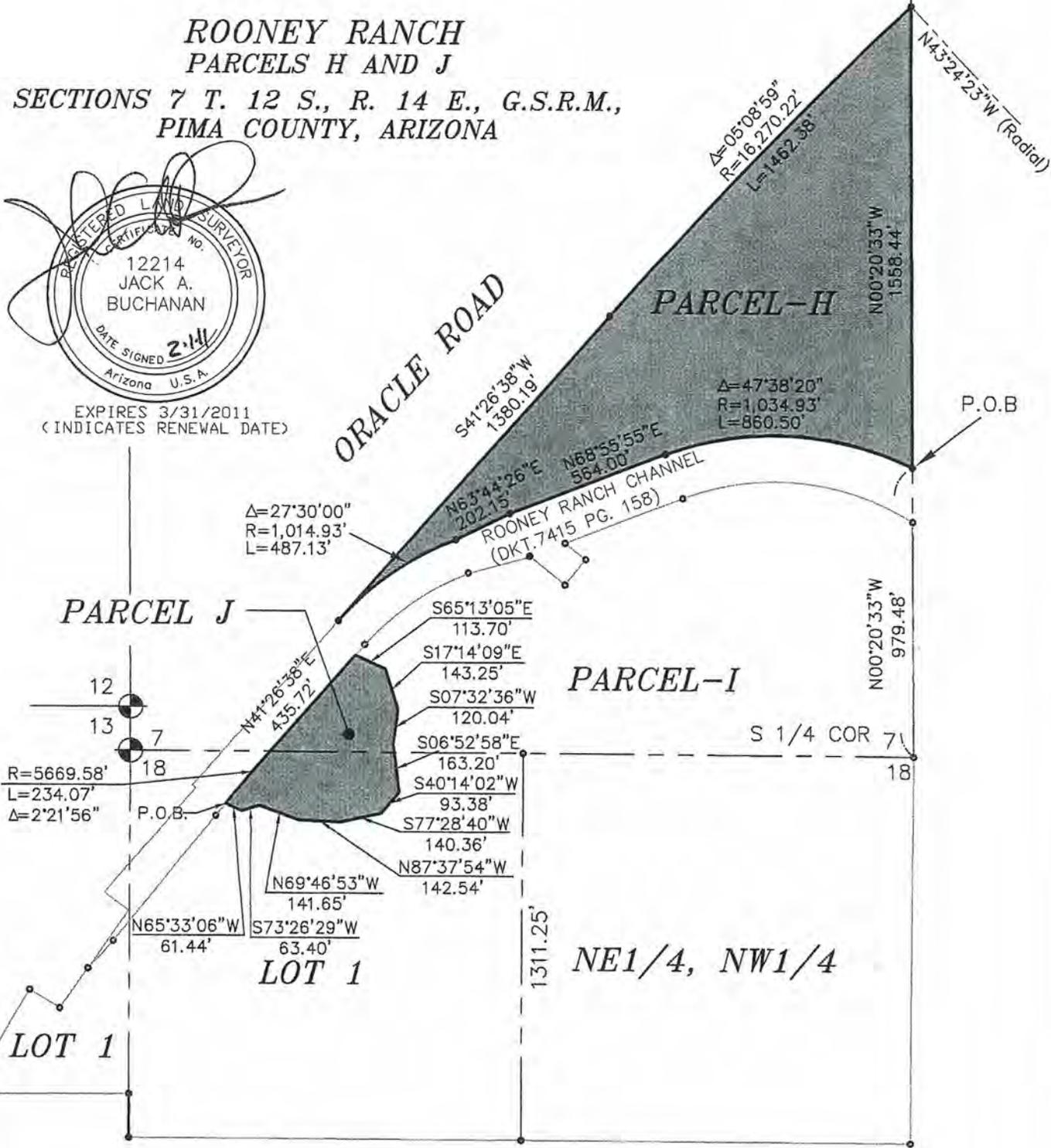


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ROONEY RANCH
PARCELS H AND J
 SECTIONS 7 T. 12 S., R. 14 E., G.S.R.M.,
 PIMA COUNTY, ARIZONA



EXPIRES 3/31/2011
 (INDICATES RENEWAL DATE)



EL CONQUISTADOR RESORT
 PATIO HOMES
 BOOK 36 M&P PAGE 44



1"=500'



APPENDIX 'B'

ORDINANCE NO. (O) 02- 33

AN ORDINANCE AMENDING THE TOWN OF ORO VALLEY ZONING MAP BY REZONING THE PROPERTY LOCATED ON THE EASTSIDE OF ORACLE ROAD AT THE TERMINUS OF FIRST AVENUE AND NORTH AND SOUTH OF ROONEY WASH WHICH WAS PREVIOUSLY ZONED R1-144 (SINGLE-FAMILY RESIDENTIAL) TO ORO VALLEY PLANNED AREA DEVELOPMENT (PAD) AND REPEALING ALL ORDINANCES IN CONFLICT HERewith

WHEREAS, that certain real property located on the eastside of Oracle Road at the terminus of First Avenue and north and south of Rooney Wash, containing 141.1 acres more or less and further described by the map attached to and made part of this Ordinance, is currently zoned R1-144 in the Town of Oro Valley; and

WHEREAS, an application requesting that the property be rezoned to Oro Valley Planned Area Development (PAD) has been filed with the Town; and

WHEREAS, the Planning and Zoning Commission, having considered said application and request at a duly noticed public hearing in accordance with State Statute and having made its recommendation to the Town Council; and

WHEREAS, the Oro Valley Town Council has considered the requested rezoning at a duly noticed public hearing and finds it is consistent with the Town's General Plan and Ordinance.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND TOWN COUNCIL OF THE TOWN OF ORO VALLEY:

SECTION 1: That certain real property located on the eastside of Oracle Road at the terminus of First Avenue and north and south of Rooney Wash and further described by the Tentative Development Plan and PAD document attached to and made part of this Ordinance is hereby rezoned to PAD, subject to those conditions, stipulations, plan for development and all other conditions of approval as specified in Exhibit "A" attached hereto.

SECTION 2: That all ordinances and parts of ordinances in conflict herewith be and the same are hereby repealed to the extent of such conflict.

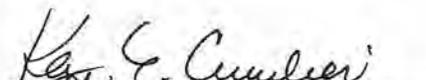
SECTION 3: That this ordinance and the various parts thereof are hereby declared to be severable. If any section, sub-section, sentence, clause, word or phrase of this ordinance is, for any reason, held to be unconstitutional, such holdings shall not affect the validity of the remaining portion of this ordinance.

PASSED AND ADOPTED by the Mayor and Town Council of the Town of Oro Valley, Arizona, this 16th day of October, 2002.


Vice Mayor

for Paul H. Loomis, Mayor

ATTEST:


Kathryn E. Cuvelier, Town Clerk

PUBLISH: DAILY TERRITORIAL
November 4, 5, 6, & 7, 2002

POSTED: October 31 - November 30, 2002

APPROVED AS TO FORM:

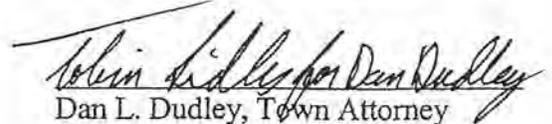

Dan L. Dudley, Town Attorney

EXHIBIT A

ORO VALLEY TOWN CENTRE
AS APPROVED BY TOWN COUNCIL
OCTOBER 16, 2002

OV9-01-05

1. The Plaza design shall be as agreed by staff and the applicant and presented to Town Council on October 16, 2002.
2. The residential area of the PAD shall be gated, single-family detached development with the following development standards:
 - Maximum number of units: 65
 - Minimum Lot Size: 15,000 square feet.
 - Average Lot Size: 20,000 square feet.
 - Maximum building height: 25 feet.
 - Single story homes shall be constructed towards Oracle Road and the El Conquistador Patio Homes and shall be limited to a maximum height of 18-feet.
3. A 100-foot setback from the El Conquistador Patio Homes shall be observed.
4. The following language shall be added to Section G of the PAD, Noise Abatement: "any outdoor, amplified concerts or activities shall cease no later than 11:00 p.m."

Engineering

5. OVZCR Section 3-104(B)(26)(1), show all floodplains that will be altered or filled.

Tentative Development Plan

6. Complete and correctly show all proposed drainage improvements.
7. Show all existing and proposed floodplains that have 100-year flows of 50-cfs or more.
8. Revise the grading limits to accurately depict the intended grading in Parcel I because of the cutoff channels along the ridges.
9. Add additional spot elevations on the west side of the parking lot between buildings A and E to show the intended drainage design.
10. Show the high points in the middle of the parking lots east of building H and J.
11. The drainage channel east of building N and O and the parking lot drainage design are unacceptable as it will cause additional grading, 6-feet of additional cut that will needlessly impact the ridges to the east. Revise this concept by directing the flow from the parking lot and building to drain to the west and utilize cutoff swales to divert the flow from the ridges similar to the designs for buildings R, T and U.
12. Remove the emergency access to the El Conquistador Patio Homes between lots 30 and 31.

13. Check all proposed driveway slopes to determine if there are any problem lots.
14. Ensure that the maximum driveway gradient does not exceed 14%.
15. The grading shall be limited to the cuts and fills as prescribed in the PAD. The developer shall be encouraged to further reduce said cuts and fills during grading and as an incentive may be permitted to reduce the front side and/or rear setbacks in order to achieve a reduction in cuts and fills as the case may dictate on lot by lot case as may be approved by the Planning and Zoning Administrator.
16. A 100-foot setback from the El Conquistador Patio Homes shall be observed.

Drainage Report

17. Show all water surface elevations on the drainage concept maps.
18. Determine and show the erosion hazard set back line in the unnamed wash.
19. Show all existing and proposed floodplains that have 100-year flows of 50-cfs or more on the drainage concept maps.
20. Provide calculations and details for sizing rip rap pads, scout holes and rock sizes in the final drainage report for this project.
21. A grading permit will not be issued for areas affected by the CLOMR/LOMR until the Town receives written acknowledgement from FEMA that the CLOMR application has been received and is complete. Revise page 2 of the drainage report accordingly.

Misc.

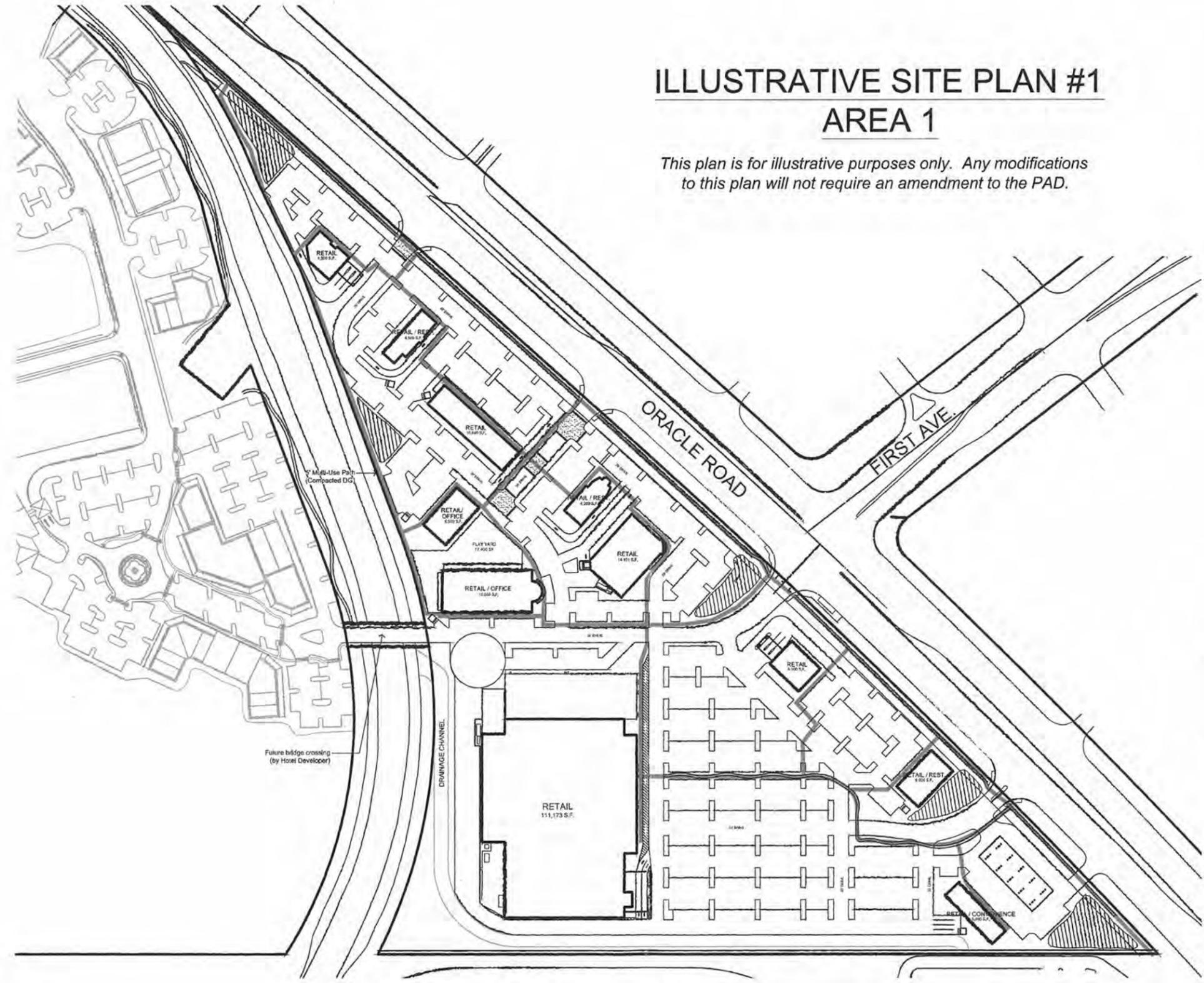
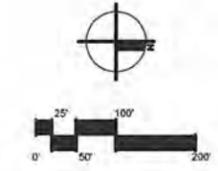
22. Resubmit 24 copies of the final PAD and electronic version with all graphics and maps.

APPENDIX 'C'

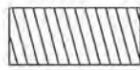
APPENDIX 'C-1'

ILLUSTRATIVE SITE PLAN #1 AREA 1

This plan is for illustrative purposes only. Any modifications to this plan will not require an amendment to the PAD.



SITE DATA

Site Area	: 1,212,055 S.F. (27.82 AC.)
Building Area	: 210,464 S.F.
F.A.R.	: .17
	Landscape Open Space
	5' Pedestrian Path

VICINITY MAP



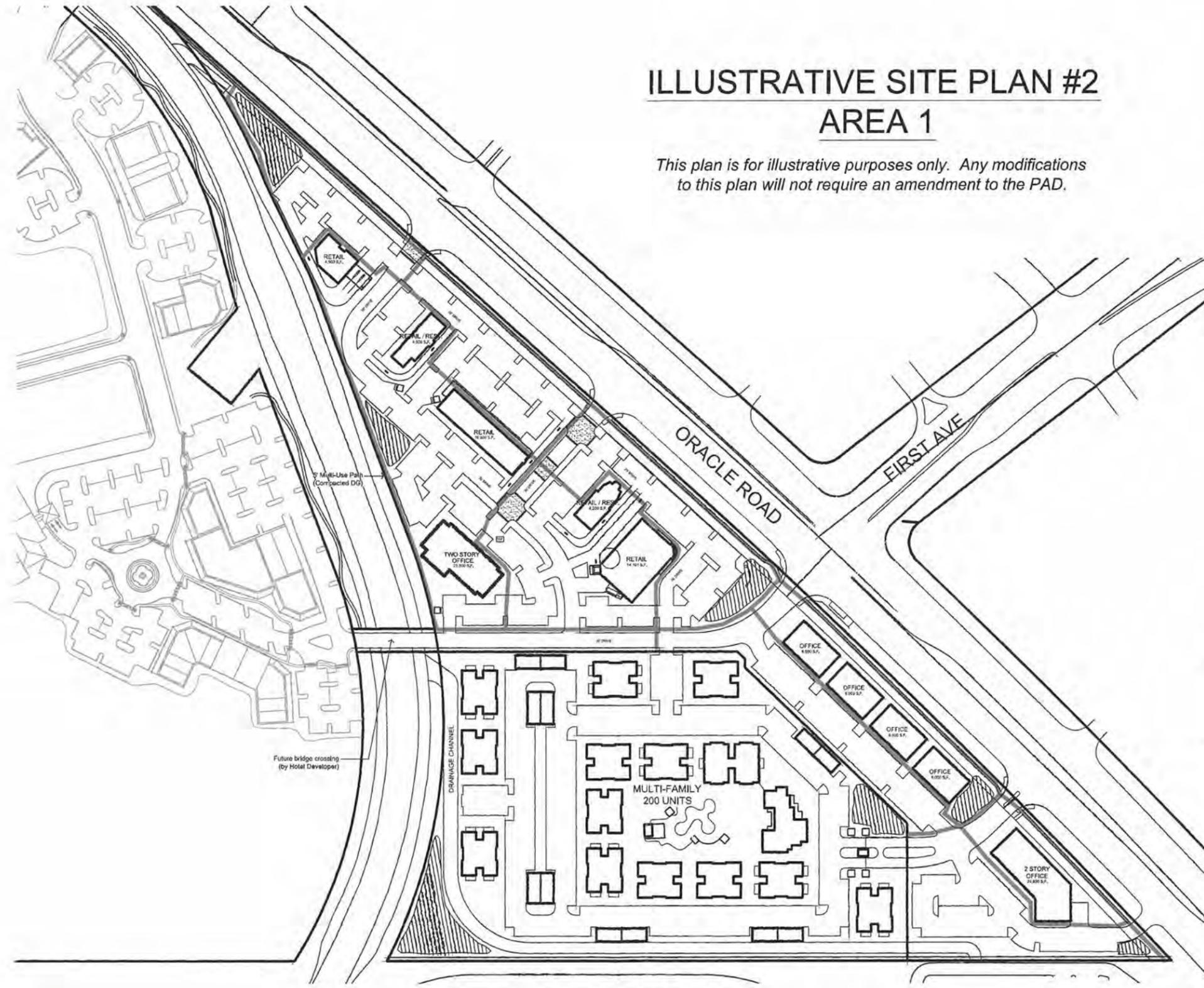
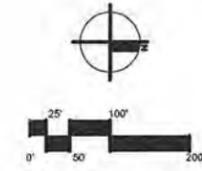
ORO VALLEY *Town Centre*

TOWN OF ORO VALLEY, ARIZONA

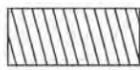


ILLUSTRATIVE SITE PLAN #2 AREA 1

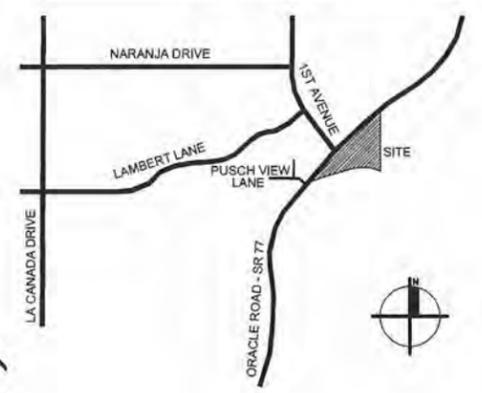
This plan is for illustrative purposes only. Any modifications to this plan will not require an amendment to the PAD.



