

**\*AMENDED (1/11/13, 4:00 PM)  
AGENDA  
ORO VALLEY TOWN COUNCIL  
REGULAR SESSION  
January 16, 2013  
ORO VALLEY COUNCIL CHAMBERS  
11000 N. LA CAÑADA DRIVE**

**REGULAR SESSION AT OR AFTER 5:00 PM**

**CALL TO ORDER**

**ROLL CALL**

**\*EXECUTIVE SESSION AT OR AFTER 5:00 PM** - Pursuant to A.R.S. 38-431.03(A)(7) for consideration of a lease of real property to the Town's legislative representative; pursuant to ARS 38-431.03(A)(3) for the purpose of discussion and consultation with the Town Attorney regarding legal advice and the Town's position regarding undergrounding TEP lines and the Town Code Provisions (Item added on 1/11/13); and pursuant to ARS 38-431.03(A)(7) to discuss real estate acquisition (Item added on 1/11/13)

**RESUME REGULAR SESSION AT OR AFTER 6:00 PM**

**CALL TO ORDER**

**ROLL CALL**

**PLEDGE OF ALLEGIANCE**

**UPCOMING MEETING ANNOUNCEMENTS**

**COUNCIL REPORTS**

- **Spotlight on Youth**

**DEPARTMENT REPORTS**

**The Mayor and Council may consider and/or take action on the items listed below:**

**ORDER OF BUSINESS: MAYOR WILL REVIEW THE ORDER OF THE MEETING**

**INFORMATIONAL ITEMS**

1. Police Department Letter of Appreciation
2. Trip Report for Councilmember Zinkin (Arizona Town Hall 2012)

**CALL TO AUDIENCE** – At this time, any member of the public is allowed to address the Mayor and Town Council on any issue *not listed on today's agenda*. Pursuant to the Arizona Open Meeting Law, individual Council Members may ask Town Staff to review the matter, ask that the matter be placed on a future agenda, or respond to criticism made by speakers. However, the Mayor and Council may not discuss or take legal action on matters raised during "Call to Audience." In order to speak during "Call to Audience" please specify what you wish to discuss when completing the blue speaker card.

## **PRESENTATIONS**

1. Presentation of an award from the Metropolitan Pima Alliance for the Oro Valley Police Department's Dispose-A-Med Program

## **CONSENT AGENDA (Consideration and/or possible action)**

- A. Minutes - November 7 & November 28, 2012
- B. Fiscal Year 2012/2013 Financial Update Through November 2012
- C. Appointments to the Parks & Recreation Advisory Board
- D. Council approval of M3S Sports' request for In-Kind Support for the Arizona Distance Classic
- E. Resolution No. (R)13-01, Authorizing and approving an Intergovernmental Agreement between the Town of Oro Valley and the Arizona Department of Transportation for installing experimental clear noise wall panels along a 200 linear foot stretch on State Route 77 (SR77)
- F. Resolution No. (R)13-02, Approving the annual Legislative Agenda of the Town and protocols guiding the Town's priorities for the upcoming legislative session and any lobbying activities
- G. Resolution No. (R)13-03, Adopting the Town of Oro Valley 2013 Strategic Plan

## **REGULAR AGENDA**

1. NOMINATION AND ELECTION OF VICE MAYOR
2. DISCUSSION REGARDING THE TOWN'S SCHOOL RESOURCE OFFICER PROGRAM
3. RESOLUTION NO. (R)13-04, AUTHORIZING THE EXECUTION OF THE UNDERGROUNDING AGREEMENT BETWEEN THE TOWN AND TUCSON ELECTRIC POWER COMPANY (TEP) FOR PAYMENT FOR INSTALLATION OF UNDERGROUND ELECTRIC FACILITIES ALONG ORACLE ROAD AND TANGERINE ROAD AND AUTHORIZING THE USE OF GENERAL FUND CONTINGENCY RESERVES FOR THIS PURPOSE
4. ~~\*DISCUSSION AND POSSIBLE ACTION REGARDING A 2013 SPECIAL ELECTION TO SEEK VOTER APPROVAL OF A FRANCHISE AGREEMENT WITH TUCSON ELECTRIC POWER~~ (Removed from agenda on 1/11/13)
5. ~~\*DISCUSSION AND POSSIBLE DIRECTION TO SEEK VOTER APPROVAL TO ENACT A LOCAL RESIDENTIAL RENTAL OCCUPANCY TAX~~ (Removed from agenda 1/11/13)

6. PUBLIC HEARING - DISCUSSION AND POSSIBLE ACTION REGARDING AN APPLICATION FOR A SERIES 7 (BEER & WINE) LIQUOR LICENSE FOR GREAT AMERICAN PLAYHOUSE LOCATED AT 13005 N. ORACLE ROAD #110
7. PUBLIC HEARING - DISCUSSION AND POSSIBLE ACTION REGARDING AN APPLICATION FOR A SERIES 9 (LIQUOR STORE) LIQUOR LICENSE FOR CVS PHARMACY #10006 LOCATED AT THE SOUTHEAST CORNER OF ORACLE ROAD & FIRST AVENUE
8. PUBLIC HEARING - DISCUSSION AND POSSIBLE ACTION REGARDING AN APPLICATION FOR A SERIES 12 (RESTAURANT) LIQUOR LICENSE FOR GMG CHINESE BISTRO LOCATED AT 10370 N. LA CANADA DRIVE #190
9. PUBLIC HEARING - DISCUSSION AND POSSIBLE ACTION REGARDING AN APPLICATION FOR A SERIES 10S (BEER & WINE STORE W/SAMPLING PRIVILEGES) LIQUOR LICENSE FOR SPROUTS FARMERS MARKET #11 LOCATED AT 7665 N ORACLE ROAD
10. REQUEST FOR APPROVAL OF A MASTER SIGN PROGRAM FOR THE SAN DORADO DEVELOPMENT LOCATED AT FIRST AVENUE AND ORACLE ROAD
11. REQUEST FOR APPROVAL OF CONCEPTUAL SITE PLAN FOR THE RANCHO DE PLATA SUBDIVISION, LOCATED ON THE WEST SIDE OF LA CHOLLA BOULEVARD, APPROXIMATELY ¼ MILE SOUTH OF TANGERINE ROAD
12. DISCUSSION AND POSSIBLE ACTION REGARDING EXTENSION OF THE TEMPORARY USE OF A-FRAMES, NON-PROFIT SIGNS AND OUTDOOR DISPLAYS UNTIL FEBRUARY 3, 2014
13. HOURS OF OPERATION FOR THE ORO VALLEY AQUATICS CENTER
  - a. RESOLUTION NO. (R)13-05, DECLARING AS A PUBLIC RECORD THAT CERTAIN DOCUMENT OF THE ORO VALLEY TOWN CODE ENTITLED CHAPTER 16, PARKS AND RECREATION, SECTION 6-1-2 PARK OPERATIONS, ATTACHED HERETO AS EXHIBIT "A" AND FILED WITH THE TOWN CLERK
  - b. PUBLIC HEARING: ORDINANCE NO. (O)13-01, AMENDING ORO VALLEY TOWN CODE, SECTION 16-1-2, PARK OPERATIONS, AND REPEALING ALL RESOLUTIONS, ORDINANCES AND RULES OF THE TOWN OF ORO VALLEY IN CONFLICT THEREWITH
14. RESOLUTION NO. (R)13-06, AMENDING THE EXISTING PARKS AND RECREATION FEE SCHEDULE TO INCREASE THE AQUATIC FACILITY USAGE FEES
15. REAPPOINTMENT OF GIL ALEXANDER TO THE CONCEPTUAL DESIGN REVIEW BOARD (CDRB)

**FUTURE AGENDA ITEMS** (The Council may bring forth general topics for future meeting agendas. Council may not discuss, deliberate or take any action on the topics presented pursuant to ARS 38-431.02H)

**CALL TO AUDIENCE** – At this time, any member of the public is allowed to address the Mayor and Town Council on any issue *not listed on today's agenda*. Pursuant to the Arizona Open Meeting Law, individual Council Members may ask Town Staff to review the matter, ask that the matter be placed on a future agenda, or respond to criticism made by speakers. However, the Mayor and Council may not discuss or take legal action on matters raised during "Call to Audience." In order to speak during "Call to Audience" please specify what you wish to discuss when completing the blue speaker card.

## **ADJOURNMENT**

POSTED: 1/10/13 at 5:00 p.m. by ms

AMENDED AGENDA POSTED: 1/11/13 at 5:00 p.m. by jkb

When possible, a packet of agenda materials as listed above is available for public inspection at least 24 hours prior to the Council meeting in the office of the Town Clerk between the hours of 8:00 a.m. – 5:00p.m.

The Town of Oro Valley complies with the Americans with Disabilities Act (ADA). If any person with a disability needs any type of accommodation, please notify the Town Clerk's Office at least five days prior to the Council meeting at 229-4700.

## ***INSTRUCTIONS TO SPEAKERS***

**Members of the public have the right to speak during any posted public hearing. However, those items not listed as a public hearing are for consideration and action by the Town Council during the course of their business meeting. Members of the public may be allowed to speak on these topics at the discretion of the Chair.**

If you wish to address the Town Council on any item(s) on this agenda, please complete a speaker card located on the Agenda table at the back of the room and give it to the Town Clerk. **Please indicate on the speaker card which item number and topic you wish to speak on, or if you wish to speak during "Call to Audience", please specify what you wish to discuss when completing the blue speaker card.**

Please step forward to the podium when the Mayor announces the item(s) on the agenda which you are interested in addressing.

1. For the record, please state your name and whether or not you are a Town resident.
2. Speak only on the issue currently being discussed by Council. Please organize your speech, you will only be allowed to address the Council once regarding the topic being discussed.
3. Please limit your comments to 3 minutes.
4. During "Call to Audience" you may address the Council on any issue you wish.
5. Any member of the public speaking must speak in a courteous and respectful manner to those present.

**Thank you for your cooperation.**



**Town Council Regular Session**

**Item # 1.**

**Meeting Date:** 01/16/2013

**Submitted By:** Catherine Hendrix, Police Department

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**Information**

**Subject**

Police Department Letter of Appreciation

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**Attachments**

[PD Letters of Appreciation](#)

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# Bishop Security

Security Guard Services Lic. #1003684  
P.O. Box 68503 Oro Valley, AZ, 85737 (520) 797-9409

Received by

DEC 10 2012

Oro Valley Police Dept.

Chief Danny Sharp  
11000 N. La Canada  
Oro Valley, AZ, 85737

December 03, 2012

Reference: Officer Elijah Woodward #219

Dear Chief Sharp,

My name is Mark Bishop. I have owned Bishop Security for over 21 years. Prior to that, I worked as a Firefighter/EMT, and as a civilian police officer (I worked with Bill Burney), and I was a Law Enforcement Specialist in the USAF from 1980 -1986.

While in the Air Force, I was stationed at Clark Air Base in the Philippines. Clark Air Base had the only motorcycle traffic unit in the entire USAF. It was an elite unit, consisting of only 15 members out of an 850 man squadron. I served in that unit for 4 years, working my way up to Asst. NCOIC of the section. Our main functions were traffic enforcement, the investigation and reconstruction of all serious injury and fatal traffic accidents, and other traffic related duties. We also served public relations functions by performing in motorcycle demonstrations on and off base, and we conducted VIP escorts for visiting dignitaries and celebrities. I am guessing your motor unit performs the same functions.

Yesterday, I stopped by the Oro Valley Police Department's main station to have the serial number of a pistol that I had purchased, checked to be sure it wasn't stolen – it wasn't. I was driving my company patrol car. Officer Woodward came out of the building and met me in the parking lot at my car. Obviously, I immediately noticed his motorcycle uniform, but I was also struck by his professional appearance and command presence, and also by his pleasant demeanor. I mentioned to him that I had been a motorcycle officer years ago. We had a very nice conversation, and to my surprise, he was aware of the Clark Air Base Traffic Unit, and had seen some photos of the unit on the internet. I showed him some photos that I had on my phone, of me in my motorcycle uniform, and of my police motorcycle. He appeared to be genuinely interested. In the course of our conversation, he mentioned that he was working on some paperwork in the office.

Later that day, my brother Scott called and told me that earlier in the day, he had been in a traffic accident Oracle and Hardy. He told me that a very professional acting, yet pleasant "motorcycle cop" had taken the report – it was Officer Woodward. It was in all probability my brother's accident report that Officer Woodward was working on when he met with me.

In one day, Officer Woodward had dealt with two Bishop brothers, with two unrelated matters, and he impressed both of us.

In my 38 year career, I have encountered thousands of police officers. There are a few officers, among the masses, that stand out. Officer Woodward is one of them. In my opinion, Officer Woodward exemplifies what being a Police Officer is all about – performing in a professional, business like manner, with a positive attitude that the citizens appreciate and respect.

Chief Sharp, please convey this message to Officer Woodward - don't ever change, don't become jaded and negative by what you see and deal with at work – you are a credit to the Oro Valley Police Department, and it was a true pleasure spending those few minutes with you. Also, thank you for way you handled my brother's accident. It was a very emotional time for him, and you came shining through. Keep up the good work.

Sincerely,

Mark C. Bishop, President  
Bishop Security, Inc.

*Our Heritage: Vigilance and Protection*



**Town Council Regular Session**

**Item # 2.**

**Meeting Date:** 01/16/2013

**Submitted By:** Arinda Asper, Town Manager's Office

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**Information**

**Subject**

Trip Report for Councilmember Zinkin (Arizona Town Hall 2012)

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**Attachments**

[Trip Report for Councilmember Zinkin \(Arizona Town Hall 2012\)](#)

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Office of the Mayor & Town Council

**Trip Report**

**Purpose:** 101<sup>st</sup> Arizona Town Hall  
**Date:** November 25 - 28, 2012  
**Location:** Talking Stick Resort  
Scottsdale, AZ  
**Attendees:** Councilmember Mike Zinkin

**Summary:**

As Arizona celebrates its 100th anniversary, the 101st Arizona Town Hall addressed what actions should be taken to support and foster civic leadership.

Participants spent the bulk of their time participating in facilitated discussions designed to build consensus for future action. Highlights of the meeting included the following:

- Monday's breakfast program featured a panel of authors who contributed to the background report: Angela Hackett, Mike Letcher, Brint Milward and Nancy Welch,
- Governor Jan Brewer addressed attendees at Monday's lunch program,
- The nationally recognized keynote speakers were
  - Cleve Stevens, Founder & President of Owlsight Intentions
  - Mickey Edwards, Vice President of the Aspen Institute and Director of the Aspen Institute's Rodel Fellowships in Public Leadership
- Tuesday's lunch program featured former U.S. Representative Gabrielle Giffords accepting the Shirley Agnos Arizona Town Hall Legacy Award on behalf of herself and her husband Captain Mark Kelly, as well as a special musical performance from one of Arizona's tribal nations.

In addition, all participants received materials that will serve as a useful reference when they return to their communities.

The agenda and list of participants is attached.

Report submitted to the Town Clerk on November 30, 2012.

Mike Zinkin  
Councilmember

*Caring for our heritage, our community, our future.*

[www.orovalleyaz.gov](http://www.orovalleyaz.gov)

11000 N. La Cañada Drive • Oro Valley, Arizona 85737  
phone: (520) 229-4700 • fax: (520) 297-0428



**101ST ARIZONA TOWN HALL**  
**“CIVIC LEADERSHIP FOR ARIZONA’S FUTURE”**  
**SCOTTSDALE, ARIZONA**  
**NOVEMBER 25-28, 2012**

**SUNDAY, NOVEMBER 25**

3:00 – 6:00 p.m.	Registration
6:00 – 7:00 p.m.	Social hour
7:00 p.m.	Welcome by Salt River Pima-Maricopa Indian Community Tribal President <b>Diane Enos</b>
	Opening Dinner & Orientation <b>Ron Walker</b> , Board Chair, and <b>Tara Jackson</b> , President

**MONDAY, NOVEMBER 26**

7:00 a.m. -- 8:00 a.m.	Breakfast Buffet <b>Key Facts You Need to Know:</b> Panel presentation by authors of the 101st Arizona Town Hall Background Report
8:30 a.m. – Noon	Panel Discussions (all participants)
12:30 p.m. – 2:00 p.m.	Luncheon: <b>Governor Jan Brewer</b> <b>Cleve Stevens</b> , Author & President Owl Sight Intentions
2:30 p.m. – 5:00 p.m.	Continuation of panel discussions
6:00 p.m. – 7:00 p.m.	Social hour
7:00 p.m.	Dinner: <b>Mickey Edwards</b> , Vice President of the Aspen Institute and Director of the Aspen Institute’s Rodel Fellowships in Public Leadership