SITE DATA

Site Area (NIC Multi-Family)	: 687,805 S.F. (15.79 AC.)
Building Area	: 110,301 S.F.
F.A.R.	: .16
	Landscape Open Space
	5' Pedestrian Path

VICINITY MAP



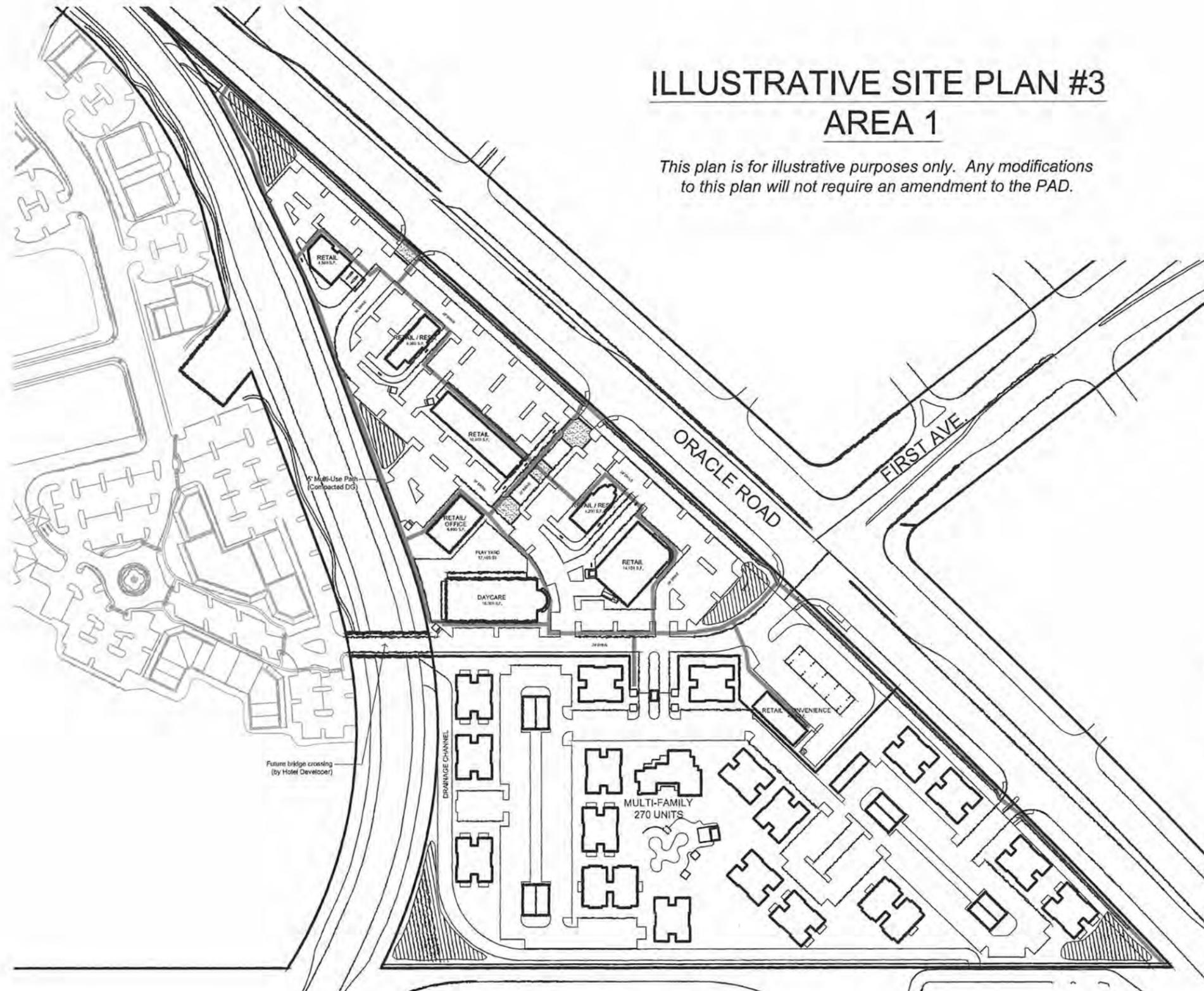
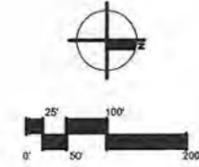
ORO VALLEY *Town Centre*

TOWN OF ORO VALLEY, ARIZONA



ILLUSTRATIVE SITE PLAN #3 AREA 1

This plan is for illustrative purposes only. Any modifications to this plan will not require an amendment to the PAD.



SITE DATA

Site Area : 539,753 S.F.
(NIC Multi-Family) (12.39 AC.)

Building Area : 63,701 S.F.

F.A.R. : .12

 Landscape
Open Space

 5' Pedestrian Path

VICINITY MAP



06.30.11
04152-ST41A-MF6

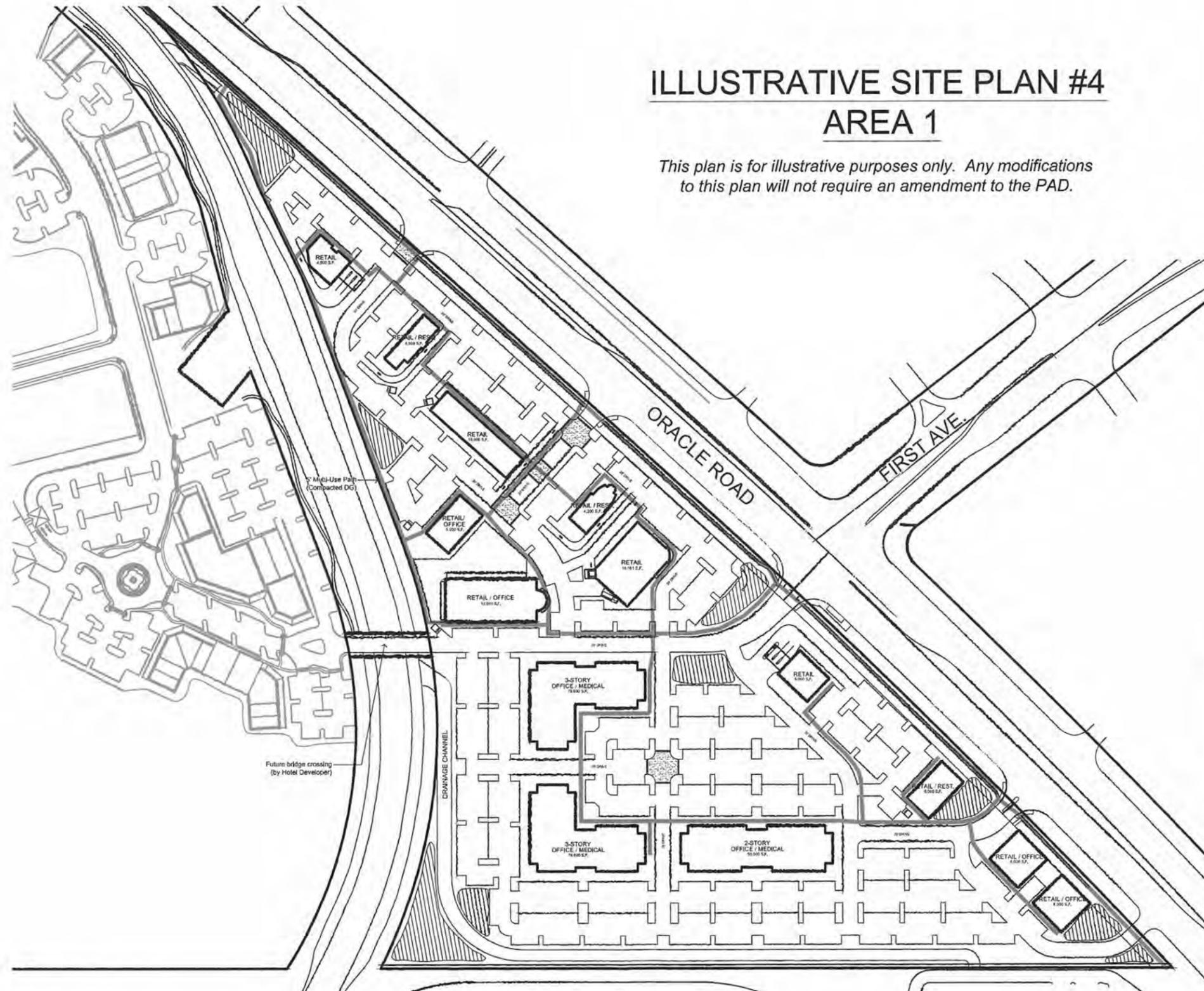
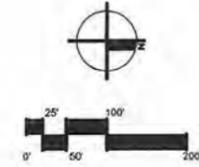


ORO VALLEY *Town Centre*
TOWN OF ORO VALLEY, ARIZONA



ILLUSTRATIVE SITE PLAN #4 AREA 1

This plan is for illustrative purposes only. Any modifications to this plan will not require an amendment to the PAD.



SITE DATA

Site Area	: 1,212,055 S.F. (27.82 AC.)
Building Area	: 288,301 S.F.
F.A.R.	: .24

- Landscape Open Space
- 5' Pedestrian Path

VICINITY MAP



06.30.11
04152-ST41A-OFF



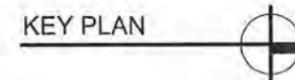
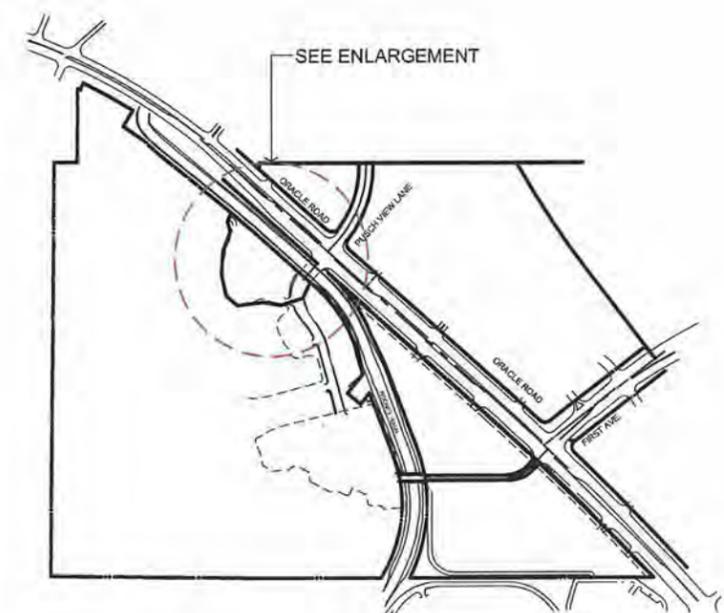
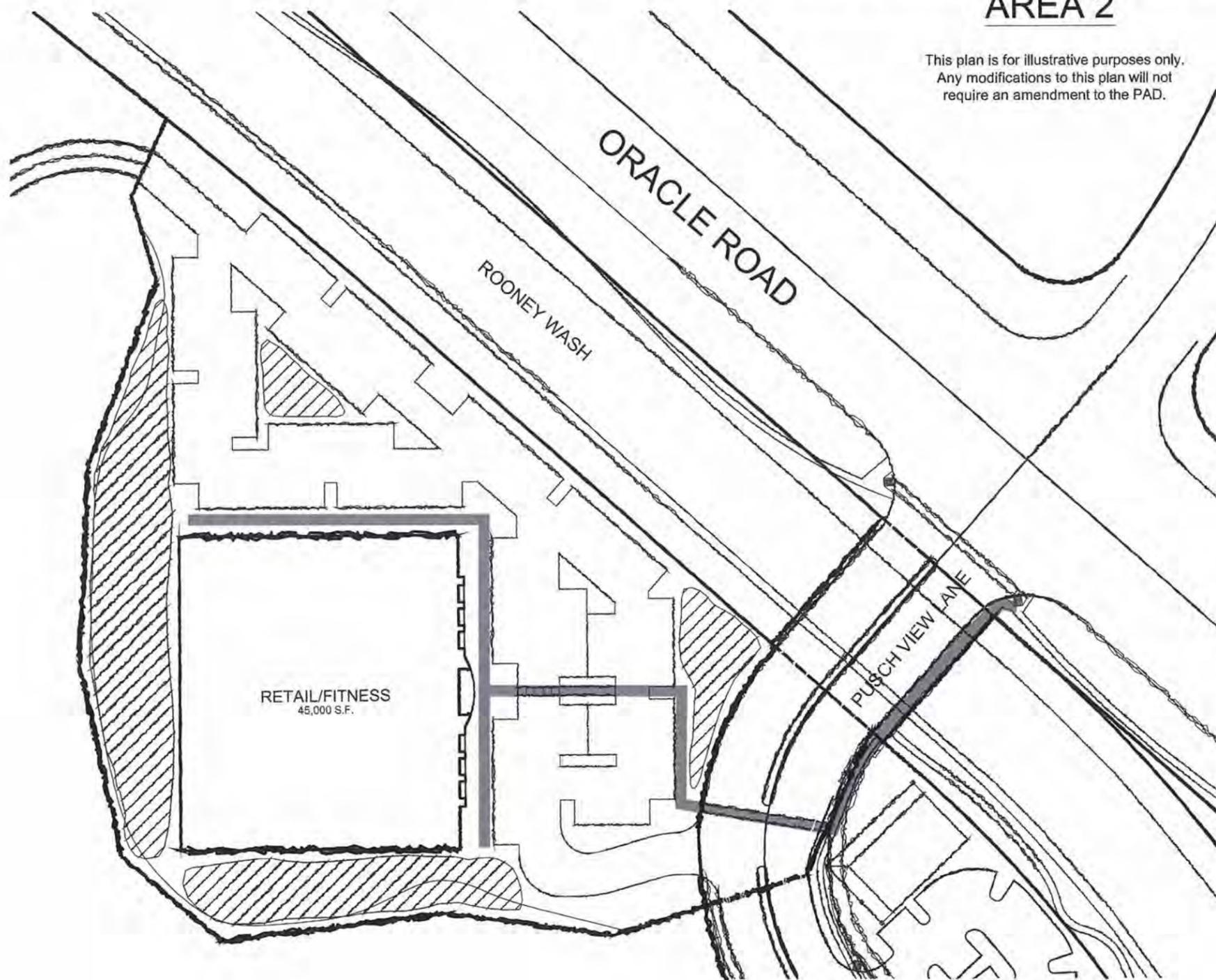
ORO VALLEY *Town Centre*
TOWN OF ORO VALLEY, ARIZONA



ILLUSTRATIVE SITE PLAN #1

AREA 2

This plan is for illustrative purposes only.
Any modifications to this plan will not
require an amendment to the PAD.