**TUESDAY, NOVEMBER 27**

8:30 a.m. – Noon	Continuation of panel discussions
12:30 p.m. – 2:00 p.m.	Luncheon: Presentation of the Shirley Agnos Arizona Town Hall Legacy Award to <b>Rep. Gabrielle Giffords and Captain Mark Kelly</b>
	Musical performance by one of Arizona’s tribal nations
2:30 p.m. – 5:00 p.m.	Continuation of panel discussions
6:30 p.m. – 8:00 p.m.	Dinner and special recognition of student participants

**WEDNESDAY, NOVEMBER 28**

6:45 – 8:15 a.m.	Individual panel caucuses
8:30 a.m. to approx. 12:30 p.m.	Plenary Session
	Adjournment

**Town Hall Participants and Observers  
101<sup>st</sup> Arizona Town Hall  
“Civic Leadership for Arizona’s Future”**

**Scottsdale, Arizona  
November 25-28, 2012**

**Adams, Talonya:** Attorney, Axis Law, Phoenix  
**Allvin, Paul:** Vice President of Brand Advancement, Make-A-Wish America, Phoenix  
**Almquist, Kristin T.:** Marketing, Fundraising & Community Outreach Consultant, Tucson  
**Anderson, Elena:** Student, University of Arizona, Tucson  
**Atkins, Lisa A.:** Vice President, Public Policy, Greater Phoenix Leadership; Board Member, Central Arizona Project, Phoenix **Panel Chair**  
**Avant, Melissa A.:** Regional Director, First Things First, Sierra Vista  
**Bartosh, Doug:** City Manager, City of Cottonwood  
**Beazley, Jenalee:** Student, Cactus Shadows High School, Carefree  
**Beckvar, Karen:** Leadership Development, Arizona School Boards Association, Phoenix  
**Benesch, Wayne C.:** Attorney; Managing Director, Byrne, Benesch & Rice, P.C., Yuma **Panel Chair**  
**Breen, Sheila R.:** Regional Director for Arizona, Futures Education, Phoenix  
**Brice, Lesley:** Partner & President, MC Companies, Scottsdale  
**Brown, Bailey:** Student, Cactus Shadows High School, Carefree  
**Brown, Nathan K.:** Student, Paradise Community College, Paradise Valley  
**Buchanan, Linda:** Community Education Director, Yavapai College, Clarkdale  
**Burnside, Robert L. (Bob):** Mayor, Town of Camp Verde; Manager, Yavapai Mechanical, Camp Verde  
**Byra, Sandra D. (Sandy):** Director, Land Department & Papago Park Center, Salt River Project, Phoenix  
**Carlise, Charles R. (Chuck):** President, De Rito Partners Inc., Phoenix  
**Cartier, Dawn D.:** President, Civ Tech Inc., Scottsdale  
**Cassens, Charlie:** City Manager, Lake Havasu City  
**Cecala, Katherine:** Chief Operating Officer, Valley of the Sun United Way, Phoenix  
**Chapman, Tom:** Ret. Teacher, Phoenix  
**Contreras, Pamela:** Student, Pima Community College, Tucson  
**Covell, Rebecca L. (Becky):** Attorney, Covell Law, Phoenix **Recorder**  
**Cross, Samantha R.:** Student, Northern Arizona University, Hereford  
**Curiel, Lucero:** Student, Phoenix College, Phoenix  
**Curley, Sarah S.:** Judge, United States Bankruptcy Court, District of Arizona, Phoenix **Panel Chair**  
**Dale, Deborah:** Partner, Smith & Dale LLC, Tucson  
**Davis, Arlo (Chip):** Supervisor, District 3, Yavapai County, Cottonwood  
**Dawson, Shirley L.:** Gila County Supervisor, Globe  
**DeStefano, John M.:** Attorney, Snell & Wilmer, Phoenix **Recorder**  
**Dickerson, Eva:** Foundation Administrator, Sierra Vista Regional Health Center, Sierra Vista

**Doss, David (Dave):** President & CEO, Arizona State Credit Union, Phoenix

**Ferguson, Franz:** Student, Arizona State University Polytechnic, Mesa

**Fischer, Brenda S.:** City Manager, City of Maricopa

**Flanagan-Hyde, Sharon L.,** President, Flanagan-Hyde Solutions LLC, Scottsdale **Panel Chair**

**Fox, Edward Z. (Ed):** Vice President Chief Sustainability Officer, Arizona Public Service Company, Phoenix

**Frownfelter, Jennifer:** Vice President, URS Corporation, Phoenix **Recorder**

**Fuller, Shelby:** Events Coordinator, Del E. Webb Center for the Performing Arts, Wickenburg

**Gibbs, Chris:** Mayor, City of Safford

**Gonzales, Jaime Lyn:** Community Engagement Manager, DMB Associates-Verrado, Buckeye

**Gonzales, Manny:** Owner, Anozira, Carefree

**Goodman, Jeremy M.:** Managing Member, Goodman Law PLLC., Phoenix **Recorder**

**Haake, Kathy:** Ret. Human Resources Manager, Salt River Project, Phoenix

**Hannah, Nora:** COO, Experience Matters; Co-Owner & CEO, Ladiscor, Phoenix

**Harris, Charlotte A.:** Retired Director of Development, Salpointe Catholic High School, Tucson

**Hills, Geraldine (Gerry):** Executive Director, Phoenix Public Library Foundation, Phoenix

**Honea, Ed:** Mayor, Town of Marana

**Huffman, Paul:** Student, Mesa Community College, Mesa

**Hunt, Brandi:** President & CEO, Gauge Construction Inc., Phoenix

**Kelly, John:** Principal, Triadvocates, Phoenix

**Kennedy, Alan R.:** President, A. R. Kennedy Company; Former City Councilmember, Phoenix **Panel Chair**

**Kitagawa, Kathleen A.:** Certified Compensation Professional & Owner, KAK Compensation Services, LLC, Tucson

**Knecht, Kathryn D. (Kathy):** Executive Director, Leadership West, Avondale

**Largo, Thomas (Tom):** Councilmember, Salt River Pima-Maricopa Indian Community, Scottsdale

**Leong, Dennis:** President & CEO, Casino Arizona & Talking Stick Resort, Scottsdale

**LeRoux, Leslie M.:** Secretary, San Tan Historical Society, Tempe

**Letcher, Mike:** Assistant Professor of Practice in the Masters of Public Administration Program, University of Arizona; Owner, BridgeGroup LLC, Tucson **Background Report Author/Editor**

**Lewis, Jerry:** State Senator, Arizona State Senate, Mesa

**Lewis, Rodney B. (Rod):** Senior Policy Advisor, Akin Gump Strauss Hauer & Feld, LLP, Sacaton

**Lovallo, Lisa:** Market Vice President, Cox Communications, Inc., Tucson

**Lukensmeyer, Carolyn J.:** Executive Director, National Institute for Civil Discourse

**Main, Richard:** Owner, Sierra Vista Glass Shop, Sierra Vista

**Marquez Peterson, Lea:** President & CEO, Tucson Hispanic Chamber of Commerce, Tucson

**Martin, Ryan N.:** Staff, Paradise Valley Community College, Paradise Valley

**Martinez, Martha L.:** Student, Scottsdale Community College, Scottsdale

**Mason, Linda:** Program Director, Encore Fellowships Program, Experience Matters, Phoenix

**McCullough, Kelly:** General Manager, KAET TV Channel 8, Phoenix

**McCune, Frank:** Relationship Manager-Metro Phoenix, Arizona Public Service, Phoenix

**McCune-Davis, Debbie:** State Representative, Arizona House of Representatives, Phoenix

**McFarlin, Suzanne:** Executive Director, Greater Tucson Leadership, Tucson

**Meaker, Matthew B. (Matt):** Partner, Andante Law Group of Daniel E. Garrison, PLC., Scottsdale **Report Chair**

**Meyers, Bryan D.:** Community Manager, Salt River Pima-Maricopa Indian Community, Scottsdale

**Milward, H. Brinton (Brint):** Director, School of Government & Public Policy, University of Arizona, Tucson **Background Report Project Collaborator**

**Minnaugh, Michael:** Attorney, Righi Law Group, Phoenix **Recorder**

**Mlawsky, Karen:** Co-Chief Executive Officer, The University of Arizona Health Network, Tucson

**Molina, Aolani:** Student, Pima Community College West Campus, Green Valley

**Montgomery, William (Bill):** Maricopa County Attorney, Phoenix

**Moore, Christy:** Executive Director, Valley Leadership, Phoenix

**Moreno, Maria Elena:** Student, Pima Community College, Tucson

**Mutchler, J.C.:** Associate Research Assistant, The Southwest Center, University of Arizona, Hereford

**Nevedale, Rebecca:** Associate Director, Arizona Chapter of the American Academy of Pediatrics, Phoenix

**Norton, Chip:** Community Volunteer, Camp Verde

**Nowaczyk, Christine A.:** Senior Vice President, Bank of Arizona, Phoenix

**Pangrazio, Philip (Phil):** President & CEO, Arizona Bridge to Independent Living (ABIL), Phoenix

**Pfister, Suzanne:** Vice President, External Affairs, Dignity Health Arizona, Phoenix

**Potucek, Charles P. (Chuck):** City Manager, City of Sierra Vista

**Powell, Garrett M.:** Manager, Powell Feed & Supply, Case Grande

**Pressley, Aaron D.:** Student, Paradise Community College, Paradise Valley

**Quezada, Martin J.:** State Representative, Arizona House of Representatives, Phoenix

**Rajakovich, Emily:** Program Manager, Arizona Center for Civic Leadership, Flinn Foundation, Phoenix

**Reese, Richard (Dick):** Consultant, Hensel Phelps Construction Co., Phoenix

**Rendon, Jhonathan:** Student, Arizona State University, Mesa

**Rivera, Bob:** Mayor, Thatcher

**Rivers, John R.:** Ret., President & CEO, Arizona Hospital & Healthcare Association, Phoenix

**Roberts, David:** Navajo County Editor, White Mountain Independent, Show Low

**Rooney, Jodi:** Local Public Agency Section, Arizona Department of Transportation, Prescott Valley

**Roxlo, Katherine:** Geologist, Phoenix

**Sallen, Patricia A.:** Director Special Services & Ethics Department of General Counsel, State Bar of Arizona, Phoenix

**Scarborough, Karly J.:** Student, University of Arizona, Tucson

**Jeffrey A. Scudder (Jeff):** Associate, Snell & Wilmer LLP, Phoenix, **Report Co-Chair**

**Silverman, Richard H. (Dick):** Attorney, Jennings Strouss & Salmon PLC; Ret. General Manager, Salt River Project, Phoenix

**Sisley, Suzanne (Sue):** Assistant Professor, Internal Medicine/Psychiatry, Arizona Telemedicine Program, University of Arizona College of Medicine, Scottsdale

**Sjoberg, Frances:** Associate Attorney, Polsinelli Shughart, Phoenix

**Skoog, Harvey:** Mayor, Town of Prescott Valley

**Sneed, Bonnie:** President, Scottsdale School District Board, Scottsdale

**Snipes, Jasmine M.:** Student; Front Desk Clerk, Estrella Mountain Community College, Avondale

**Speed, Krystal L.:** Director of Human Capital Development, Data Systems Technology, Sierra Vista

**Stapp, Mark:** Executive Director and Professor, Master of Real Estate Development Program, W.P. Carey School of Business, Arizona State University, Tempe

**Stark, Debra W.:** Planning & Development Director, Maricopa County, Phoenix

**Steven, Ritch:** Volunteer Designated Arizona Lobbyist, AARP Arizona, Paradise Valley

**Suazo, Raymond:** State Director, Arizona Bureau of Land Management, Phoenix

**Taylor, John T. (Tom):** Certified Financial Planner, Taylor & Padgett, Camp Verde

**Theisen, Marissa:** President & CEO, Arizona Grantmakers Forum, Phoenix

**Thomas, Chris:** Partner, Squire Sanders LLP, Phoenix

**Timmer, Rebecca:** Corporate Relations Manager, Dibble Engineering, Phoenix

**Trujillo, Richard J.:** Chief Judge, Hopi Trial Court, Phoenix

**Wanslee, Madeleine C.:** Attorney, Partner, Gust Rosenfeld, PLC, Phoenix

**Washington, Janice C.:** State Director, Arizona Small Business Development Network, Tempe

**Wastchak, Daran R.:** President, D.R. Wastchak, LLC; Doctoral Student, Arizona State University, Tempe

**Welch, Nancy E.:** Vice President, Arizona Civic Center for Leadership, Flinn Foundation, Phoenix  
***Background Report Author/Project Collaborator***

**Yazzie-Devine, Diana (Dede):** President & CEO, Native American Connections, Phoenix

**Zinkin, Mike:** Councilmember, Town of Oro Valley

**Zorn, James E.:** Director of Finance & Operations, Saint Theresa Catholic School, Phoenix

#### **OBSERVERS**

**Agnos, Shirley:** President Emerita, Arizona Town Hall, Sun City West

**Bickel, Brian:** CEO, Southeast Arizona Medical Center, Douglas

**Bryck, Drew:** Graduate Research Assistant, Arizona State University, Tempe

**DeCabooter, Art :** President Emeritus, Scottsdale Community College, Scottsdale

**Hackett, Angela:** Research Assistant, University of Arizona, Tucson ***Background Report Editor***

**McWhortor, Patrick:** President & CEO, Alliance of Arizona Nonprofits, Phoenix

**Payne, Toby:** President, Technically Integrated, Inc., Cave Creek

**Rhodes, Scott:** Managing Attorney, Jennings, Strouss & Salmon, PLC, Phoenix

**Wastchak, Devan:** Managing Partner, VIVO Business Partners, LLC, Phoenix

**Woods, Larry:** Executive Committee, AARP Arizona, Sun City West



**Town Council Regular Session**

**Item # 1.**

**Meeting Date:** 01/16/2013  
MPA Award to OVPD

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**Information**

**Subject**

Presentation of an award from the Metropolitan Pima Alliance for the Oro Valley Police Department's Dispose-A-Med Program

**Summary**

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**Town Council Regular Session**

**Item # A.**

**Meeting Date:** 01/16/2013

**Requested by:** Julie Bower **Submitted By:** Mike Standish, Town Clerk's Office

**Department:** Town Clerk's Office

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**Information**

**SUBJECT:**

Minutes - November 7 & November 28, 2012

**RECOMMENDATION:**

Staff recommends approval.

**EXECUTIVE SUMMARY:**

N/A

**BACKGROUND OR DETAILED INFORMATION:**

N/A

**FISCAL IMPACT:**

N/A

**SUGGESTED MOTION:**

I MOVE to (approve, approve with the following changes) the November 7, 2012 minutes.

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**Attachments**

11/7/12 Draft Minutes

11/28/12 Draft Minutes

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**MINUTES  
ORO VALLEY TOWN COUNCIL  
REGULAR SESSION  
November 7, 2012  
ORO VALLEY COUNCIL CHAMBERS  
11000 N. LA CAÑADA DRIVE**

**REGULAR SESSION AT OR AFTER 5:00 PM**

**CALL TO ORDER**

Mayor Hiremath called the meeting to order at 5:00 p.m.

**ROLL CALL**

**PRESENT:**

Satish Hiremath, Mayor  
Lou Waters, Vice Mayor  
Brendan Burns, Councilmember  
Bill Garner, Councilmember  
Joe Hornat, Councilmember  
Mary Snider, Councilmember  
Mike Zinkin, Councilmember

**PLEDGE OF ALLEGIANCE**

Mayor Hiremath led the audience in the Pledge of Allegiance.

**UPCOMING MEETING ANNOUNCEMENTS**

Communications Administrator Misti Nowak announced the upcoming Town meetings and events.

**COUNCIL REPORTS**

• **Spotlight on Youth**

Councilmember Mary Snider reported on the grand opening of the archery range at Naranja Park on November 1st and said that the Wilson K-8 Archery Club was invited to draw the first bows.

Vice Mayor Waters attended the archery range ribbon cutting ceremony at Naranja Park on November 1st.

Archery expert Megan Bunge, Senior at Ironwood Ridge High school, talked about her archery background and thanked the Council for opening the archery range.

Mr. Bunge said that the new archery range at Naranja Park would help attract many state-wide tournaments since it was located near restaurants, shops and lodging and encouraged students and residents to attend their next archery practice on Saturday, November 17th at 8:00 a.m.

## **DEPARTMENT REPORTS**

Ms. Nowak announced additional upcoming Town meetings and events.