SITE DATA

Site Area	:	197,221 S.F. (4.5 AC.)
Building Area	:	45,000 S.F.
F.A.R.	:	.23

	Landscape Open Space
	5' Pedestrian Path

VICINITY MAP

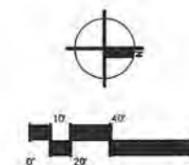


11-10-10
04152



ORO VALLEY *Town Centre*

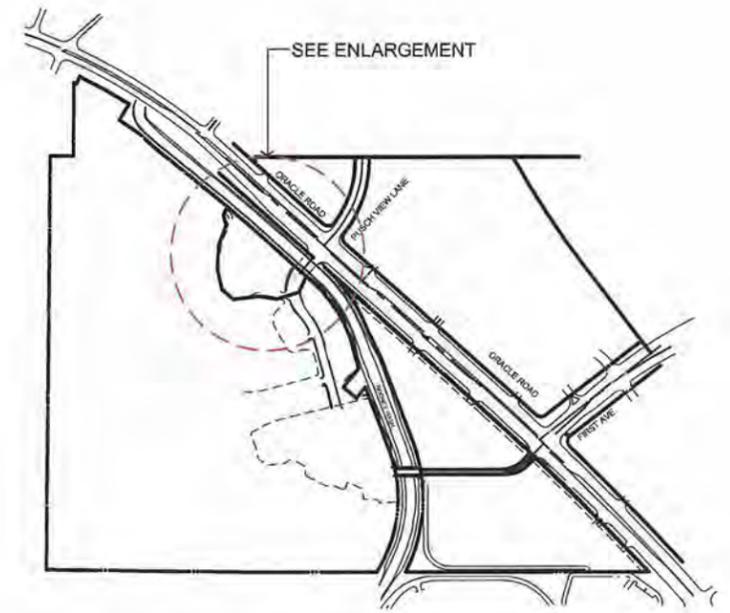
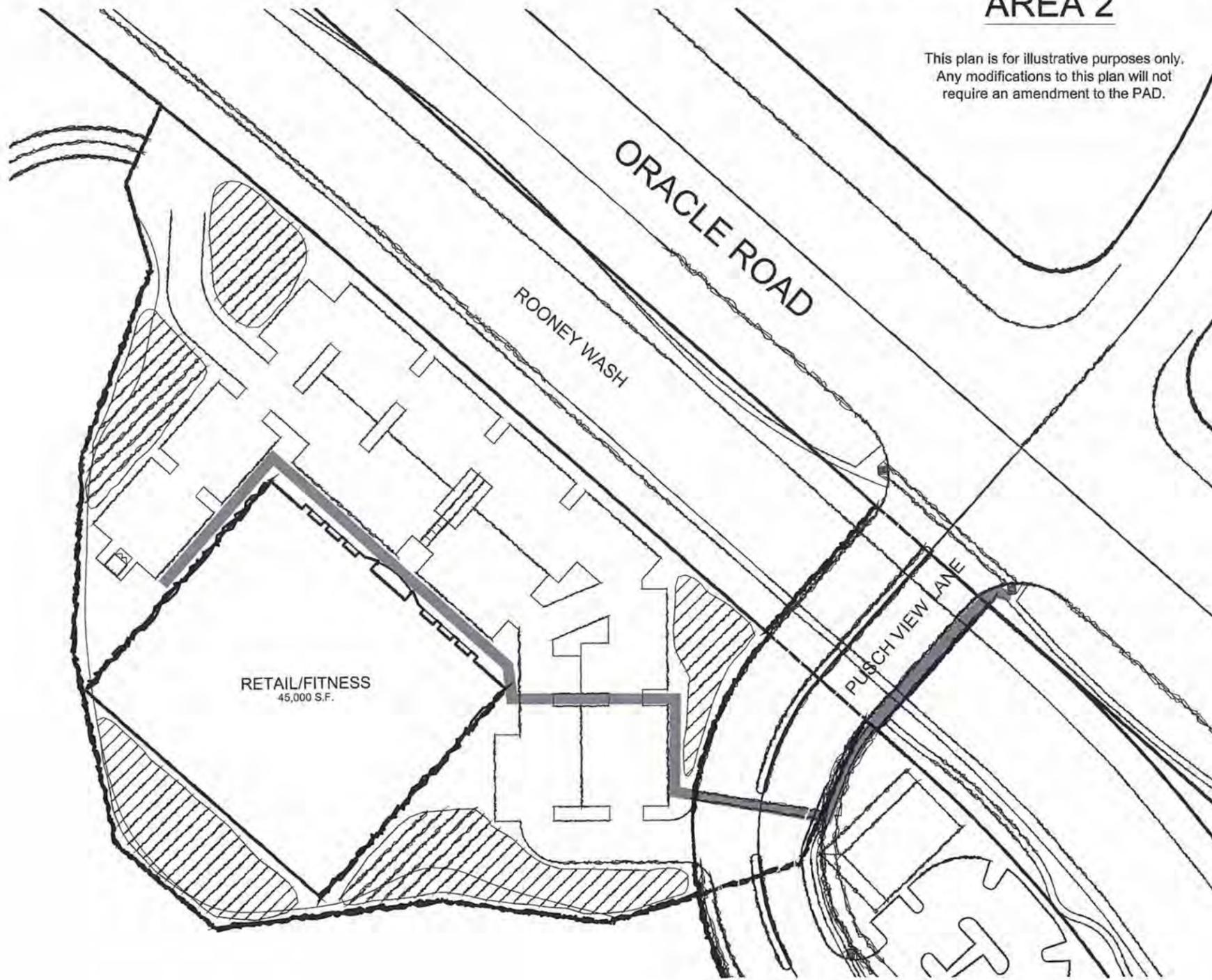
TOWN OF ORO VALLEY, ARIZONA



ILLUSTRATIVE SITE PLAN #2

AREA 2

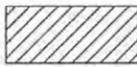
This plan is for illustrative purposes only.
Any modifications to this plan will not
require an amendment to the PAD.



KEY PLAN

SITE DATA

Site Area : 197,221 S.F.
(4.5 AC.)
Building Area : 45,000 S.F.
F.A.R. : .23

-  Landscape Open Space
-  5' Pedestrian Path

VICINITY MAP

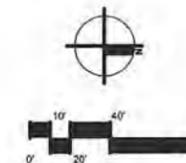


11-10-10
04152



ORO VALLEY *Town Centre*

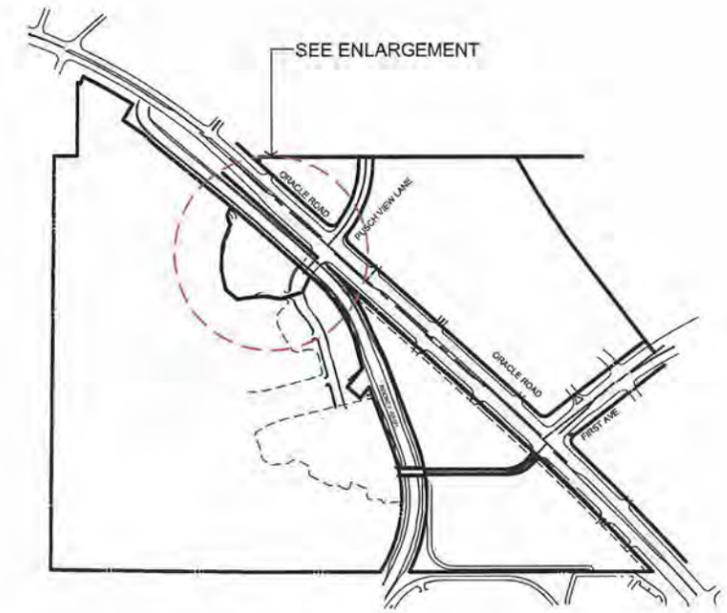
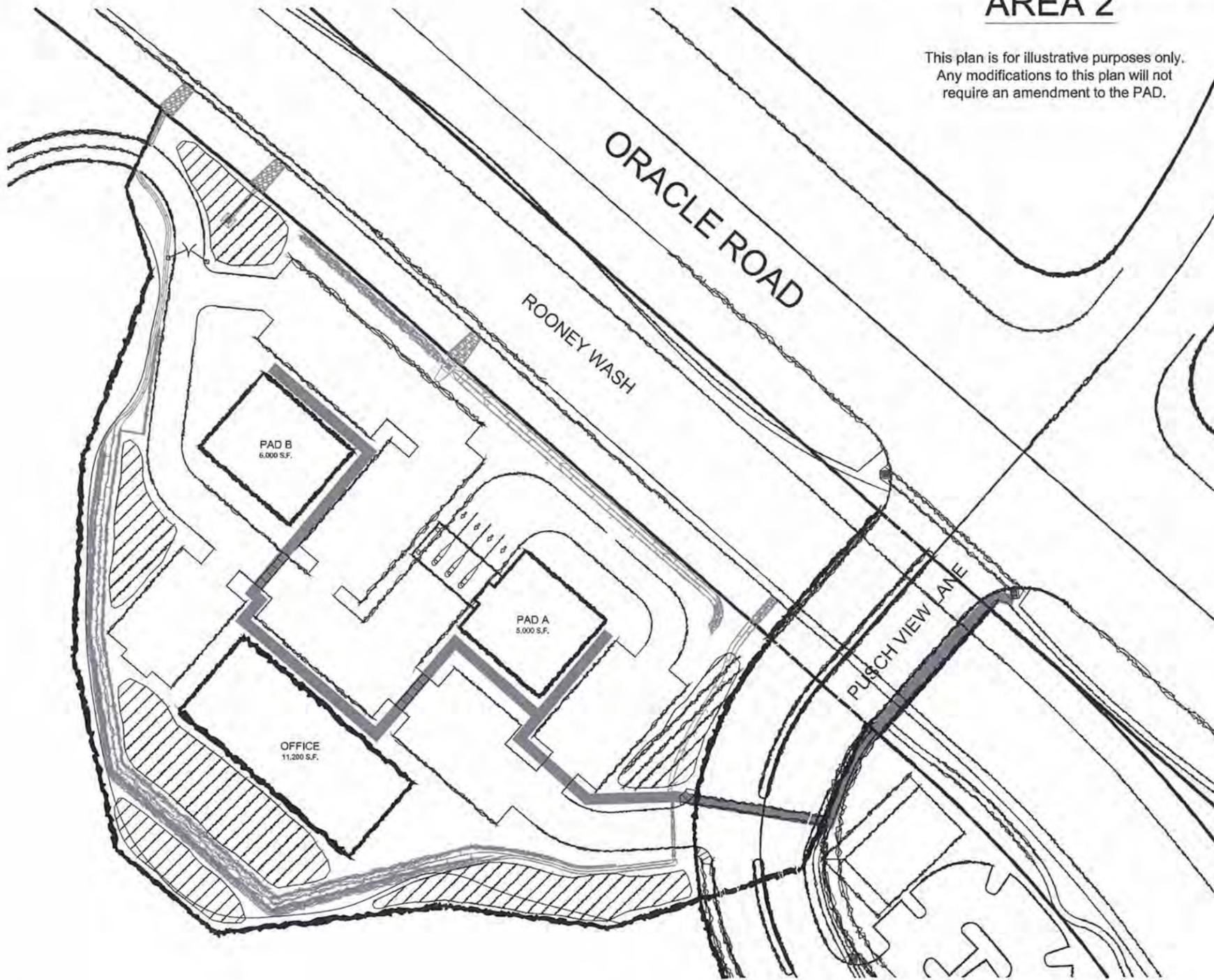
TOWN OF ORO VALLEY, ARIZONA



ILLUSTRATIVE SITE PLAN #3

AREA 2

This plan is for illustrative purposes only.
Any modifications to this plan will not
require an amendment to the PAD.

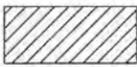


KEY PLAN



SITE DATA

Site Area	:	197,221 S.F. (4.5 AC.)
Building Area	:	22,200 S.F.
F.A.R.	:	.11

	Landscape Open Space
	5' Pedestrian Path

VICINITY MAP

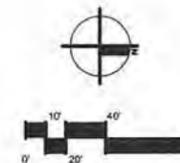


11-10-10
04152



ORO VALLEY *Town Centre*

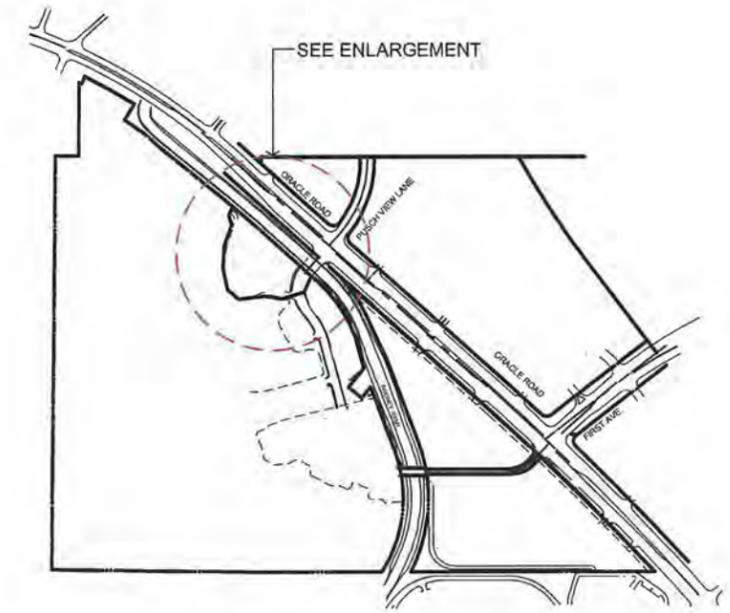
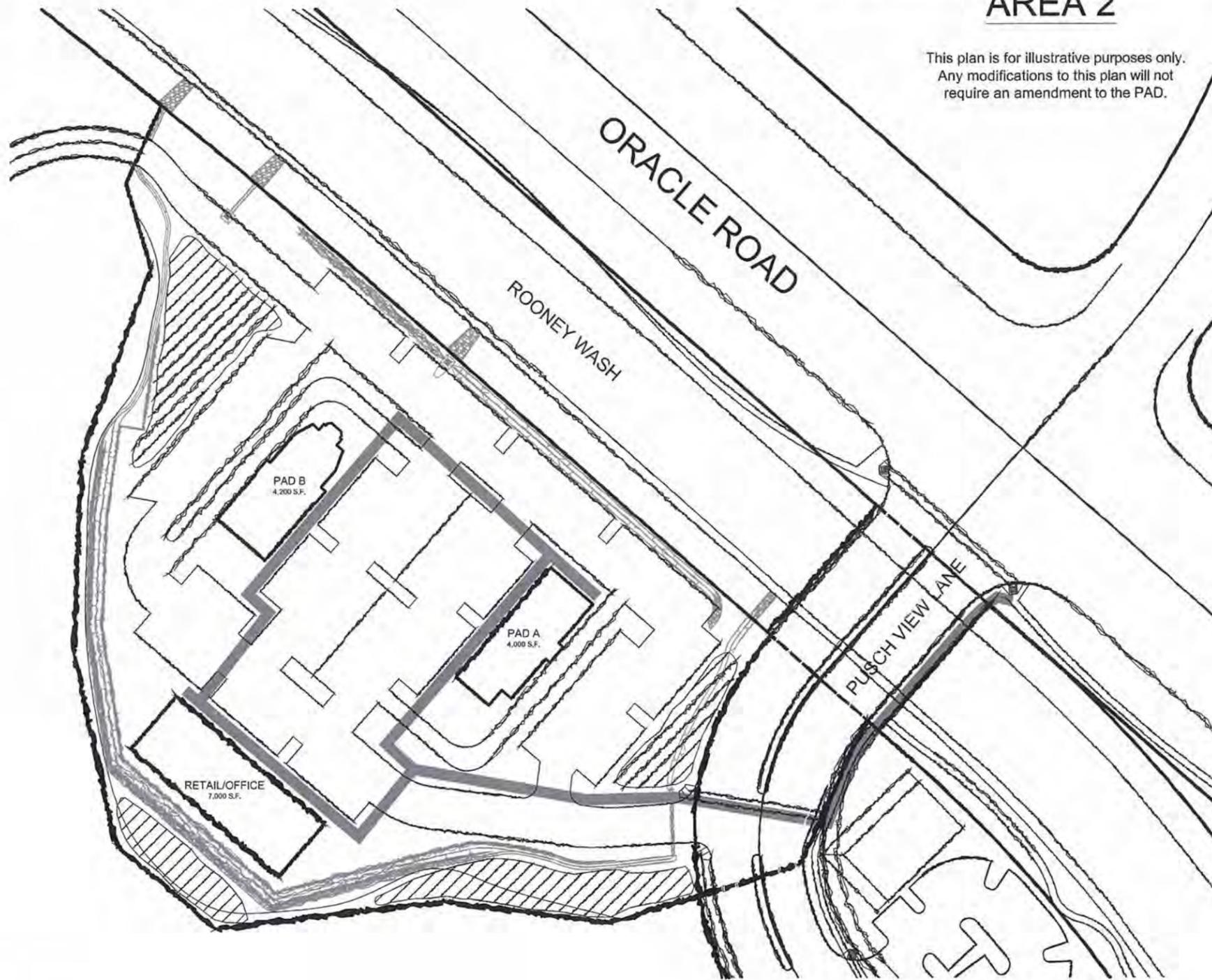
TOWN OF ORO VALLEY, ARIZONA



ILLUSTRATIVE SITE PLAN #4

AREA 2

This plan is for illustrative purposes only.
Any modifications to this plan will not
require an amendment to the PAD.