## **ORDER OF BUSINESS**

Mayor Hiremath stated that the agenda would stand as posted.

## **INFORMATIONAL ITEMS**

1. Public Safety Providers Quarterly Report - 1st Quarter FY 2012-2013 (July - Sept. 2012)

## **CALL TO AUDIENCE**

No comments were received.

## **CONSENT AGENDA**

Councilmember Zinkin requested that item (C) be removed from the consent agenda for discussion.

- A. Minutes - March 23, 2011, February 15, 2012, September 5, 2012, September 19, 2012
- B. Resolution No. (R)12-59, authorizing and approving an Intergovernmental Agreement between the Town of Oro Valley and Pima County for the town to bill and collect sewer user fees on behalf of Pima County

**MOTION:** A motion was made by Councilmember Hornat and seconded by Councilmember Snider to approve Consent Agenda items (A)-(B).

**MOTION** carried, 7-0.

- C. **Resolution No. (R)12-60, authorizing and approving an Intergovernmental Agreement between Pima County and the Town of Oro Valley for the Pima County Wireless Integrated Network**

Councilmember Zinkin asked if the funds outlined in the IGA had been budgeted.

Police Chief Danny Sharp said that the funds had not yet been budgeted since the project would likely commence in the latter part of Fiscal Year 2013/14.

Councilmember Garner asked how the user fees would be assessed.

Chief Sharp said that each subscribing unit would have an assessment and that as more users were added, assessments would come down.

**MOTION:** A motion was made by Councilmember Zinkin and seconded by Vice Mayor Waters to approve Resolution No. (R)12-60, authorizing and approving an Intergovernmental Agreement between Pima County and the Town of Oro Valley for the Pima County Wireless Integrated Network.

**MOTION** carried, 7-0.

## **REGULAR AGENDA**

### **1. PRESENTATION AND ACCEPTANCE OF THE TOWN'S ANNUAL FINANCIAL AUDIT FOR FISCAL YEAR ENDED JUNE 30, 2012**

Finance Director Stacey Lemos said that the auditors from Heinfeld Meech & Company had completed the independent financial audit of the Town's records as of June 30, 2012 and had rendered a clean or unqualified opinion on those financial statements.

Corey Arvizu, CPA, and Jim Rebenar, CPA, Partner and Manager of Heinfeld, Meech and Co., gave an overview of the Town's financial audit.

**MOTION:** A motion was made by Councilmember Snider and seconded by Councilmember Zinkin to accept the Town's financial audit for fiscal year ended June 30, 2012.

**MOTION** carried, 7-0.

### **2. PUBLIC HEARING - DISCUSSION AND POSSIBLE ACTION REGARDING AN APPLICATION FOR A SERIES 10 (BEER & WINE STORE) LIQUOR LICENSE FOR SPROUTS FARMERS MARKET #11 LOCATED AT 7665 N ORACLE ROAD**

Town Clerk Julie Bower gave an overview of item #2.

Mayor Hiremath opened the public hearing.

No comments were received.

Mayor Hiremath closed the public hearing.

**MOTION:** A motion was made by Councilmember Snider and seconded by Councilmember Garner to recommend approval of the issuance of a Series 10 liquor license to the Arizona Department of Liquor Licenses and Control for Randy Nations and principals of Sprouts Farmers Market #11 located at 7665 N. Oracle Road.

**MOTION** carried, 7-0.

### **3. PRESENTATION AND ACCEPTANCE OF THE WATER RATES ANALYSIS REPORT DATED NOVEMBER 7, 2012**

Water Utility Director Philip Saletta presented the water rates analysis report dated November 7, 2012 and stated that no water rate increases were recommended for next year.

**MOTION:** A motion was made by Vice Mayor Waters and seconded by Councilmember Snider to accept the water rates analysis report dated November 7, 2012 with the recommendation that there would not be a water rate increase for fiscal year 2012/13.

**MOTION** carried, 7-0.

### **4. PUBLIC HEARING - ORDINANCE NO. (O)12-20, AMENDING THE ORO VALLEY ZONING CODE REVISED, SECTION 22.9, DESIGN REVIEW; REGARDING THE SUBMITTAL OF NATIVE PLANT PRESERVATION, SALVAGE AND MITIGATION PLANS**

Councilmember Hornat requested the reconsideration of item #4 and gave an overview of the requested amendment.

Mayor Hiremath opened the public hearing.

No comments were received.

Mayor Hiremath closed the public hearing.

**MOTION:** A motion was made by Councilmember Hornat and seconded by Councilmember Snider to approve Ordinance No. (O)12-20, amending a portion of Section 22.9 of the Oro Valley Zoning Code relating to the timing of Native Plant Salvage and Mitigation Plans.

**MOTION** carried, 7-0.

**5. RESOLUTION NO. (R)12-61, AMENDING THE EXISTING PARKS AND RECREATION FEE SCHEDULE TO INCLUDE THE ADDITION OF ARCHERY RANGE FEES**

Parks, Recreation, Library & Cultural Resources Department Director Ainsley Legner gave an overview of the proposed archery range fees.

Oro Valley resident Hank Adair spoke on the proposed fee structure and operating rules of the archery range.

Oro Valley resident Gerry Perry spoke on and supported the proposed fee structure.

**MOTION:** A motion was made by Councilmember Snider and seconded by Vice Mayor Waters to approve Resolution No. (R)12-61, amending the existing Parks and Recreation fee schedule to include the addition of archery range fees as outlined in Attachment A and to include the following amendments:

1. Daily Fees: \$5.00 per person per day
2. Student annual pass with student ID: \$30.00
3. Adult (19 and above) annual pass: \$60.00
4. Ages 12 and under are free

**MOTION** carried, 7-0.

Mayor Hiremath recessed the meeting at 6:42 p.m.

Mayor Hiremath reconvened the meeting at 6:52 p.m.

**6. RESOLUTION NO. (R)12-62, AMENDING THE CONCEPTUAL DESIGN REVIEW BOARD'S RULES AND PROCEDURES, SECTION 2 SUBSECTION 1**

Planning Manager David Williams gave an overview of item #6.

**MOTION:** A motion was made by Councilmember Snider and seconded by Councilmember Zinkin to approve Resolution No. (R)12-62, amending the Conceptual Design Review Board's Rules and Procedures to reflect a seven (7) member board of which four (4) members should possess professional design expertise and experience.

**MOTION** carried, 7-0.

**7. REQUEST FOR APPROVAL OF CONCEPTUAL SITE PLAN AND CONCEPTUAL ARCHITECTURE FOR THE SAN DORADO AT ORO VALLEY TOWN CENTRE COMMERCIAL AND MULTI-FAMILY RESIDENTIAL DEVELOPMENT LOCATED ON THE EAST SIDE OF ORACLE ROAD AND FIRST AVENUE**

Mr. Williams briefly outlined the history of the proposed San Dorado development.

Senior Planner Matt Michels gave an overview of item #7.

Brad Anderson with Kitchell Development Company spoke on the proposed Conceptual Site Plan and Architecture.

Rick Butler, President of Butler Design Group of Phoenix, spoke on the proposed Conceptual Site Plan.

Mayor Hiremath opened the public hearing.

The following individuals spoke in opposition to item #7.

Oro Valley resident Kurt Weirich  
Oro Valley resident Jerry Robin  
Oro Valley resident Sarah Raney  
Oro Valley resident Judy Teiser  
Oro Valley resident Bill Creeden  
Oro Valley resident Debbie Creeden  
Oro Valley resident Bill Adler

The following individual spoke in support of item #7.

Oro Valley resident Tom Chase

Mayor Hiremath closed the public hearing.

**MOTION:** A motion was made by Councilmember Hornat and seconded by Vice Mayor Waters to approve the Conceptual Site Plan for the San Dorado at Oro Valley Town Centre Commercial and Multi-Family Residential Development located on the east side of Oracle Road and First Avenue, subject to the conditions in Attachment 2, Part I, finding that the Conceptual Site Plan meets applicable Design Principles and Standards.

**Attachment 2**

Staff Recommended Conditions of Approval  
San Dorado-OV Town Centre at Rooney Ranch  
Conceptual Site Plan

**Part I: Conceptual Site Plan**

**Engineering:**

1. Traffic circulation and other issues associated with the drive-throughs shall be addressed as part of the Conditional Use Permit review. As currently proposed, staff would not be able to support the requested drive-throughs.
2. The developer shall work with ADOT to adjust the traffic signal timing as outlined in the Traffic Impact Analysis (TIA) to improve the level of service at the Oracle Road / Pusch View Lane and Oracle Road / La Reserve Drive intersections.
3. A revised TIA will be required once the land uses are known for Phase 1b / Parcel B to review lane requirements for the Pusch View Lane eastbound approach to the Oracle Road intersection.
4. A revised TIA will be required when the future development south of Rooney Wash is in the planning stage to review the need for a separate right-turn lane on First Avenue westbound at the Oracle Road intersection. The developer shall bare all cost for the design and installation of the turn lane and any other necessary mitigation such as removing the existing bus stop and installing a bus pullout on Oracle Road.
5. A revised TIA will be required for the horizon year 2020 to determine the actual timing of installing the dual southbound left turn lanes at the Oracle Road / Pusch View Lane and Oracle Road / La Reserve Drive intersections.
6. The developer shall be required to periodically, as development occurs, review the operation of the Oracle Road / First Avenue intersection and the interaction with the eastbound left turn lane into the bank parcel (southeast corner of the intersection). If the operation is unacceptable, the developer shall provide any necessary mitigation measures to improve the operation at the developer's expense.
7. The developer has submitted a detention waiver request for the project. The detention waiver request is currently under review and a final decision shall be made once the drainage report has been submitted by the applicant and reviewed by the Town of Oro Valley and the Pima County Flood Control District.

**Planning:**

1. Show locations of courtyard/plaza areas on CSP.

2. Provide a sidewalk on both sides of the entry drive into the commercial area between Shops B and C connecting from the sidewalk along Oracle Road to the plaza area between Pads "G" and "H".
3. Phase "I" roadway and parking improvements shall be constructed concurrent with Phase "A" (the Civic Space) in order to provide parking and access to the Civic Space.
4. The south and west perimeter of Pad "I" (Phase H) shall be landscaped, or the native vegetation shall be preserved, at the time of grading to minimize visibility of the vacant pad from Oracle Road and the main entry drive.
5. Details associated with the drive-throughs shall be reflected on the Final Site Plan or revised Final Site Plan.
6. A shared use path shall be provided along the entire length of the Rooney Wash, with provision for a future connection point to the La Reserve development to the north.
7. To accommodate future public artwork or other appropriate public improvements in proximity to the main project entry, a note shall be added to the Conceptual Site Plan stating that the applicant will work with the Town to identify potential location(s) for the placement of artwork or improvements of a mutually-agreeable design, theme, and location. If agreement is reached, an easement or similar shall be granted to the Town for the placement of said artwork or improvements.

**MOTION** carried, 5-2 with Councilmember Garner and Councilmember Zinkin opposed.

Mr. Michels gave an overview of the proposed Conceptual Architecture for the San Dorado development.

**MOTION:** A motion was made by Mayor Hiremath and seconded by Councilmember Hornat to approve the Conceptual Architecture for the San Dorado at Oro Valley Town Centre Commercial and Multi-Family Residential Development located on the east side of Oracle Road and First Avenue, subject to the conditions in Attachment 1, Part II, finding that the Conceptual Architecture meets applicable Design Principles and Standards.

#### **Attachment 1**

CDRB Recommended Conditions of Approval  
San Dorado-OV Town Centre at Rooney Ranch  
Conceptual Architecture  
OV1212-08

## **Part II: Conceptual Architecture**

1. For the apartment portion, the same color scheme shall not be repeated on adjacent residential buildings or residential buildings directly across from each other. The revised color scheme reflecting at least 3 separate but complimentary color schemes shall be submitted for Town review.
2. A plan depicting the entry features must be submitted for review and approval by staff to confirm compliance with Section II.C., Areas 1&2 Development Criteria #11.
3. Shade elements shall be provided on all west facing facades on apartment buildings 1, 2, and 14 to limit heat gain.
4. Additional shade elements such as colonnades shall be provided along walkways in front (west) of commercial shops B, C, and D to eliminate "shade gaps" for pedestrians.

**MOTION** carried, 7-0.

### **8. DISCUSSION AND POSSIBLE ACTION REGARDING TEMPORARY SIGN RELIEF FOR BUSINESSES FRONTING LAMBERT LANE IMPACTED BY THE CURRENT STREET CONSTRUCTION PROJECT**

Development and Infrastructure Services Director Paul Keesler gave an overview of item #8.

The following individuals spoke in support of item #8.

Oro Valley resident Donald Bristow  
Oro Valley resident Kathleen Stupp  
President and CEO of the Greater Oro Valley Chamber of Commerce and Oro Valley resident Dave Perry

The following individual spoke in opposition to item #8.

Oro Valley resident Bill Adler

**MOTION:** A motion was made by Councilmember Zinkin and seconded by Vice Mayor Waters to approve temporary Zoning Code sign relief for businesses fronting Lambert Lane within the current construction zone with the following restrictions:

1. Any sign utilized must match the form, standards and construction type of signs already offered in the Zoning Code.

2. This sign relief concludes at the end of construction.
3. No more than one (1) sign per business shall be allowed.
4. Staff shall work out the appropriate signage within the signs allowed in Code to fully assist businesses to the greatest extent possible.
5. All applicable permit fees shall be waived.

**MOTION** carried, 7-0.

### **FUTURE AGENDA ITEMS**

Councilmember Waters requested a future agenda item to discuss a Code change that would allow a fountain or water feature in public gathering areas, seconded by Councilmember Snider.

### **CALL TO AUDIENCE**

Oro Valley resident John Musolf inquired as to what the outcome was of the recent appointment of an Interim Town Attorney due to the upcoming retirement of Town Attorney Tobin Rosen.

### **ADJOURNMENT**

**MOTION:** A motion was made by Vice Mayor Waters and seconded by Councilmember Burns to adjourn the meeting at 9:33 p.m.

**MOTION** carried, 7-0.

Prepared by:

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Michael Standish, CMC  
Deputy Town Clerk

I hereby certify that the foregoing minutes are a true and correct copy of the minutes of the regular session of the Town of Oro Valley Council of Oro Valley, Arizona held on the 7<sup>th</sup> day of November 2012. I further certify that the meeting was duly called and held and that a quorum was present.

Dated this \_\_\_\_ day of \_\_\_\_\_, 2013.

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Julie K. Bower, MMC  
Town Clerk

**MINUTES  
ORO VALLEY TOWN COUNCIL  
SPECIAL SESSION/STUDY SESSION  
NOVEMBER 28, 2012  
ORO VALLEY COUNCIL CHAMBERS  
11000 N. LA CAÑADA DRIVE**

**SPECIAL SESSION AT OR AFTER 5:00 PM**

**CALL TO ORDER**

Mayor Hiremath called the meeting to order at 5:00 p.m.

**ROLL CALL**

**PRESENT:** Satish Hiremath, Mayor  
Lou Waters, Vice Mayor  
Brendan Burns, Councilmember  
Bill Garner, Councilmember  
Joe Hornat, Councilmember  
Mary Snider, Councilmember  
Mike Zinkin, Councilmember

**ABSENT:** None

**EXECUTIVE SESSION AT OR AFTER 5:00 PM**

1. Pursuant to A.R.S. Section 38-431.03(A)(7) to discuss real estate acquisition
2. Pursuant to A.R.S. Section 38-431.03(A)(3)(legal advice) & (A)(4)(settlement negotiations) regarding electric utility infrastructure
3. Pursuant to A.R.S. Section 38-431.03(A)(1) (personnel) regarding the Town Attorney recruitment

It was moved by COUNCILMEMBER SNIDER and seconded by VICE MAYOR WATERS TO GO INTO EXECUTIVE SESSION AT 5:00 P.M. FOR CONSULTATION AND DISCUSSION.

Motion carried 7-0

**RESUMED SPECIAL SESSION AT OR AFTER 6:21 PM**

**ADJOURNMENT**

**MOTION:** A motion was made by COUNCILMEMBER SNIDER and seconded by VICE MAYOR WATERS TO ADJOURN THE SPECIAL SESSION.

**MOTION** carried, 7-0.

Special session adjourned at 6:21 p.m.

Prepared by:

\_\_\_\_\_  
Julie K. Bower, MMC  
Town Clerk

I hereby certify that the foregoing minutes are a true and correct copy of the minutes of the special session of the Town of Oro Valley Council of Oro Valley, Arizona held on the 28<sup>th</sup> day of November 2012. I further certify that the meeting was duly called and held and that a quorum was present.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2012.