KEY PLAN

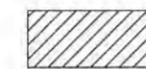


SITE DATA

Site Area : 197,221 S.F.
(4.5 AC.)

Building Area : 15,200 S.F.

F.A.R. : .08



Landscape
Open Space



5' Pedestrian
Path

VICINITY MAP

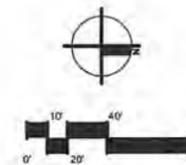


11-10-10
04152

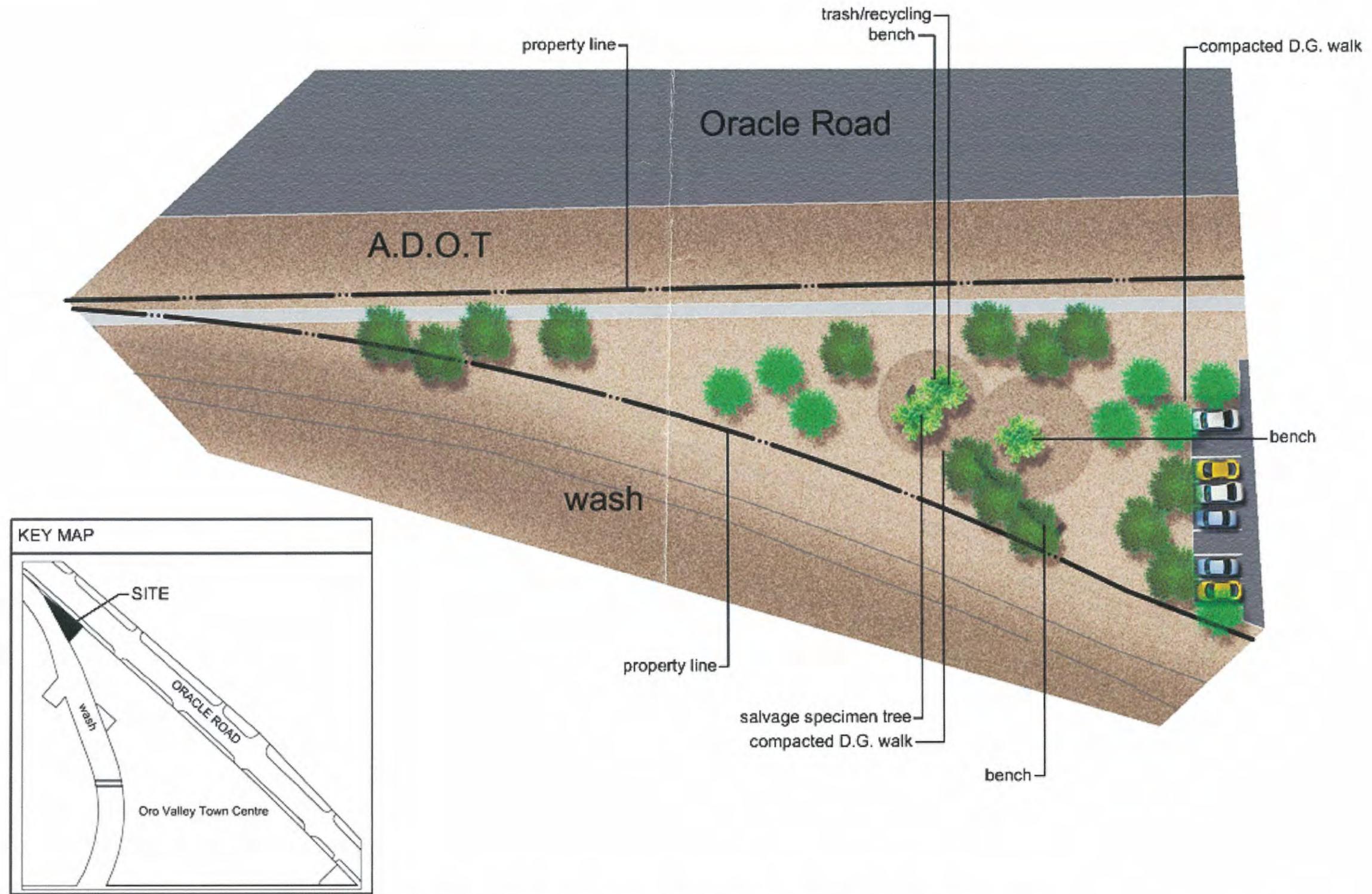


ORO VALLEY *Town Centre*

TOWN OF ORO VALLEY, ARIZONA



APPENDIX 'C-2'

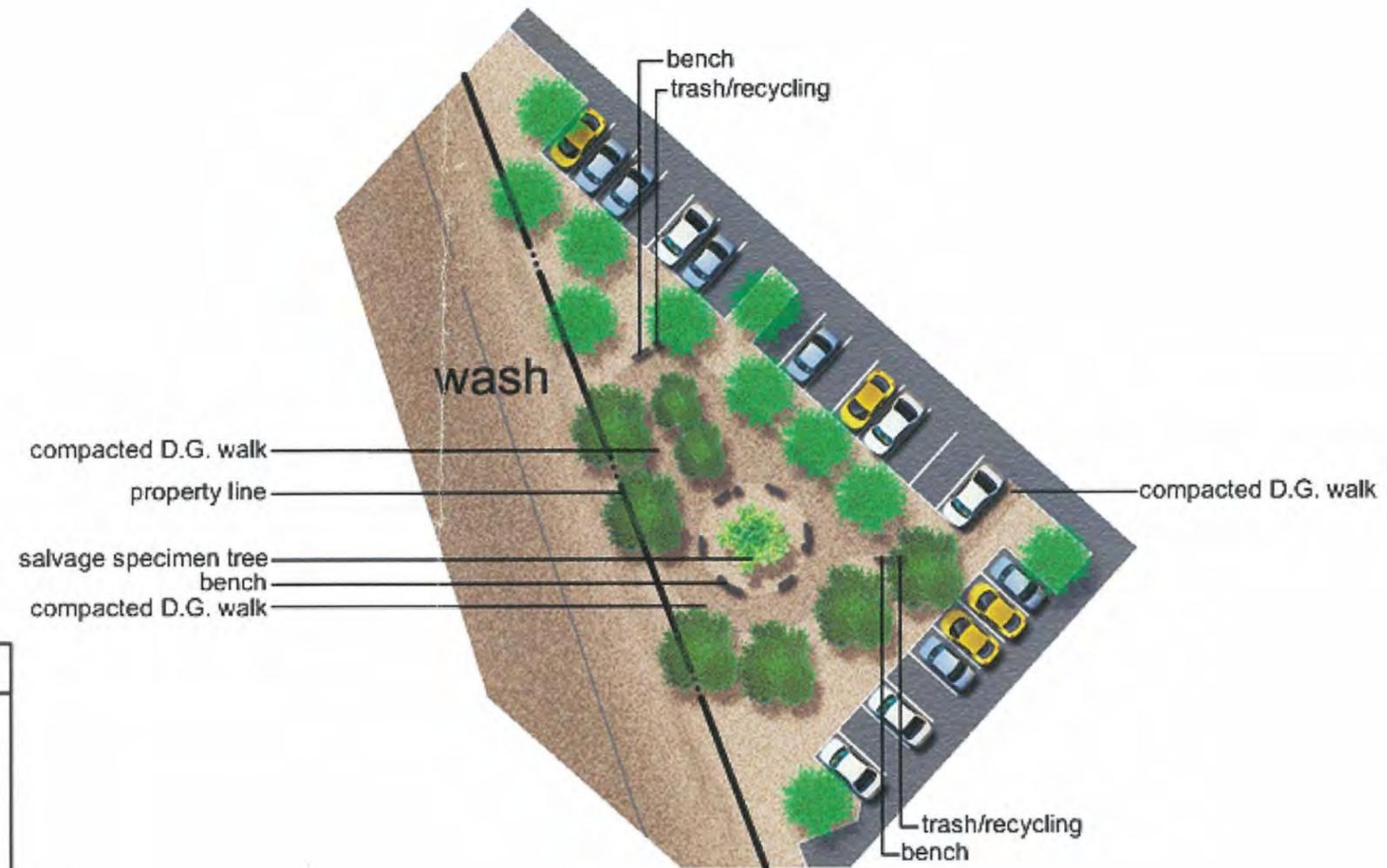
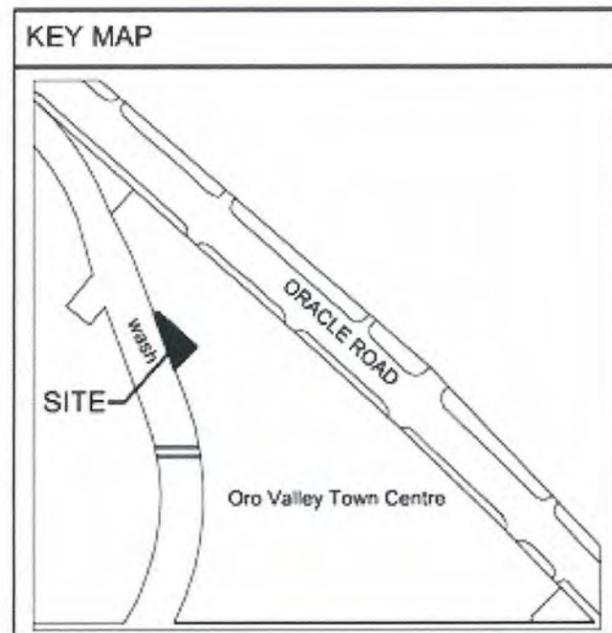


COMMON OPEN SPACE EXHIBIT 20,189 sq.ft.



ORO VALLEY *Town Centre*
TOWN OF ORO VALLEY, ARIZONA



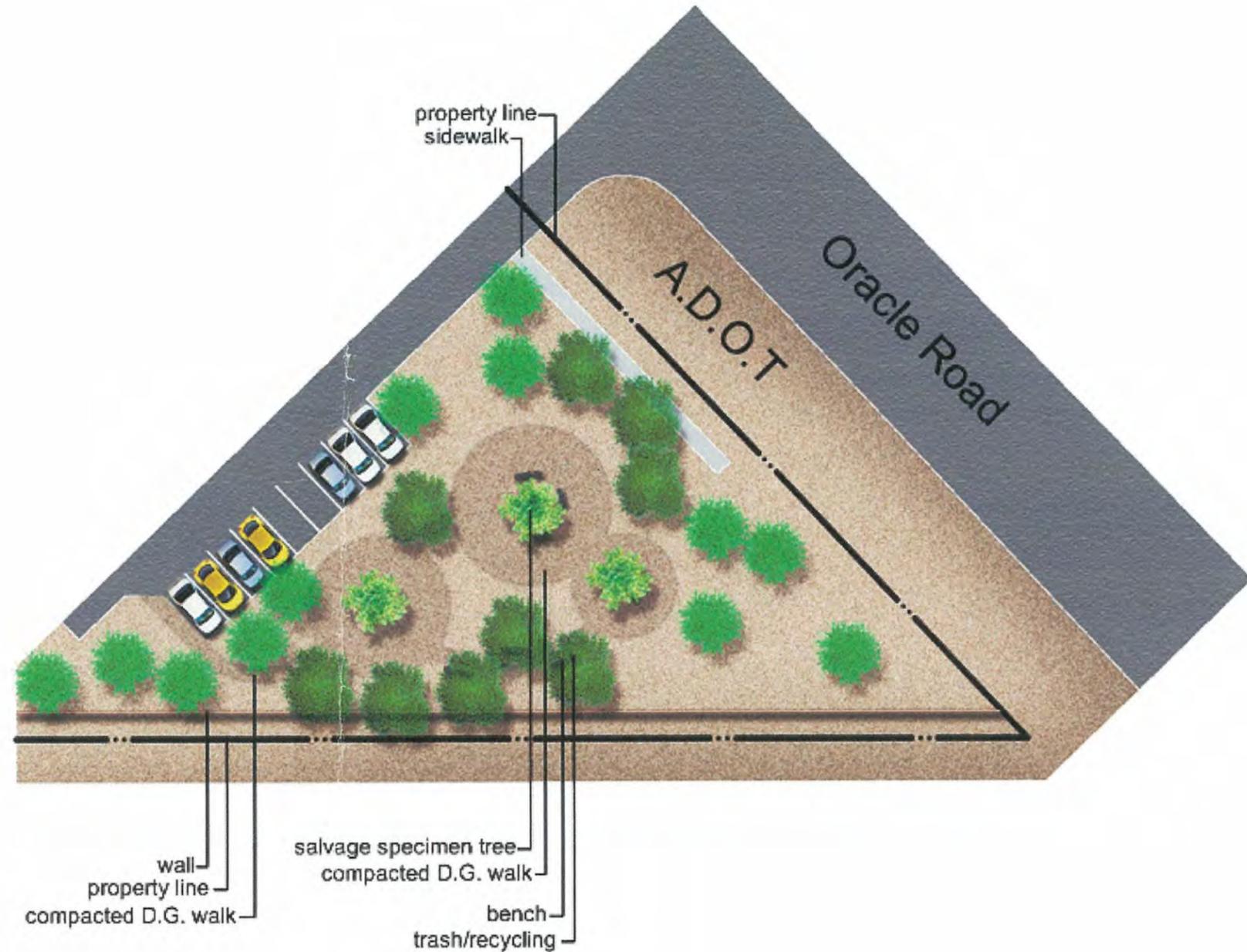
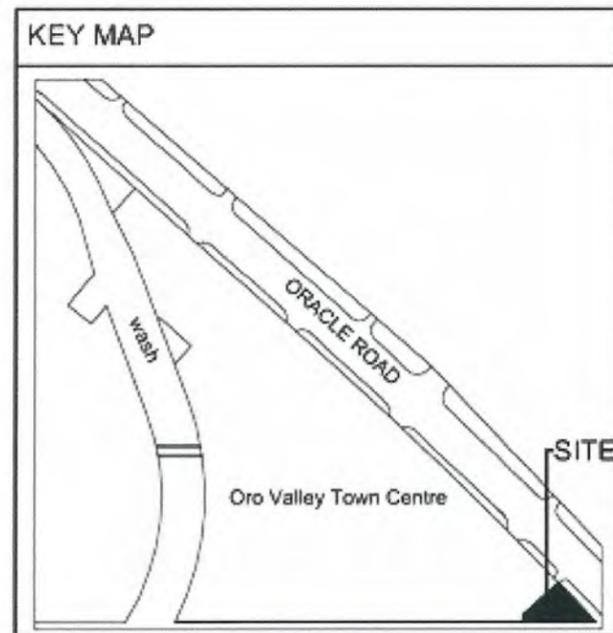


COMMON OPEN SPACE EXHIBIT 8,030 sq.ft.



ORO VALLEY *Town Centre*
TOWN OF ORO VALLEY, ARIZONA





COMMON OPEN SPACE EXHIBIT 15,278 sq.ft.



ORO VALLEY *Town Centre*
TOWN OF ORO VALLEY, ARIZONA



APPENDIX 'D'



Federal Emergency Management Agency

Washington, D.C. 20472

MAR 3 1 2003

LETTER OF MAP AMENDMENT
218-70-R

Community: Town of Oro Valley, AZ
Community No.: 040109
Map Panel Affected: 04019C1039K
Map Effective Date: February 8, 1999

IN REPLY REFER TO CASE NO. 03-09-0206A

We reviewed a request dated November 21, 2002, for a Letter of Map Amendment. Using the information submitted and the effective National Flood Insurance Program (NFIP) map, we determined the property described below is not in a Special Flood Hazard Area (SFHA), the area that would be inundated by the flood having a 1-percent chance of being equaled or exceeded in any given year (base flood).

Property Description: Town Center at Rooney Ranch, Portions of Sections 7 and 18, Township 12 South, Range 14 East, and Section 13, Township 12 South, Range 13 East, Gila and Salt River Base and Meridian, as described in the Quit Claim Deed recorded as Sequence No. 8807880, on Docket 08310, Pages 1082 through 1086, in the Office of the Recorder, Pima County, Arizona

Flooding Source: Rooney Wash

The legal descriptions of the portions mentioned above are as follows:

Rooney Ranch Parcel H:

COMMENCING at the south quarter corner of Section 7; thence N 00°20'38" W, 979.43 feet to the POINT OF BEGINNING; thence N 00°20'38" W, 1557.04 feet to the southeasterly right of way line of Oracle Road; thence 1460.87 feet along a curve to the left having a radius of 16,270.22 feet; thence S 41°25'55" W, 1380.92 feet to a point on the north right of way line of the Rooney Channel; thence northeasterly 487.13 feet along a curve to the right having a radius of 1014.93 feet; thence N 63°14'24" E, 201.66 feet; thence N 68°55'55" E, 564.00 feet; thence 860.80 feet along a curve to the right having a radius of 1034.93 feet to the POINT OF BEGINNING

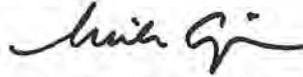
Rooney Ranch Parcel I:

BEGINNING at the north quarter corner of Section 18; thence S 00°23'26" W, 1310.75 feet; thence N 89°47'46" W, 2635.54 feet; thence N 00°00'51" W, 148.47 feet; thence S 89°48'34" W, 468.43 feet to the east right of way line of Oracle Road; thence N 23°08'24" E, 17.45 feet; thence N 65°39'07" W, 50.31 feet; thence 362.13 feet along a curve to the right having a radius of 3719.72 feet; thence S 58°25'16" E, 117.80 feet; thence N 35°43'26" E, 163.65 feet to a point on the southerly right of way line of the Rooney Channel; thence 125.13 feet along a curve to the left having a radius of 1014.93 feet; thence N 38°37'32" E, 544.34 feet; thence 286.72 feet along a curve to the right having a radius of 5669.58 feet; thence N 41°26'38" E, 483.62 feet; thence 429.54 feet along a curve to the right having a radius of 894.93 feet; thence N 74°37'28" E, 201.66 feet; thence N 68°55'05" E, 11.18 feet; thence S 51°04'05" E, 151.75 feet; thence N 38°55'55" E, 110.00 feet; thence N 51°04'05" W, 88.24 feet; thence N 68°55'55" E, 425.49 feet; thence 811.15 feet along a curve to the right having a radius of 874.93 feet; thence S 00°20'38" E, 795.51 feet to the POINT OF BEGINNING

This letter amends the above-referenced NFIP map to remove the property from the SFHA. The property is now in Zone X (shaded), an area of moderate flooding outside the SFHA.

free, at 1-877-FEMA MAP (1-877-336-2627) or by facsimile at (703) 960-9125.

Sincerely,

A handwritten signature in black ink, appearing to read "Michael Grimm".

Michael Grimm, Acting Chief
Hazards Study Branch
Federal Insurance and Mitigation Administration

Enclosure

cc: Community Map Repository

APPENDIX E



WestLand Resources, Inc.
Engineering and Environmental Consultants

October 26, 2010

Mr. Jay Mitchell
Canyon Del Oro Partners
4765 East 91st Street, Suite 200
Tulsa, Oklahoma 74137

**Re: CACTUS FERRUGINOUS PYGMY-OWL SURVEY AT THE
ROONEY RANCH II PROPERTY, SPRING 2010
WESTLAND PROJECT NO. 1305.05 343 343**

Dear Mr. Mitchell:

At your request, WestLand Resources, Inc. (WestLand) conducted three complete surveys for the cactus ferruginous pygmy-owl (CFPO; *Glaucidium brasilianum cactorum*) during the spring 2010 survey season at your Rooney Ranch II property located near 1st Avenue and Oracle Road within the city limits of Oro Valley, Pima County, Arizona¹ (Figure 1). The survey area included four non-contiguous parcels totaling approximately 142 acres. The surveys were completed under Arizona Game and Fish Department License Number SP749638 using protocols adopted in 2000 by the U.S. Fish and Wildlife Service (USFWS). Because the CFPO was not listed under the Endangered Species Act when the surveys were conducted, a USFWS permit was not required, although WestLand still holds USFWS Permit TE834782. No CFPO were detected during these surveys. A summary of the current survey status of your property is provided below, followed by a more detailed discussion of survey methods and field observations.

CFPO SURVEY SUMMARY

- ◆ CFPO surveys completed on the property by WestLand according to USFWS project clearance protocol annually from 2009 through 2010.
 - ◆ No CFPO detected during our survey efforts.
 - ◆ The CFPO is not currently federally listed and survey is not required for federal permits. The USFWS survey protocol recommends two consecutive years of CFPO survey prior to vegetation-clearing activity, and annual coverage until clearing is complete. Rooney Ranch II property currently meets this recommendation through the end of 2010.
-

The USFWS survey protocol recommends three CFPO surveys in two consecutive years with no CFPO detections prior to commencing vegetation clearing. The survey season is January 1st to June 30th, with at least one survey conducted between February 15th and April 15th and at least 15 days between each survey. Survey results are valid through the end of the calendar year. If vegetation clearing is not

¹ Township 12 South, Range 13 East, portion of Section 13; Township 12S, Range 14East, portion of Section 7 & 18
Q:\CFPO\2010\Reports\1305.05 Rooney Ranch II CFPO report 10.doc

completed by January 1st, the protocol recommends three more surveys before further land clearing of suitable habitat (USFWS Private Landowner Guidance, March 2000).

Survey was conducted in accordance with the USFWS' CFPO project clearance survey protocol except as discussed below. The maximum distance between call stations is 400 meters (0.25 mile). At each call station, a 2-minute initial listening period is followed by at least 10 minutes of 30-second CFPO vocalization broadcasts followed by 90-second listening periods. The final broadcast is followed by a 3-minute listening period. The total time spent at each station is at least 15 minutes. If background noise is high, stations are placed at 150-meter (500-foot) intervals and at least 20 minutes is spent calling and listening. Survey periods are restricted to one hour before to two hours after sunrise and one hour before to one hour after sunset, except during the five nights centered on the full moon, when calling also may be conducted as long as the moon is visible.

The survey area includes three parcels totaling approximately 13 acres at the t-intersection of Lambert Lane and 1st Avenue, separated by the high-traffic roads, and a fourth parcel of approximately 129 acres less than 0.5 mile to the south, at the intersection of 1st Avenue and Oracle Road. The parcels represent some of the only remaining open lands that are developable in the immediate vicinity, except to the north of the northern parcels.

The three surveys were conducted on the subject property according to accepted protocol on April 9 and 16; May 19 and 21; and June 23. Twelve calling stations provided complete coverage of the parcels during each survey. Weather conditions during the survey sessions were within the range considered acceptable by USFWS for CFPO survey.

The surveys conformed to the requirement of at least 15 days between surveys, but no survey was completed between February 15 and April 15. However, WestLand contacted the USFWS and obtained confirmation that they would consider the surveys acceptable for coverage in 2009 should the project require Endangered Species Act consultation. The email correspondence to this effect is attached.

No CFPO were detected during the survey efforts.

Other information recorded during the survey is found on the field data forms that will be provided to the USFWS pursuant to our federal survey permit conditions.

The delisting of the CFPO took effect on May 15, 2006 and it remains delisted at the time of this report. A petition to list the CFPO as a threatened or endangered species was submitted to the USFWS on March 20, 2007. In June 2008, the USFWS published its 90-day finding that listing of the CFPO may be warranted and announced the initiation of a 12-month status review of CFPO. However, there have been delays in the USFWS publishing their decision, and no date for publishing has been announced. Their status review is considering the western population of CFPO, which extends from Sinaloa, Mexico to Southern Arizona.

At the conclusion of their status review, the USFWS will make one of the following three determinations regarding CFPO:

- Listing under the ESA is not warranted, in which case no further action will be taken.

Mr. Jay Mitchell
October 26, 2010
Page 3

- Listing under the ESA is warranted and the USFWS proceeds to publish a proposal to list the species as threatened or endangered and with or without critical habitat.
- Listing under the ESA is warranted, but is precluded by other, higher priority activities.

Because the CFPO is not federally protected by the Endangered Species Act (ESA), federal actions on a project cannot require CFPO survey pursuant to the ESA. However, the following status for your project could be pertinent in the event the CFPO is listed in the near future. The area has been surveyed in both 2009 and 2010, and meets the USFWS protocol recommendation for survey in the two years immediately prior to initiation of vegetation clearing, should the project be initiated in 2010. The surveys conducted this year provide coverage through the end of 2010. Once the project is initiated, the USFWS protocol recommends surveys are conducted annually until vegetation clearing has been completed.

We appreciate the opportunity to complete this survey on your behalf. If you have any questions or we can be of additional assistance, please contact Jim Tress or me at (520) 206-9585.

Sincerely,
WestLand Resources, Inc.



Scott D. Hart
Project Manager

SDH:ad

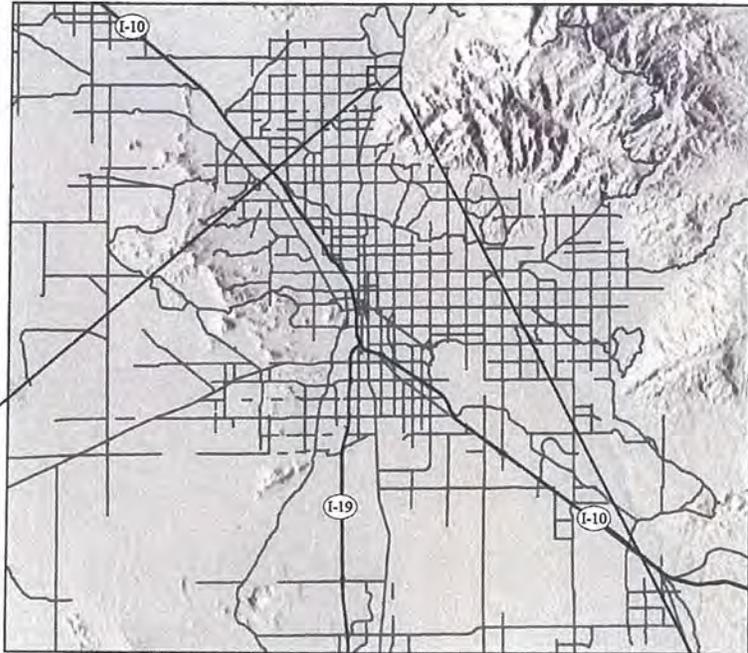
Enclosure: Figure 1, Project Map

ARIZONA

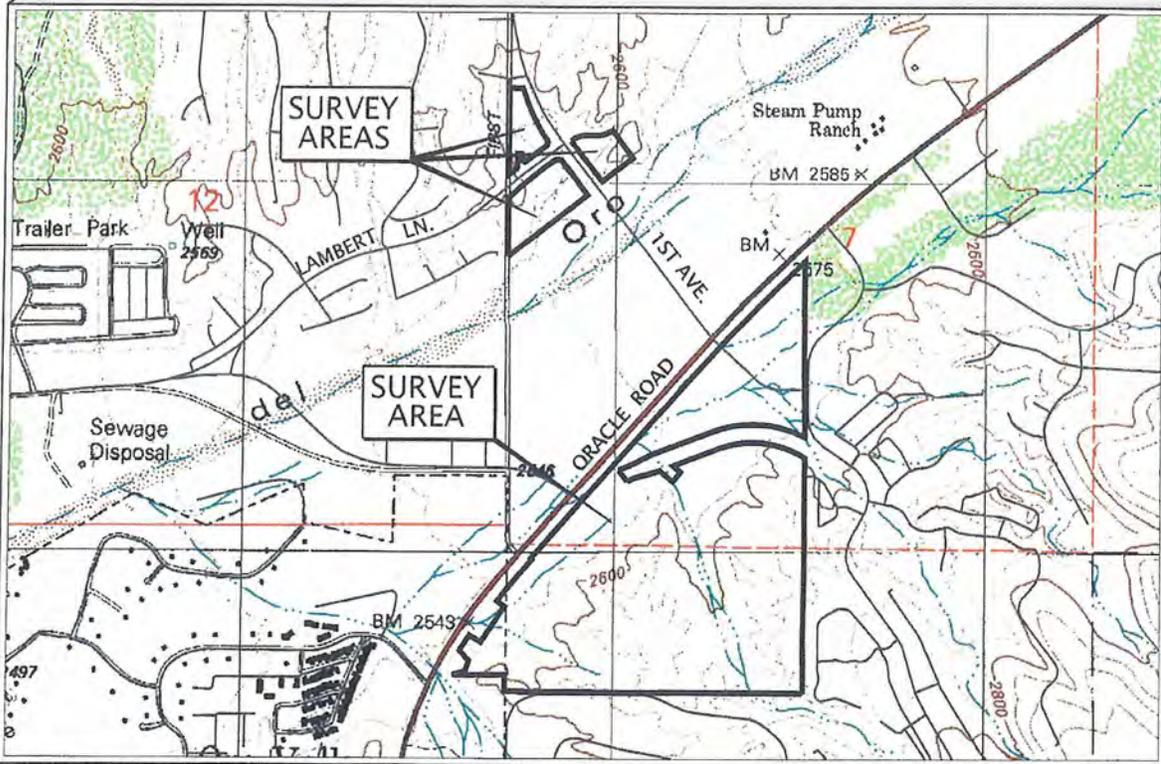
TUCSON METROPOLITAN AREA



PROJECT
LOCATION



Approximate Scale 1" = 10 Miles



T.12S.,R.13E., Portion Section 13,
T.12S.,R.14E., Portion Section 7 & 18, Pima County, Arizona,
Oro Valley USGS 7.5' Quadrangle.

CANYON DEL ORO PARTNERS Rooney Ranch II

2010 Cactus Ferruginous Pygmy-Owl Survey

Figure 1

WestLand Resources Inc.
Engineering and Environmental Consultants
2343 E. Broadway Blvd., Suite 202
Tucson, Az 85719 (520) 206-8588

0' 800' 1600'
APPROX. SCALE: 1" = 1600'

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APPENDIX 'F'

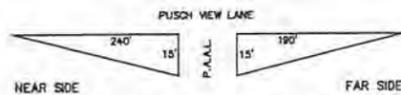
GENERAL NOTES:

- A. GROSS AREA OF THIS DEVELOPMENT IS 141.15 ACRES.
 B. EXISTING ZONING IS R1-144.
 PROPOSED ZONING IS ORO VALLEY TOWN CENTRE PLANNED AREA DEVELOPMENT.
 C. GROSS FLOOR AREA IS AS FOLLOWS:
- | | |
|----------|--------------|
| BLDG. A: | 13,000 S.F. |
| BLDG. B: | 6,500 S.F. |
| BLDG. C: | 6,000 S.F. |
| BLDG. D: | 27,100 S.F. |
| BLDG. E: | 86,500 S.F. |
| BLDG. F: | 51,000 S.F. |
| BLDG. G: | 7,200 S.F. |
| BLDG. H: | 55,800 S.F. |
| BLDG. I: | 10,600 S.F. |
| BLDG. J: | 11,100 S.F. |
| BLDG. K: | 12,400 S.F. |
| BLDG. L: | 5,000 S.F. |
| BLDG. M: | 41,500 S.F. |
| BLDG. N: | 29,000 S.F. |
| BLDG. O: | 150,000 S.F. |
| BLDG. P: | 6,700 S.F. |
| BLDG. Q: | 15,000 S.F. |
| BLDG. R: | 8,000 S.F. |
| BLDG. S: | 3,500 S.F. |
| BLDG. T: | 7,300 S.F. |
| BLDG. U: | 29,700 S.F. |
| TOTAL: | 566,700 S.F. |

- D. FLOOR AREA RATIO FOR COMMERCIAL AREA IS 0.29 NET (0.11 GROSS).
 F. THE RESIDENTIAL GROSS DENSITY IS 0.8 DWELLING UNITS PER ACRE.
 G. THERE ARE 57 RESIDENTIAL DWELLINGS WITHIN THE RESIDENTIAL PORTION OF THE SITE.
 THERE ARE NO RESIDENCES WITHIN THE COMMERCIAL PORTION OF THE SITE.
 H. BUILDING HEIGHTS WILL BE IN ACCORDANCE WITH THE ORO VALLEY TOWN CENTRE P.A.D.
 I. TOTAL NUMBER OF PARKING SPACES PROVIDED (NON-RESIDENTIAL) IS 1,633.
 THE AMOUNT OF RESIDENTIAL OFF-STREET PARKING WILL BE IN ACCORDANCE WITH
 ORO VALLEY ZONING CODE REVISED.
 J. APPROXIMATELY 72 ACRES OF NATURAL OPEN SPACE WILL REMAIN UNDISTURBED.
 K. FLOODPLAINS AND DRAINAGE WILL NOT BE ALTERED, DISTURBED OR OBSTRUCTED WITHOUT
 THE APPROVAL OF THE ORO VALLEY TOWN COUNCIL. REFER TO THE PRELIMINARY
 DRAINAGE REPORT FOR LOCATION OF FLOODPLAINS TO BE ALTERED AND FOR AN OVERALL
 DRAINAGE STRATEGY FOR THIS PROJECT.
 L. THIS PROJECT WILL BE SERVED BY ORO VALLEY WATER UTILITY WHICH HAS BEEN DESIGNATED AS
 HAVING AN ASSURED 100-YEAR WATER SUPPLY BY THE DIRECTOR OF WATER RESOURCES.
 M. FOR DETAILS ABOUT LOCATION AND GENERAL TYPES OF LANDSCAPING, REFER TO
 SECTION II-E: 'PROJECT DESIGN CRITERIA' OF THE ORO VALLEY TOWN CENTRE P.A.D. DOCUMENT.
 N. FOR DETAILS ABOUT PROJECT PHASING, REFER TO SECTION II-B: 'COMMUNITY GOALS AND POLICIES'
 OF THE ORO VALLEY TOWN CENTRE P.A.D. DOCUMENT.
 O. FOR DETAILS ABOUT BUILDING HEIGHTS, REFER TO SECTION II-D: 'PLANNED AREA DEVELOPMENT PROPOSAL'
 OF THE ORO VALLEY TOWN CENTRE P.A.D. DOCUMENT.