\_\_\_\_\_  
Julie K. Bower, MMC  
Town Clerk



**Town Council Regular Session**

**Item # B.**

**Meeting Date:** 01/16/2013

**Requested by:** Stacey Lemos

**Submitted By:** Wendy Gomez, Finance

**Department:** Finance

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**Information**

**SUBJECT:**

Fiscal Year 2012/2013 Financial Update Through November 2012

**RECOMMENDATION:**

This item is for information only.

**EXECUTIVE SUMMARY:**

In the General Fund (please see attachment A), revenues collected through November totaled \$10.7 million, or 40.2% of the budget amount of \$26.7 million. Year to date expenditures through November totaled \$9.7 million, or 37.1% of the budget amount of \$26.3 million.

In the Highway Fund (please see attachment B), revenues collected through November totaled \$1.4 million, or 41.7% of the budget amount of \$3.3 million. Year to date expenditures through November totaled \$1.1 million, or 29.8% of the budget amount of \$3.7 million.

In the Bed Tax Fund (please see attachment C), revenues collected through November totaled \$266,127, or 33.8% of the budget amount of \$788,000. Year to date expenditures through November totaled \$118,026, or 25.0% of the budget amount of \$472,000.

**BACKGROUND OR DETAILED INFORMATION:**

Attachment A shows General Fund revenues and expenditures through November, as well as year-end estimates for each category. The estimated year-end projections in the General Fund are as follows:

Revenues	\$27,061,049
<u>Less:</u>	
Expenditures	(\$25,936,818)
<u>Less:</u>	
Other Financing Uses	(\$ 868,577)
Est. Increase in Fund Balance	\$ 255,654

**General Fund Revenues**

- Local sales tax collections in the General Fund total \$5,158,333, which is \$473,451 or 10% more than the amount collected in FY 11/12 through November. This increase is due to the utility tax increase that became effective in August 2011, as well as increased construction sales tax revenues. Sales tax collections in the General Fund are estimated to come in over budget by \$230,736. Staff will continue to monitor revenue collections and may adjust the year-end estimates based on actual trends.
- License and Permit revenues are estimated to come in over budget by \$127,210 due to higher than

anticipated commercial permit revenues. The Other Intergovernmental category has been reduced by \$50,737 in the Pima County Library District Reimbursement line item to account for the vacancy savings in the Library budget. The Library personnel budget has been reduced by the same amount. Staff will continue to monitor revenue collections and may adjust the year-end estimates based on actual trends.

- State shared revenue collections total \$3,668,770, which is \$312,925, or 9% more than the amount collected in FY 11/12 through November.

### **Highway Fund Revenues**

- Construction tax revenues in the Highway Fund totaled \$174,593 through November, which is \$48,800 or 39% more than the amount collected in FY 11/12 through November. Construction tax revenues in the Highway Fund are estimated to come in over budget by \$152,454. Staff will continue to monitor revenue collections and may adjust the year-end estimates based on actual trends.
- State shared highway user funds totaled \$1,004,696 through November, which is \$70,845 or 8% more than the amount collected in FY 11/12 through November.

### **Bed Tax Revenues**

- Bed tax revenues totaled \$262,969 through November, which is \$9,056 or 3.6% more than the amount collected in FY 11/12 through November.

### **General Fund Expenditures**

- Expenditures are estimated to come in under budget by \$328,173 or 1.2%, due to projected vacancy savings. Please note that vacancy savings are estimates and are subject to change.

### **Highway Fund Expenditures**

- Expenditures are estimated to come in under budget by \$19,783 or 0.5%, due to projected vacancy savings.

### **Bed Tax Fund Expenditures**

- Expenditures are estimated to come in under budget by \$74,752 or 15.8%, due to projected vacancy savings and the discontinued contract payment to TREO.

Please see Attachments A, B, and C for additional detail on the General Fund, Highway Fund and Bed Tax Fund. See Attachment D for estimated vacancy savings, and Attachment E for a fiscal year-to-date consolidated summary of all Town Funds .

### **FISCAL IMPACT:**

N/A

### **SUGGESTED MOTION:**

N/A

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### **Attachments**

[Attachment A - General Fund](#)

[Attachment B - Highway Fund](#)

[Attachment C - Bed Tax Fund](#)

[Attachment D - Vacancy Savings Report](#)

[Attachment E - Summary All Funds](#)





**General Fund**

% Budget Completion through November --- 41.7%

	Actuals thru 11/2012	Budget	% Actuals to Budget	Year End Estimate *	YE \$ Variance to Budget	YE % Variance to Budget
<b>REVENUES:</b>						
LOCAL SALES TAX	5,158,333	12,327,995	41.8%	12,558,731	230,736	1.9%
LICENSES & PERMITS	614,164	936,469	65.6%	1,063,679	127,210	13.6%
FEDERAL GRANTS	209,664	983,000	21.3%	983,000	-	0.0%
STATE GRANTS	348,701	1,014,042	34.4%	1,034,562	20,520	2.0%
STATE/COUNTY SHARED	3,668,770	9,175,117	40.0%	9,175,117	-	0.0%
OTHER INTERGOVERNMENTAL	-	613,413	0.0%	562,676	(50,737)	-8.3%
CHARGES FOR SERVICES	533,384	1,217,556	43.8%	1,230,189	12,633	1.0%
FINES	72,835	190,000	38.3%	190,000	-	0.0%
INTEREST INCOME	49,479	89,000	55.6%	89,000	-	0.0%
MISCELLANEOUS	74,631	134,000	55.7%	174,095	40,095	29.9%
<b>TOTAL REVENUES</b>	<b>10,729,960</b>	<b>26,680,592</b>	<b>40.2%</b>	<b>27,061,049</b>	<b>380,457</b>	<b>1.4%</b>
<b>EXPENDITURES:</b>						
COUNCIL	112,195	224,618	49.9%	224,618	-	0.0%
CLERK	126,934	322,779	39.3%	321,989	(790)	-0.2%
MANAGER	235,291	728,645	32.3%	638,568	(90,077)	-12.4%
HUMAN RESOURCES	161,446	496,156	32.5%	464,107	(32,049)	-6.5%
FINANCE	284,381	744,111	38.2%	729,187	(14,924)	-2.0%
INFORMATION TECHNOLOGY	636,187	1,213,633	52.4%	1,213,633	-	0.0%
GENERAL ADMINISTRATION	557,618	1,859,094	30.0%	1,859,094	-	0.0%
LEGAL	275,709	816,559	33.8%	768,813	(47,746)	-5.8%
COURT	259,654	757,629	34.3%	726,527	(31,102)	-4.1%
DEV & INFRASTRUCTURE SVCS	1,258,149	3,803,751	33.1%	3,780,310	(23,441)	-0.6%
PARKS, REC, LIBRARY, & CULT RSCS	1,010,452	2,630,112	38.4%	2,576,319	(53,793)	-2.0%
POLICE	4,818,922	12,667,904	38.0%	12,633,653	(34,251)	-0.3%
<b>TOTAL EXPENDITURES</b>	<b>9,736,939</b>	<b>26,264,991</b>	<b>37.1%</b>	<b>25,936,818</b>	<b>(328,173)</b>	<b>-1.2%</b>
<b>EXCESS (DEFICIENCY) OF REVENUES OVER EXPENDITURES</b>	<b>993,022</b>	<b>415,601</b>		<b>1,124,231</b>	<b>708,630</b>	
<b>TRANSFERS IN</b>						
Bed Tax Fund - Gen Fund Allocation	-	176,747	0.0%	176,747	-	0.0%
<b>TRANSFERS OUT</b>						
Aquatic Center Project Fund	(910,000)	(910,000)	100.0%	(910,000)	-	0.0%
Debt Service Fund	-	(135,324)	0.0%	(135,324)	-	0.0%
<b>TOTAL OTHER FINANCING SOURCES (USES)</b>	<b>(910,000)</b>	<b>(868,577)</b>	<b>104.8%</b>	<b>(868,577)</b>	<b>-</b>	<b>0.0%</b>
<b>CHANGE IN FUND BALANCE</b>	<b>83,022</b>	<b>(452,976)</b>		<b>255,654</b>	<b>708,630</b>	
<b>BEGINNING FUND BALANCE</b>						
Assigned - Comp. Absences & Unemploy Resrv		1,608,035		1,608,035	-	
Unassigned		9,793,614		9,793,614	-	
<b>TOTAL BEGINNING FUND BALANCE</b>		<b>11,401,649</b>		<b>11,401,649</b>	<b>-</b>	
<b>ENDING FUND BALANCE **</b>						
Assigned - Comp. Absences & Unemploy Resrv		1,608,035		1,608,035	-	
Unassigned		9,340,638		10,049,268	708,630	
<b>TOTAL ENDING FUND BALANCE **</b>		<b>10,948,673</b>		<b>11,657,303</b>	<b>708,630</b>	