LEGEND

- EXISTING 5' CONTOUR
- EXISTING 1' CONTOUR
- GRADING LIMITS
- EXISTING PAVEMENT AND CURB
- EXISTING WATERLINE AND VALVE
- EXISTING SEWER LINE AND MANHOLE
- NEW WATERLINE AND VALVE
- NEW SEWER LINE AND MANHOLE
- DEVELOPMENT BOUNDARY
- EASEMENT LINE
- 100-YEAR FLOOD PLAIN LIMIT
- BICYCLE PARKING FACILITIES
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- FINISHED FLOOR ELEVATION
- WATERSHED
- FLOW DIRECTION
- DRAINAGE CONCENTRATION POINT
- CHANNEL
- CHANNEL SECTION
- 100-YEAR FLOOD LIMITS
- MINNING'S/HEC-RAS CROSS SECTION
- CULVERT
- ROCK LINED SCOUR HOLE
- BANK PROTECTION
- NUMBER OF PARKING SPACES
- FIRST FLUSH BASIN



SIGHT VISIBILITY TRIANGLE DETAIL
N.T.S.

**TENTATIVE DEVELOPMENT PLAN FOR
 ORO VALLEY TOWN CENTRE
 PLANNED AREA DEVELOPMENT**

PORTIONS OF SECTION 13, TOWNSHIP 12 SOUTH, RANGE 13 EAST
 AND SECTIONS 7 AND 18, TOWNSHIP 12 SOUTH, RANGE 14 EAST,
 GILA AND SALT RIVER MERIDIAN,
 TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA
 ORO VALLEY CASE NUMBER OV9-01-05
 SUBMITTED: 04.29.2002

REVISED: 6.7&28, 7.16, 9.13, 12.13.2002, 7.10 & 12.5.2003

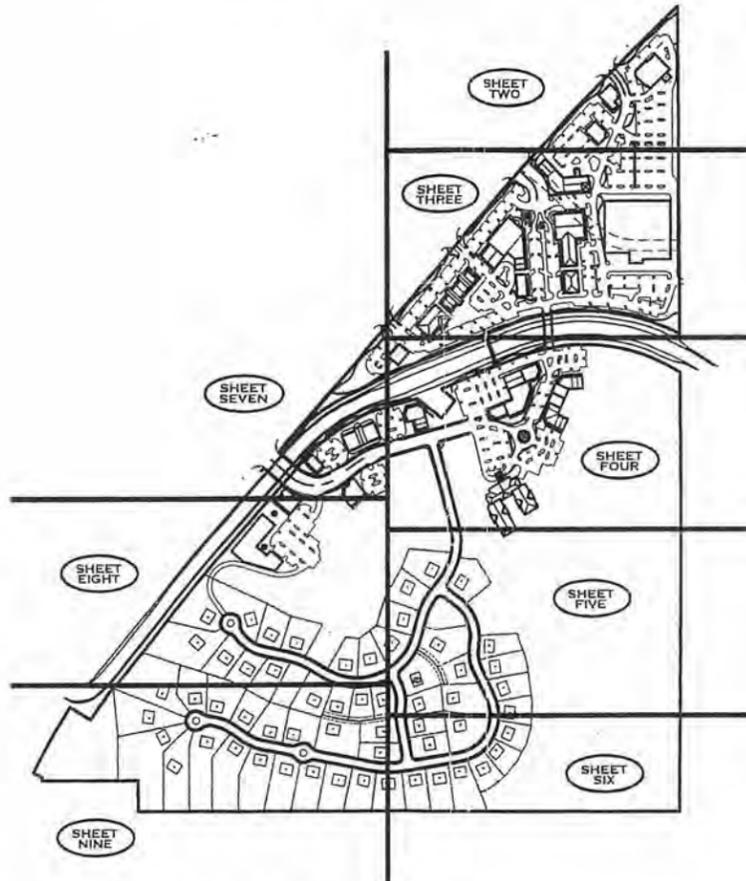


THIS PROJECT

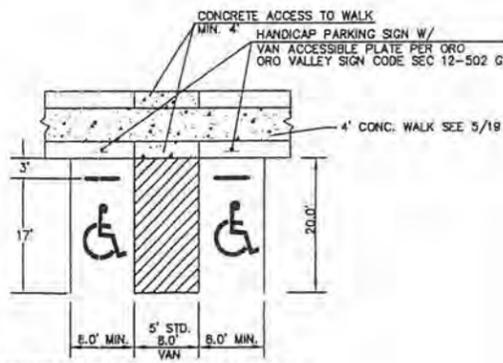


LOCATION MAP

PORTIONS OF SECTION 13, TOWNSHIP 12 SOUTH, RANGE 13 EAST,
 AND SECTIONS 7 AND 18, TOWNSHIP 12 SOUTH, RANGE 14 EAST,
 G. & S.R.M., TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA
 SCALE: 3" = 1 MILE



PROJECT LAYOUT
SCALE: 1" = 400'



**HANDICAP PARKING ADJACENT
 TO PEDESTRIAN AISLE**
N.T.S.

OWNER/APPLICANT
 CANADA DEL ORO PARTNERS
 401 SOUTH BOSTON AVENUE
 SUITE 2400
 TULSA, OKLAHOMA 74103-4010
 918.582.4300

PROJECT PLANNERS & ENGINEERS
 THE WLB GROUP, INC.
 4444 EAST BROADWAY BOULEVARD
 TUCSON, ARIZONA 85711
 520.881.7480

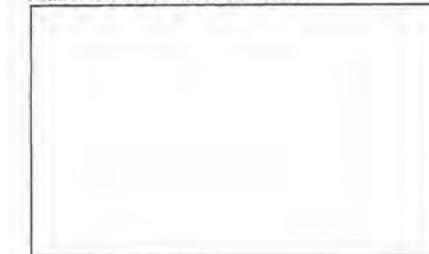
CONC. POINT	DRAINAGE AREA (AC)	Q100 (cfs)	TOTAL Q100 (cfs)
1	1.24	9.8	9.8
1.1	0.77	53.4	53.4
1.2	7.13	56.2	56.2
1.4	1.01	8	8
1.5	0.92	7.3	7.3
1.6	1.24	9.8	9.8
1.7	1.83	14.4	14.4
1.8	1.42	11.2	11.2
1.9	2.26	17.8	17.8
1.9A	0.32	2.80	2.80
1.9B	0.32	2.80	2.80
1.9C	0.32	2.80	2.80
1.10	2.83	22.3	22.3
2	2.88	15.3	62.1
2.1	1.95	15.4	15.4
2.2	3.82	21.8	31.4
2.3	1.22	9.6	9.6
3	25.56	143.9	1437.8
3.1	2.37	18.7	18.7
3.2	2.43	16.5	16.5
3.3	24.86	139.5	1398.6
3.4	2.58	20.3	20.3
3.5	9.02	51.6	51.6
3.6	6.60	44.9	44.9
3.7	3.06	16.9	16.9
4	1.35	10.6	10.6
5	1.10	8.7	8.7
6	6.80	46.3	46.3
7	2.57	17.5	20.3
7.1	0.41	2.8	2.8
8	5.20	29.7	29.7
9	1.56	9.8	9.8
9.1	6.84	45.2	45.2
10	2.48	15.5	15.5
11	7.10	44.5	77.6
11.1	4.87	33.1	33.1
11.2	2.50	14.3	14.3
1.1E	29.30	213	213
1.2E	2.10	16	16
1.3E	14.90	116	116
3.1E	11.38	20	20
7.1E	174.12	1123.1	1123.1
15E	883.80	3480	2480

*Total Q100 from all upstream watersheds.

CONCENTRATION POINT	Q100 (cfs)
1E	9.8
1.1E	53.4
1.3E	116
2E	70
3E	92
3.1E	50
7E	1495
7.1E	1125
12E	97
13E	57
14E	113
15E	4752
15.1E	2480
16E	54

CONC. POINT	WATER SURFACE ELEVATION (ft)	CHANNEL BOTTOM (ft)	WATER DEPTH (ft)
1.1-1	2571.65'	14.1	2584.71'
1.1-2	2570.40	14.2	2577.76'
1.1-3	2568.05'	14.3	2562.07'
1.1-4	2563.11'	14.4	2548.83'
1.1-5	2560.54'	15A	2581.04'
1.3-1	2571.42'	15B	2576.30'
1.3-2	2568.68'	15C	2576.91'
1.3-3	2566.82'	15D	2571.94'
2.1	2562.28'	15E	2572.43'
2.2	2563.08'	15F	2568.76'
3.1	2638.03'	15G	2571.35'
3.2	2621.01'	15H	2568.78'
3.3	2611.05'	15I	2565.42'
3.4	2604.35'	15J	2561.24'
3.5	2596.06'	15K	2558.13'
7.1	2570.71'	15L	2555.94'
7.2	2577.04'	15M	2552.62'
7.3	2583.13'	15N	2554.25'
7.4	2590.28'	15O	2551.10'
7.5	2598.61'	15P	2548.53'
7.6	2602.64'	15Q	2548.25'
7.7	2609.46'	15R	2547.62'
7.8	2617.46'	15S	2544.49'
12.1	2546.13'	15T	2543.27'
12.2	2545.86'	15U	2540.61'
13.1	2544.86'	16.1	2547.23'

PIMA COUNTY ADDRESSING



I, KATHRYN E. CUEVELER, CMC, TOWN CLERK, TOWN OF ORO VALLEY,
 ARIZONA, HEREBY CERTIFY THAT THIS IS THE TRUE AND CORRECT
 DEVELOPMENT PLAN AS APPROVED BY THE ORO VALLEY MAYOR AND
 TOWN COUNCIL ON _____

KATHRYN E. CUEVELER, CMC
 TOWN CLERK
 _____ DATE

HOME DEPOT

ALBERTSON'S

LA RESERVE DRIVE/ORACLE ROAD WESTBOUND INTERSECTION GEOMETRY: TWO LEFT TURN LANES (200' STORAGE) ONE RIGHT TURN LANE (100' STORAGE)

BANK OF AMERICA

PEDESTRIAN ACCESS POINT
DESERT POINT LEISURE CARE RETIREMENT COMMUNITY

FIRST AVENUE (200' R.O.W.)

ORACLE ROAD (200' R.O.W.)

LA RESERVE DRIVE

SEE SHEET THREE

TENTATIVE DEVELOPMENT PLAN FOR ORO VALLEY TOWN CENTRE PLANNED AREA DEVELOPMENT

PORTIONS OF SECTION 13, TOWNSHIP 12 SOUTH, RANGE 13 EAST
AND SECTIONS 7 AND 18, TOWNSHIP 12 SOUTH, RANGE 14 EAST,
GILA AND SALT RIVER MERIDIAN,
TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA
ORO VALLEY CASE NUMBER OV9-01-05
SUBMITTED: 04.29.2002

REVISED: 6.7, 6.28, 7.16, 9.13, 12.13.2002, 7.10 & 12.5.2003

CONTOUR INTERVAL = 1 FOOT
0' 50' 100' 150'



WLB No. 181057-A-007

SHEET TWO OF TEN

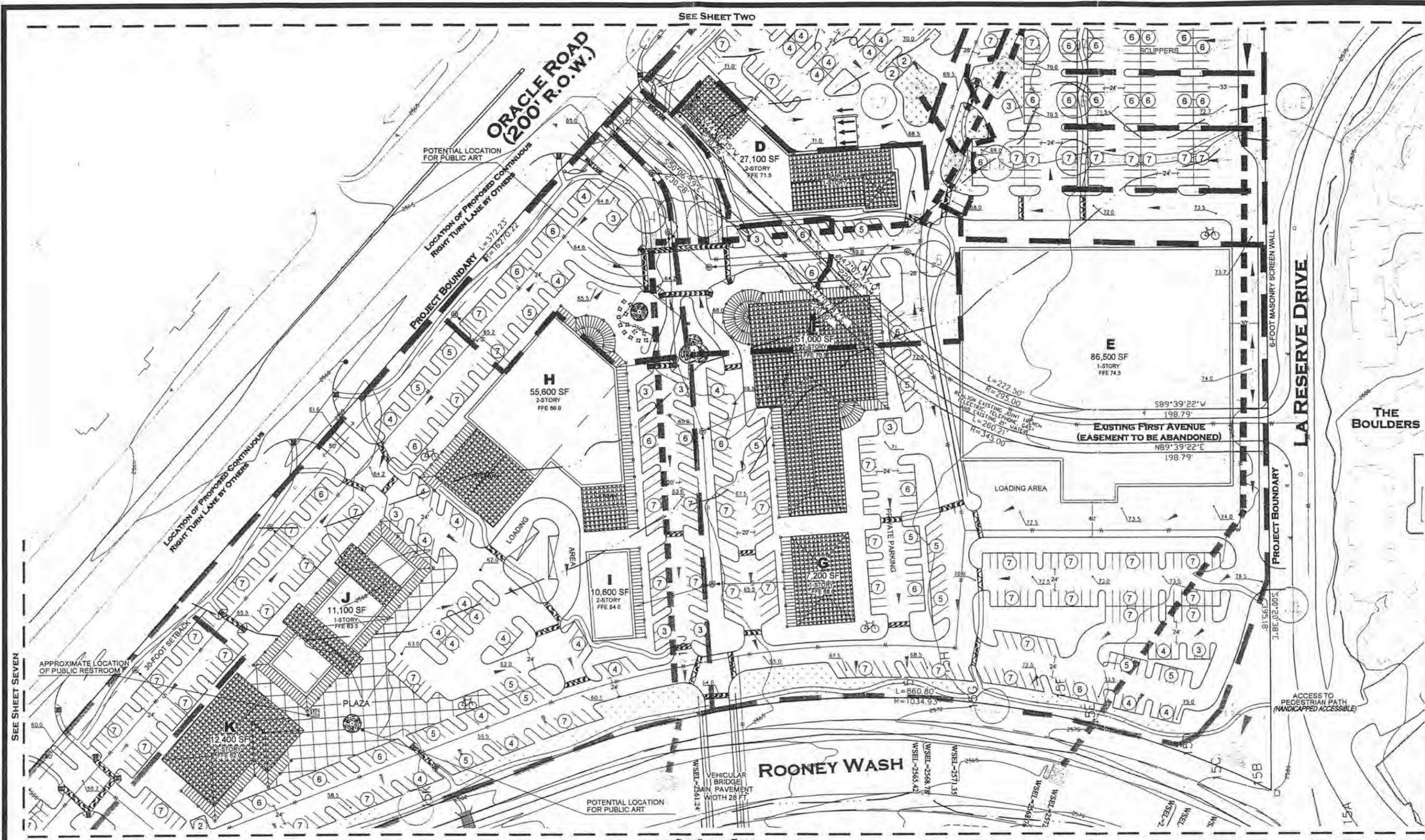
The WLB Group

Engineering Planning Surveying
Landscape Architecture Urban Design
Offices located in Tucson, Phoenix
and Las Vegas
4444 East Broadway Blvd.
Tucson, Arizona (520) 881-7480

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CANADA DEL ORO PARTNERS
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TULSA, OKLAHOMA 74103-4010

PROJECT PLANNERS & ENGINEERS
THE WLB GROUP, INC.
4444 EAST BROADWAY BOULEVARD
TUCSON, ARIZONA 85711

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SEE SHEET TWO

SEE SHEET FOUR

TENTATIVE DEVELOPMENT PLAN FOR
ORO VALLEY TOWN CENTRE
 PLANNED AREA DEVELOPMENT

PORTIONS OF SECTION 13, TOWNSHIP 12 SOUTH, RANGE 13 EAST
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 0' 50' 100' 150'

WLB No. 181057-A-007
 SHEET THREE OF TEN

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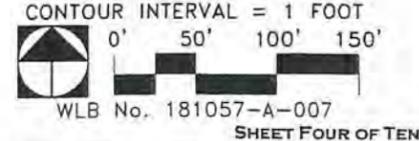
See Sheet Seven

See Sheet Three

See Sheet Five

TENTATIVE DEVELOPMENT PLAN FOR
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 REVISED: 6.7&28, 7.16, 9.13, 12.13.2002 & 7.10.2003



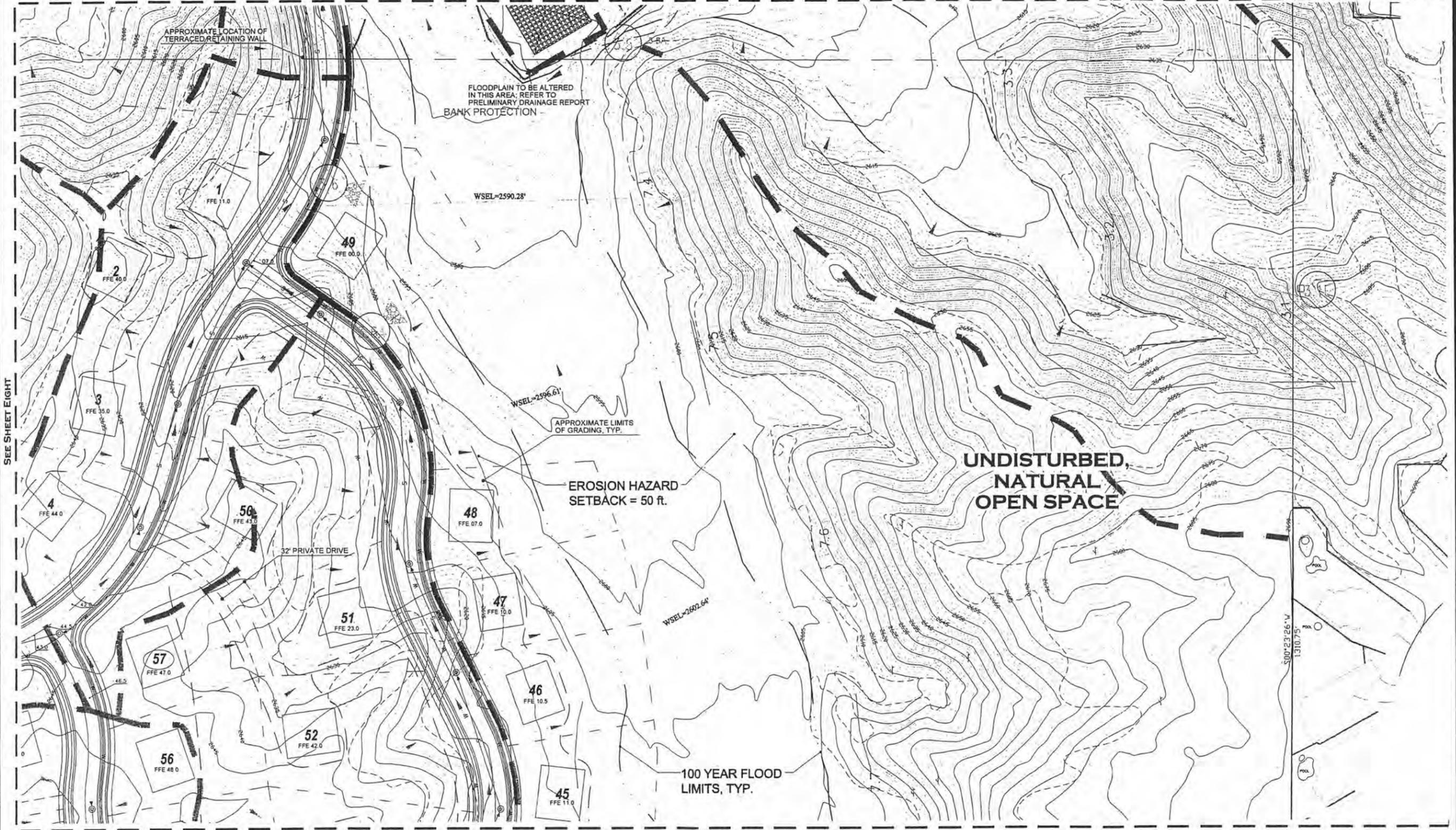
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SEE SHEET FOUR



SEE SHEET SIX

TENTATIVE DEVELOPMENT PLAN FOR
ORO VALLEY TOWN CENTRE
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CONTOUR INTERVAL = 1 FOOT



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SHEET FIVE OF TEN

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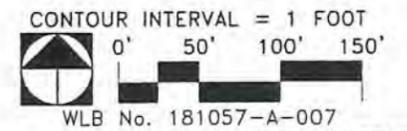
SEE SHEET FIVE



TENTATIVE DEVELOPMENT PLAN FOR
ORO VALLEY TOWN CENTRE
 PLANNED AREA DEVELOPMENT

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SHEET SIX OF TEN

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 THE WLB GROUP, INC.
 4444 EAST BROADWAY BOULEVARD
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SEE SHEET EIGHT

SEE SHEET FOUR

TENTATIVE DEVELOPMENT PLAN FOR
ORO VALLEY TOWN CENTRE
 PLANNED AREA DEVELOPMENT

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CONTOUR INTERVAL = 1 FOOT



WLB No. 181057-A-007

SHEET SEVEN OF TEN

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 4444 EAST BROADWAY BOULEVARD
 TUCSON, ARIZONA 85711

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SEE SHEET SEVEN



SEE SHEET FIVE

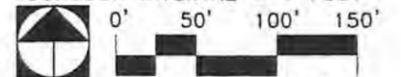
SEE SHEET NINE

TENTATIVE DEVELOPMENT PLAN FOR
ORO VALLEY TOWN CENTRE
 PLANNED AREA DEVELOPMENT

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CONTOUR INTERVAL = 1 FOOT



WLB No. 181057-A-007

SHEET EIGHT OF TEN

The WLB Group

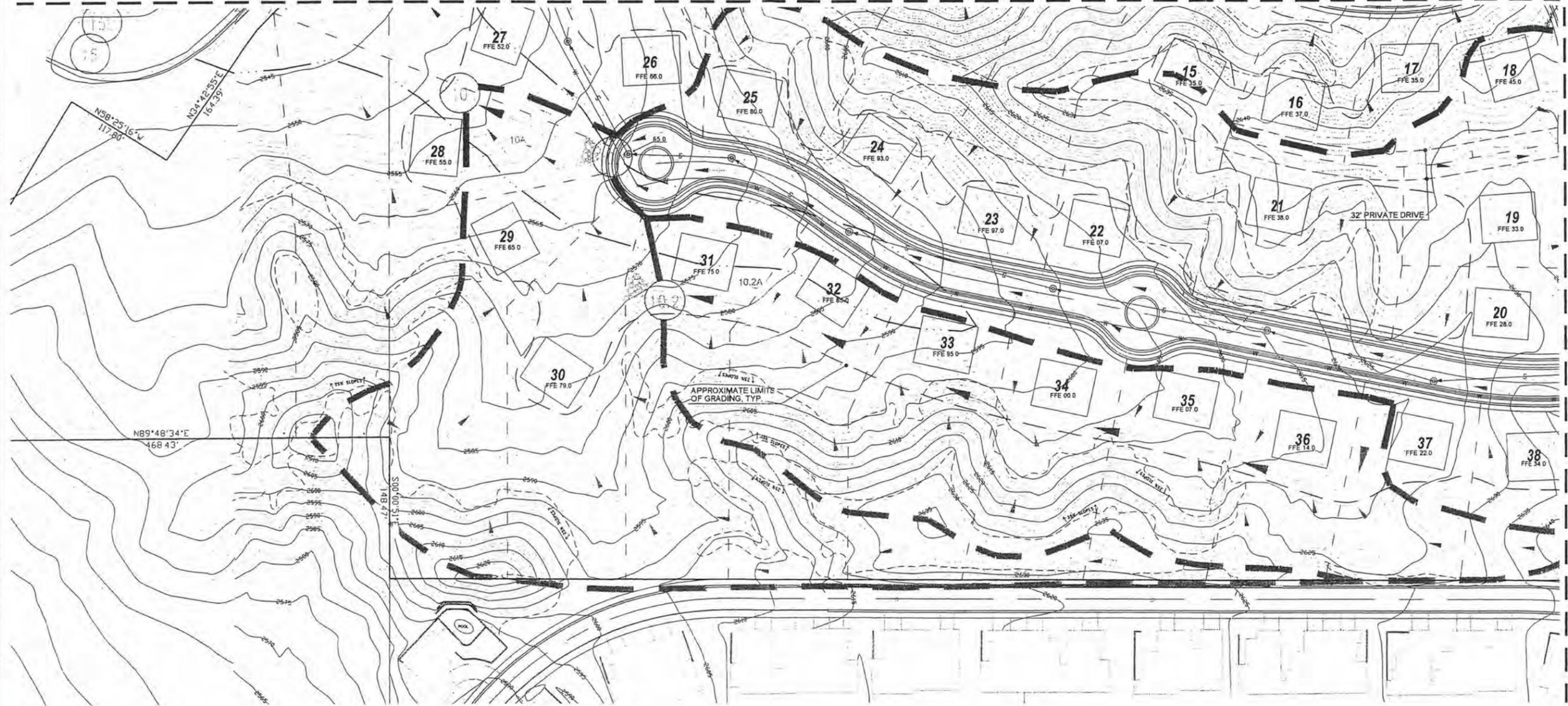
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PROJECT PLANNERS & ENGINEERS
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 TUCSON, ARIZONA 85711

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SEE SHEET EIGHT



SEE SHEET SIX

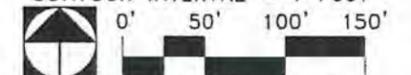
TENTATIVE DEVELOPMENT PLAN FOR
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CONTOUR INTERVAL = 1 FOOT



WLB No. 181057-A-007

SHEET NINE OF TEN

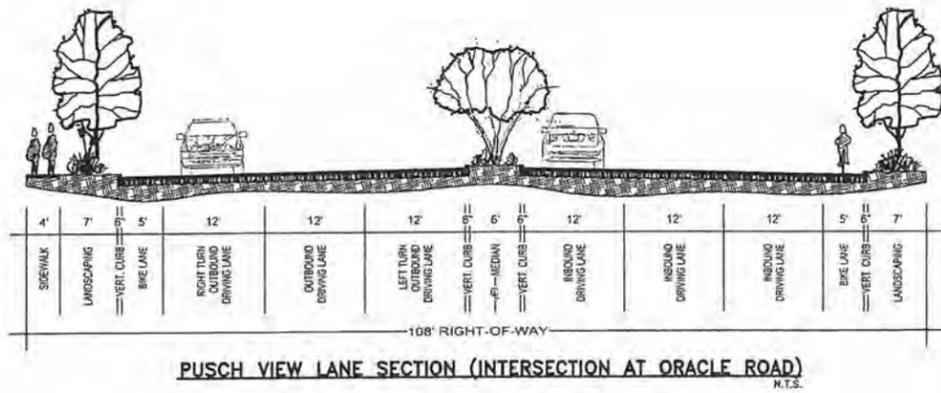
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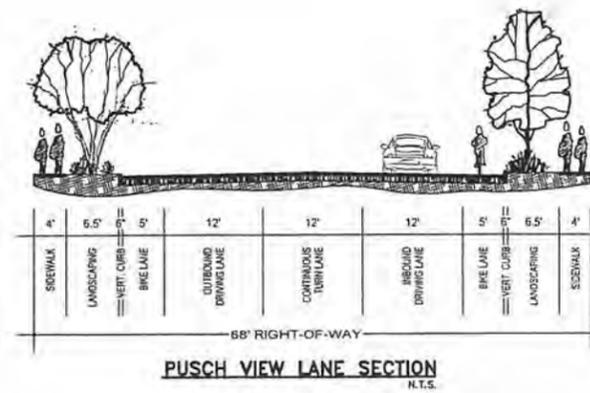
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 THE WLB GROUP, INC.
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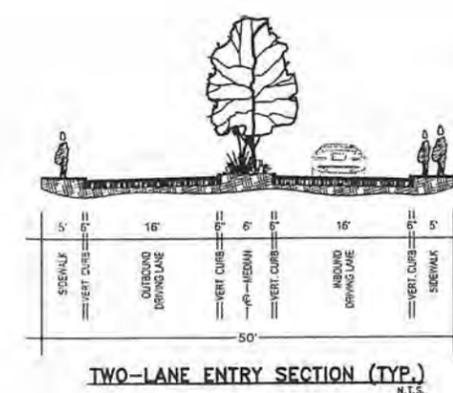
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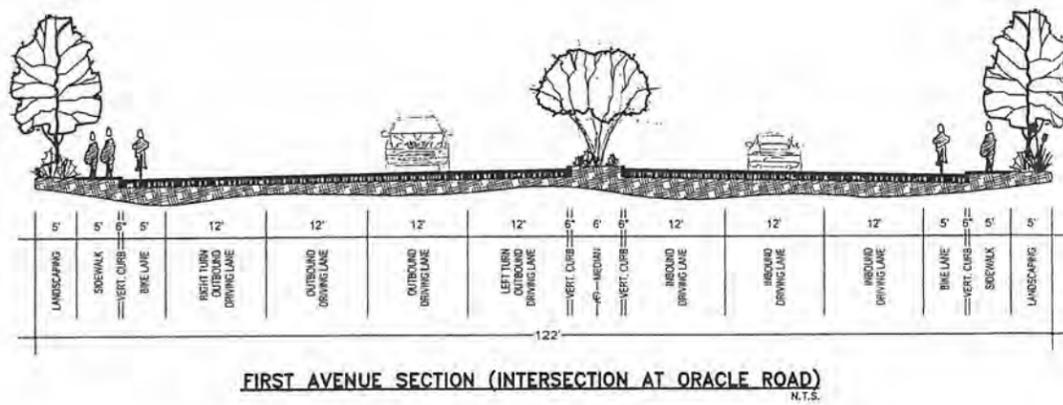
PUSCH VIEW LANE SECTION (INTERSECTION AT ORACLE ROAD)
N.T.S.



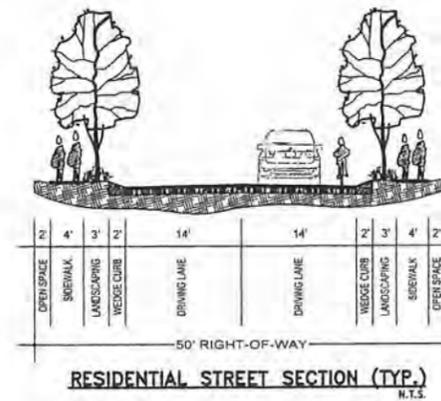
PUSCH VIEW LANE SECTION
N.T.S.



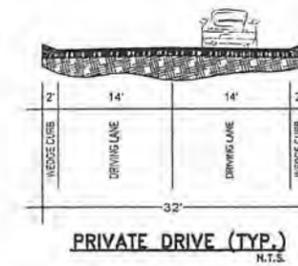
TWO-LANE ENTRY SECTION (TYP.)
N.T.S.



FIRST AVENUE SECTION (INTERSECTION AT ORACLE ROAD)
N.T.S.

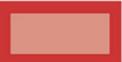
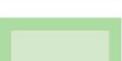


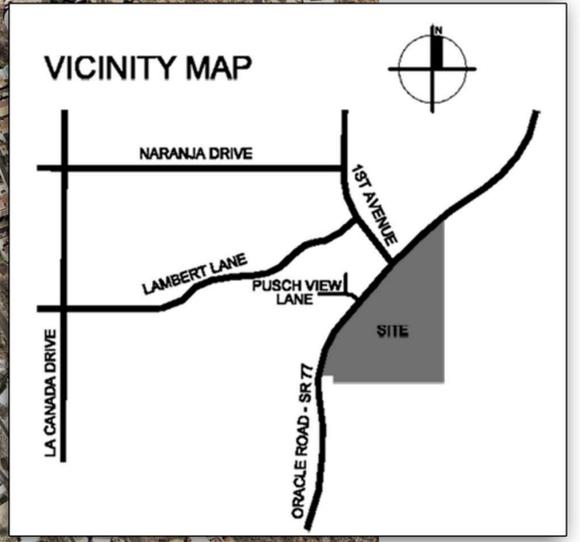
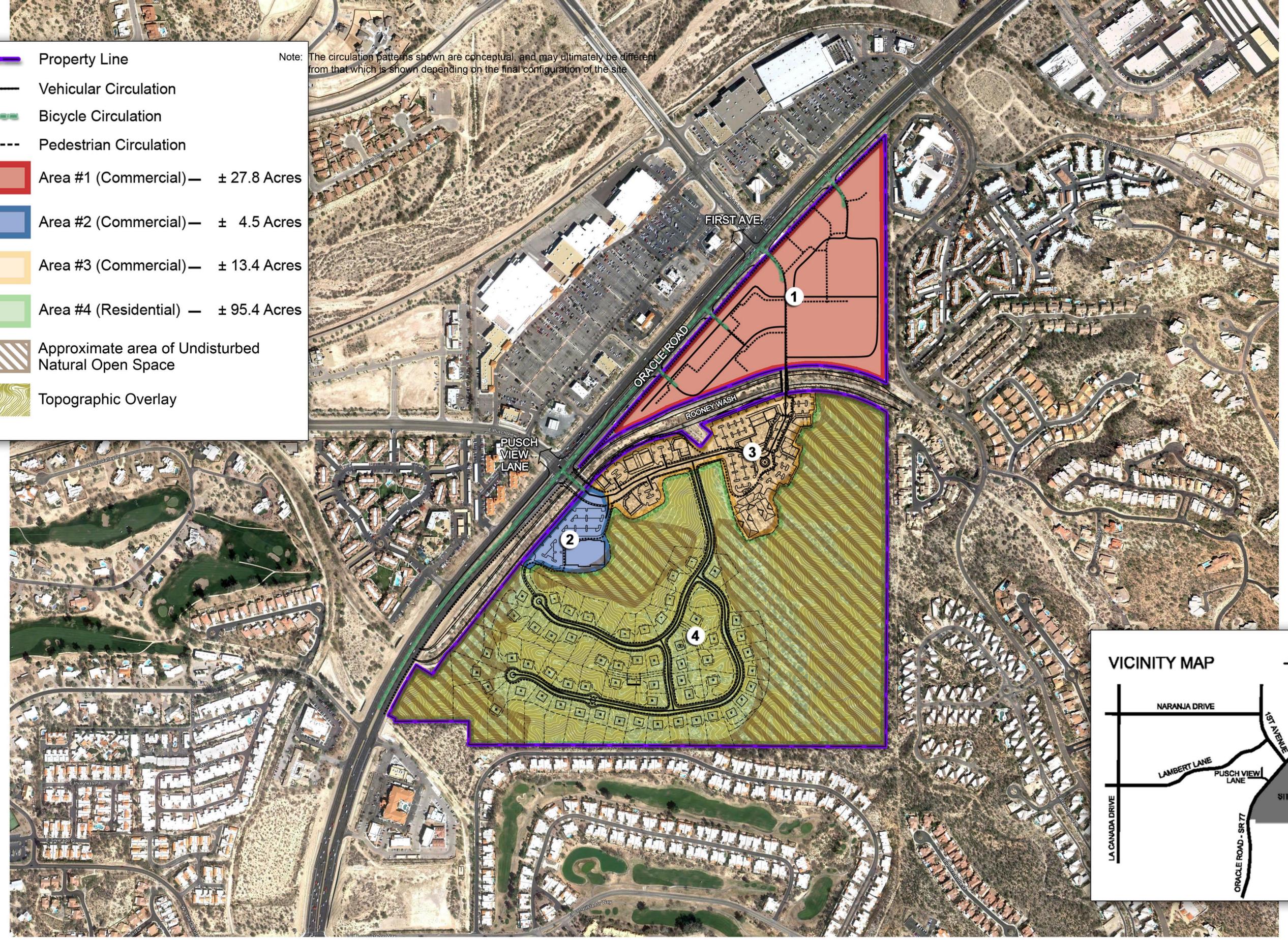
RESIDENTIAL STREET SECTION (TYP.)
N.T.S.



PRIVATE DRIVE (TYP.)
N.T.S.

Note: The circulation patterns shown are conceptual, and may ultimately be different from that which is shown depending on the final configuration of the site.

-  Property Line
-  Vehicular Circulation
-  Bicycle Circulation
-  Pedestrian Circulation
- 1**  Area #1 (Commercial) — ± 27.8 Acres
- 2**  Area #2 (Commercial) — ± 4.5 Acres
- 3**  Area #3 (Commercial) — ± 13.4 Acres
- 4**  Area #4 (Residential) — ± 95.4 Acres
-  Approximate area of Undisturbed Natural Open Space
-  Topographic Overlay



ORO VALLEY *Towne Center*
 ORACLE ROAD & FIRST AVENUE
 TOWN OF ORO VALLEY, ARIZONA

Tentative Development Plan (TDP)

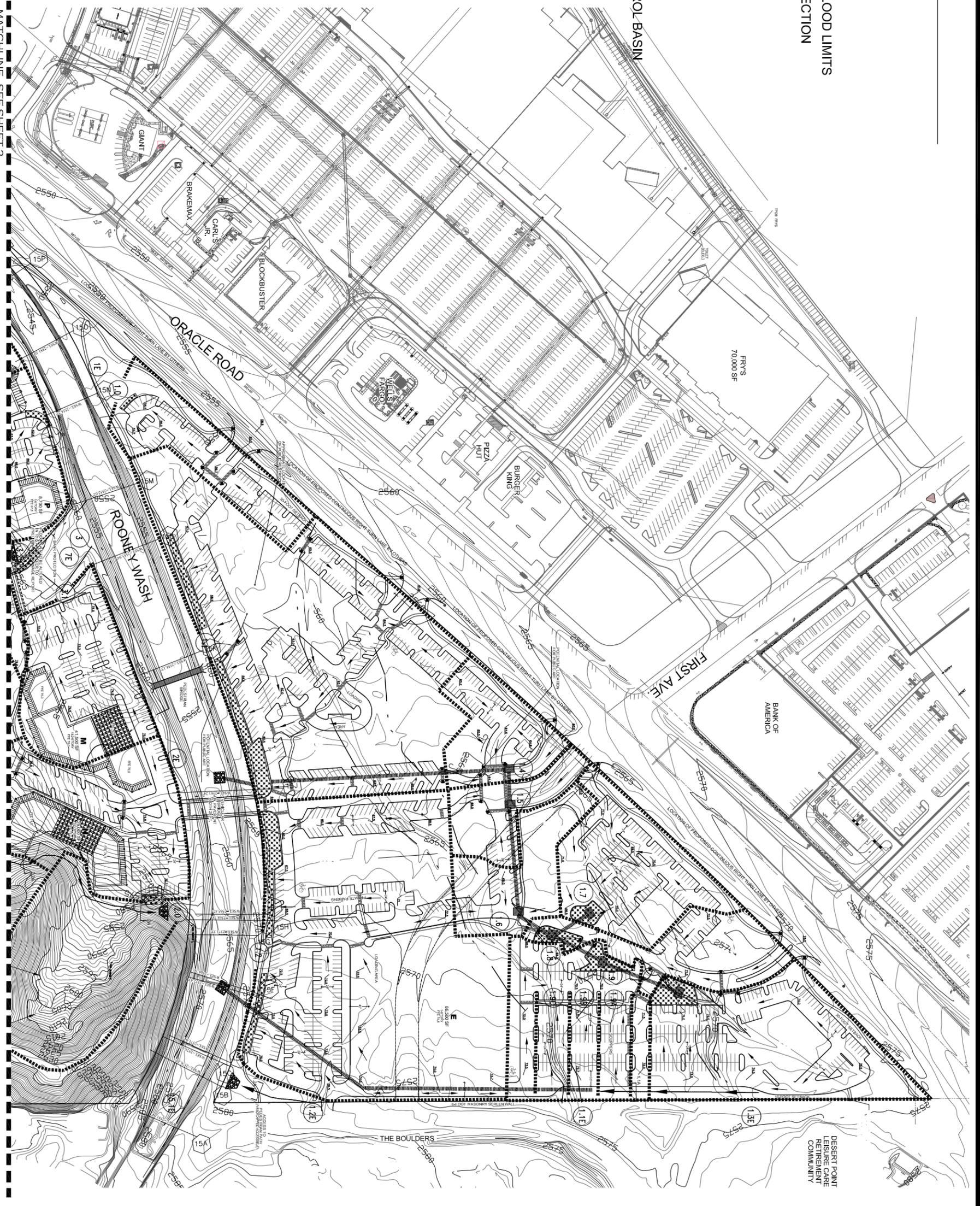


LEGEND

- WATERSHED BOUNDARY
- FLOW DIRECTION
- ① CONCENTRATION POINT
- CHANNEL
- 100-YEAR POST-DEVELOPED FLOOD LIMITS
- MANNING'S/HEC-RAS CROSS SECTION
- PIPE
- ROCK LINED SCOUR HOLE
- BANK PROTECTION
- CATCH BASIN
- SIDEWALK SCUPPERS
- CHANNEL CROSS SECTION
- STORMWATER QUALITY CONTROL BASIN
- RIP RAP PAD
- SPOT GRADE

TABLE OF PRE-DEVELOPED 100-YEAR WATER SURFACE ELEVATIONS FROM MECHAS ANALYSIS

SECTION	DATE	WATER SURFACE ELEVATION	SECTION	DATE	WATER SURFACE ELEVATION
1.1-1	2/27/05	14.1	2/294.71		
1.1-2	2/27/04	14.2	2/277.06		
1.1-3	2/26/05	14.3	2/262.07		
1.1-4	2/26/05	14.4	2/248.83		
1.1-5	2/26/05	15A	2/281.04		
1.3-1	2/27/02	1/59	2/275.30		
1.3-2	2/26/05	1/5C	2/276.91		
1.3-3	2/26/05	1/5D	2/271.94		
2.1	2/26/05	1/5E	2/272.43		
2.2	2/26/05	1/5F	2/268.76		
3.1	2/26/05	1/5G	2/271.35		
3.2	2/27/01	1/5H	2/268.78		
3.3	2/27/05	1/5I	2/268.42		
3.4	2/26/05	1/5J	2/261.24		
3.5	2/26/05	1/5K	2/258.13		
7.1	2/27/01	1/5L	2/255.94		
7.2	2/27/01	1/5M	2/252.62		
7.3	2/26/05	1/5N	2/254.25		
7.4	2/26/05	1/5O	2/251.10		
7.5	2/26/05	1/5P	2/248.53		
7.6	2/26/05	1/5Q	2/246.25		
7.8	2/26/05	1/5R	2/247.62		
7.8	2/26/05	1/5S	2/244.49		
12.1	2/24/05	1/5T	2/242.27		
12.2	2/24/05	1/5U	2/240.61		
13.1	2/24/05	1/5V	2/241.23		

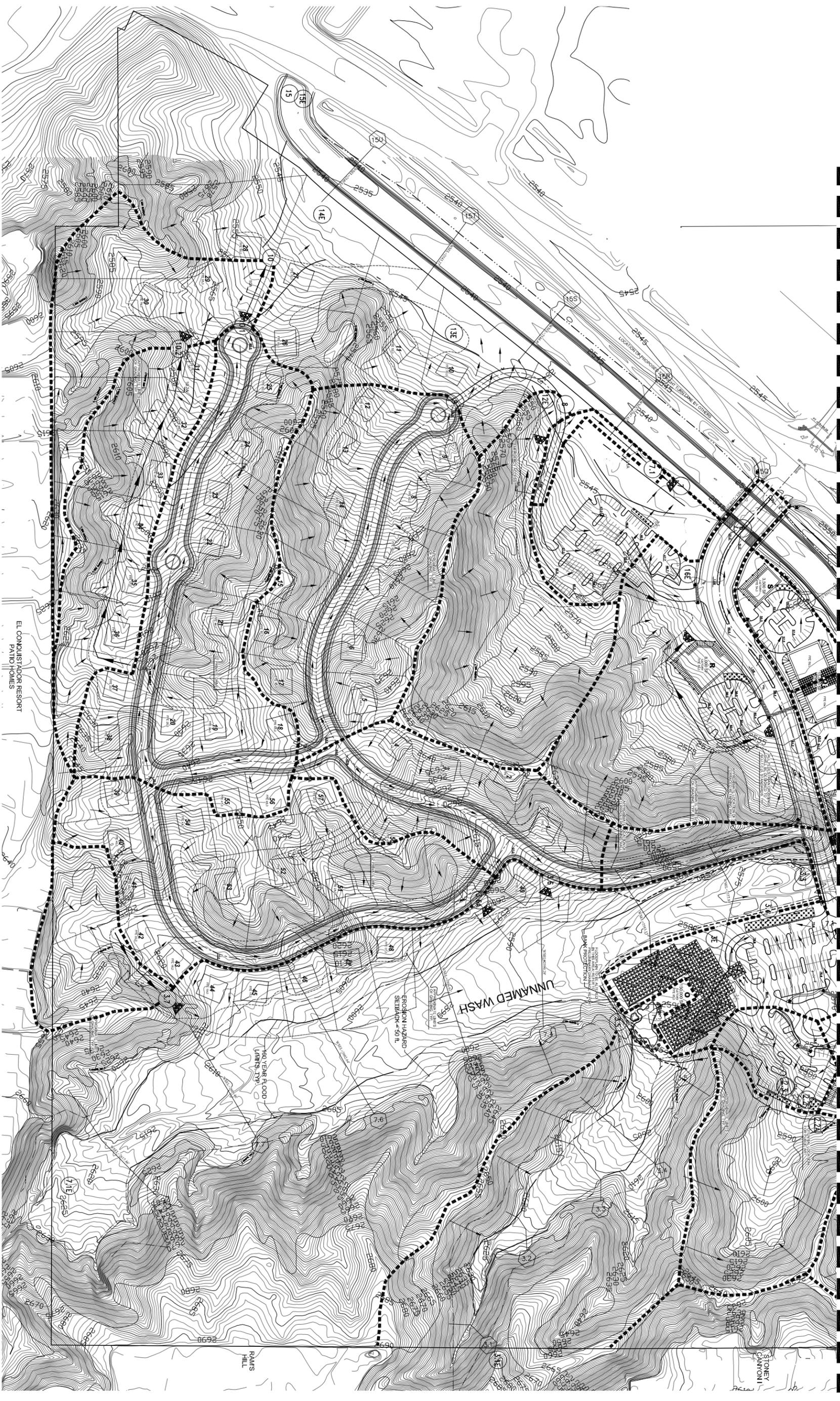


SHEET 1 OF 2
 WLB NO. 1811057-R011

**ORO VALLEY TOWN CENTRE
 EXHIBIT DD-1
 CONCEPTUAL GRADING PLAN**

The WLB Group
WLB
 Engineering, Planning, Surveying
 Landscape Architecture, Urban Design
 Las Vegas and Victor Valley, CA
 4444 East Broadway
 Tucson, Arizona (520) 881-7480

MATCHLINE - SEE SHEET 1



0' 100' 200' 300'

SHEET 2 OF 2
WLB NO. 181057-R011

ORO VALLEY TOWN CENTRE
EXHIBIT DD-1
CONCEPTUAL GRADING PLAN

The WLB Group
WLB
Engineering, Planning, Surveying
and Construction Services
4444 East Broadway
Tucson, Arizona (520) 881-7480

Planning & Zoning Commission Recommended
Conditions of Approval
Oro Valley Town Centre PAD Amendment (OV911-03)
August 2, 2011

Planning Conditions

1. Pedestrian cross connections from the east side of Development Area #1 to La Reserve shall be provided.
2. Page BB-1: Community Goal and Policy #1 shall contain language indicating that the design, uses, and focus of the development should consider the creation of a discernable center.
3. Page BB-1: Community Goal and Policy #6, "through the use of sensitive grading plans and re-vegetations, create and treat cut slopes such that they will appear not to have been disturbed" shall be retained. Mitigated to an acceptable standard consistent with current Town standards effective at the time of development.
4. Page BB-8: Add language indicating that substantial modifications to the Illustrative Site Plans that substantially deviate from the development concepts in terms of land use mix, development density or intensity, as determined by the Planning and Zoning Administrator, shall be subject to Town Council approval.
5. Page EE-6: As the project will be developed subject to market demand, the PAD shall contain language encouraging and preserving the opportunity for a mixed use development.

Engineering Conditions

1. The associated Traffic Impact Analysis (TIA) must be revised and approved as a condition of PAD Amendment approval at Mayor & Council.
2. The Developer must obtain Town of Oro Valley and ADOT approval of a site specific Traffic Impact Analysis prior to future Conceptual Site Plan Approval.
3. This development shall be responsible to design and pay for any improvements to the public road network as determined to be required by future TIA(s) at the time of development.
4. If modifications to Oracle Road are required as stipulated in the TIA, approval by the Arizona Department of Transportation (ADOT) will be required prior to approval of this TIA.

Oro Valley Town Centre PAD Additional Conditions of Approval

General Conditions

1. Up to 275 multi-family dwelling units shall be allowed on up to 15.5 acres of Area 1.
2. Building height shall not exceed 60' for Areas 1 and 2, except within 100' of Oracle Road where heights shall be limited to 45' for commercial and residential and 50' for office buildings.

Convenience Uses

3. Convenience uses shall be defined as:
 - a. Any use with a drive-in or drive-through;
 - b. Stores less than 7,500 square feet where food and drink, which may include packaged alcoholic beverages, are sold. Such items are sold primarily for consumption off premises or
 - c. Gas stations
4. Convenience uses shall be permitted subject to the following conditions:
 - a. A total of up to five (5) in Areas 1 and 2; Of the five (5) convenience uses, only three (3) may be fast food with drive-in or drive-through
 - b. A Conditional Use Permit (CUP) will be required
 - c. The CUP is subject to all requirements as specified in Section 25.1.G of the Zoning Code with the exception of the following:
 - i. Location requirements
 - ii. Number of convenience uses
 - iii. Timing of development
5. In-line convenience-type uses not included in the definition above shall not be limited in number.

Pedestrian-Scale Development

6. A pedestrian-scale retail area shall be provided in Area 1 adjacent to the Rooney Wash in proximity to the bridge to Area 3. The pedestrian-scale retail area shall contain at least 300 linear feet of building area subject to the following standards:
 - No less than 150 linear feet of building shall be provided along the multi-use pathway adjacent to the Rooney Wash.
 - The building(s) along the wash shall have retail on the ground floor and may have other permitted commercial or residential uses above.
 - The balance of the 300 linear feet of building area may be located along the main entry boulevard.

- The building(s) along the main entry boulevard may have any commercial use(s) permitted by this PAD.
7. The potential location of the pedestrian-scale retail area shall be delineated on one of the Illustrative Site Plans.

Multi-Use Pathways/Open Space System

9. A pedestrian walkway system, integrated with walkways for all of Area 1 along both banks of the Rooney Wash and shall be linked by a pedestrian or multi-purpose bridge.
10. As part of the enhanced multi-use pathway system, landscaped plazas and/or gathering areas shall be provided along Rooney Wash including both sides (east and west) of the bridge location to form a gateway feature to Area 3.
11. In Area 1, buildings shall be placed immediately adjacent to the walkways to promote pedestrian accessibility and functionality of the pathway system.
12. Multi-use paths shall be provided between the pedestrian-scale retail area and other portions of Areas 1, 2, 3, and 4, including:
- The hotel in Area 3
 - All multi-family residential areas of the PAD
 - A connection to the street system in Area 4
 - La Reserve
13. Decorative, architecturally integrated enrichments such as handrails, tiles, planters, architecturally appropriate light fixtures and poles, shaded areas, etc., shall be included in the mixed-use path system design and along both banks of the wash as aesthetic amenities and safety features.
14. Hardscape plans and details regarding street furniture and other pedestrian enhancements shall be provided for the entry road, multi-use paths and pedestrian-scale retail area. The plans shall be subject to staff approval.
15. A streetscape plan shall be submitted for the project entry road. The plan shall include bicycle and pedestrian facilities and landscaped median and shall be subject to staff approval.