\* Year-end estimates are subject to further revision

\*\* Ending Fund balance amounts are estimates and are subject to further revision



**Highway Fund**

% Budget Completion through November --- 41.7%

	Actuals thru 11/2012	Budget	% Actuals to Budget	Year End Estimate *	YE \$ Variance to Budget	YE % Variance to Budget
<b>REVENUES:</b>						
LOCAL SALES TAX	174,593	316,890	55.1%	469,344	152,454	48.1%
LICENSES & PERMITS	36,769	43,000	85.5%	47,585	4,585	10.7%
STATE GRANTS	71,200	260,000	27.4%	260,000	-	0.0%
STATE/COUNTY SHARED	1,004,696	2,480,005	40.5%	2,480,005	-	0.0%
CHARGES FOR SERVICES	95,622	229,493	41.7%	229,493	-	0.0%
INTEREST INCOME	1,906	7,000	27.2%	7,000	-	0.0%
MISCELLANEOUS	11,700	10,000	117.0%	17,497	7,497	75.0%
<b>TOTAL REVENUES</b>	<b>1,396,486</b>	<b>3,346,388</b>	<b>41.7%</b>	<b>3,510,924</b>	<b>164,536</b>	<b>4.9%</b>
<b>EXPENDITURES:</b>						
ADMINISTRATION	229,692	621,498	37.0%	621,498	-	0.0%
TRANSPORTATION ENGINEERING	430,357	1,616,873	26.6%	1,616,873	-	0.0%
PAVEMENT MANAGEMENT	38,235	102,051	37.5%	102,051	-	0.0%
STREET MAINTENANCE	234,290	784,005	29.9%	764,222	(19,783)	-2.5%
TRAFFIC ENGINEERING	162,372	545,402	29.8%	545,402	-	0.0%
<b>TOTAL EXPENDITURES</b>	<b>1,094,946</b>	<b>3,669,829</b>	<b>29.8%</b>	<b>3,650,046</b>	<b>(19,783)</b>	<b>-0.5%</b>
<b>EXCESS (DEFICIENCY) OF REVENUES OVER EXPENDITURES</b>	<b>301,540</b>	<b>(323,441)</b>		<b>(139,122)</b>	<b>184,319</b>	
<b>TRANSFERS IN TRANSFERS OUT</b>	-	-	0.0%	-	-	0.0%
<b>TOTAL OTHER FINANCING SOURCES (USES)</b>	-	-	0.0%	-	-	0.0%
<b>CHANGE IN FUND BALANCE</b>	<b>301,540</b>	<b>(323,441)</b>		<b>(139,122)</b>	<b>184,319</b>	
<b>BEGINNING FUND BALANCE</b>						
<i>Restricted</i>		<u>3,017,431</u>		<u>3,017,431</u>	-	
<b>TOTAL BEGINNING FUND BALANCE</b>		<b>3,017,431</b>		<b>3,017,431</b>	-	
<b>ENDING FUND BALANCE **</b>						
<i>Restricted</i>		<u>2,693,990</u>		<u>2,878,309</u>	<u>184,319</u>	
<b>TOTAL ENDING FUND BALANCE **</b>		<b>2,693,990</b>		<b>2,878,309</b>	<b>184,319</b>	

\* Year-end estimates are subject to further revision

\*\* Ending Fund balance amounts are estimates and are subject to further revision



**Bed Tax Fund**

% Budget Completion through November --- 41.7%

	Actuals thru 11/2012	Budget	% Actuals to Budget	Year End Estimate *	YE \$ Variance to Budget	YE % Variance to Budget
<b>REVENUES:</b>						
BED TAXES	262,969	782,283	33.6%	782,283	-	0.0%
INTEREST INCOME	3,158	5,700	55.4%	5,700	-	0.0%
<b>TOTAL REVENUES</b>	<b>266,127</b>	<b>787,983</b>	<b>33.8%</b>	<b>787,983</b>	<b>-</b>	<b>0.0%</b>

	Actuals thru 11/2012	Budget	% Actuals to Budget	Year End Estimate *	YE \$ Variance to Budget	YE % Variance to Budget
<b>EXPENDITURES:</b>						
ECONOMIC DEVELOPMENT	118,026	471,662	25.0%	396,910	(74,752)	-15.8%
<b>TOTAL EXPENDITURES</b>	<b>118,026</b>	<b>471,662</b>	<b>25.0%</b>	<b>396,910</b>	<b>(74,752)</b>	<b>-15.8%</b>

**EXCESS (DEFICIENCY) OF REVENUES OVER EXPENDITURES**                      **148,101**              **316,321**                      **391,073**              **74,752**

<b>TRANSFERS IN</b>						
<b>TRANSFERS OUT</b>						
General Fund/Debt Svc Transfer	-	(194,810)	0.0%	(194,810)	-	0.0%
Aquatics Center Project Fund	(300,000)	(300,000)	100.0%	(300,000)	-	0.0%
<b>TOTAL OTHER FINANCING SOURCES (USES)</b>	<b>(300,000)</b>	<b>(494,810)</b>	<b>60.6%</b>	<b>(494,810)</b>	<b>-</b>	<b>0.0%</b>

**CHANGE IN FUND BALANCE**                      **(151,899)**              **(178,489)**                      **(103,737)**              **74,752**

**BEGINNING FUND BALANCE**  
*Committed*    622,918    622,918    -  
**TOTAL BEGINNING FUND BALANCE**    **622,918**    **622,918**    -

**ENDING FUND BALANCE \*\***  
*Committed*    444,429    519,181    74,752  
**TOTAL ENDING FUND BALANCE \*\***    **444,429**    **519,181**    **74,752**

\* Year-end estimates are subject to further revision  
 \*\* Ending Fund balance amounts are estimates and are subject to further revision

<b>FY 12/13 Town Vacancy Report as of November 30, 2012</b>		
<b>Fund</b>	<b>Vacant FTEs</b>	<b>Estimated FY 12/13 Savings</b>
General Fund	4.00	331,899
Highway Fund	0.00	19,783
Bed Tax Fund	0.00	33,741
Water Utility Fund	0.00	-
Stormwater Utility Fund	0.00	-

**CONSOLIDATED YEAR-TO-DATE FINANCIAL REPORT THROUGH NOVEMBER, 2012**

**ATTACHMENT E**

<b>Fund</b>	<b>Actual FY 12/13 Begin Bal.</b>	<b>Revenue</b>	<b>Other Fin Sources/Tfrs</b>	<b>Total In</b>	<b>Capital Leases/ Transfer Out</b>	<b>Personnel</b>	<b>O&amp;M</b>	<b>Capital</b>	<b>Contingency</b>	<b>Debt Service</b>	<b>Total Out</b>	<b>Left in Accounts Thru Nov 2012</b>
General Fund - Unassigned	9,793,614	10,729,960	-	10,729,960	919,177	7,396,887	1,981,872	337,735	11,268	-	10,646,939	9,876,635
General Fund - Assigned	1,608,035											1,608,035
Highway Fund - Restricted	3,017,431	1,396,486	-	1,396,486	-	682,854	188,682	223,411	-	-	1,094,946	3,318,971
Seizure & Forfeiture - State	464,183	40,393	-	40,393	-	-	17,843	24,930	-	-	42,772	461,804
Seizure & Forfeiture - Justice	593,904	2,374	-	2,374	-	4,800	5,097	36,287	-	-	46,184	550,094
Bed Tax Fund - Committed	622,918	266,127	-	266,127	300,000	72,981	45,045	-	-	-	418,026	471,019
Impound Fee Fund	-	16,350	-	16,350	-	18,241	-	-	-	-	18,241	(1,891)
Municipal Debt Service Fund	1,164,733	50,892	-	50,892	-	-	4,400	-	-	477,045	481,445	734,179
Oracle Road Debt Service Fund	3,592	254,783	-	254,783	-	-	335	-	-	311,914	312,249	(53,874)
Alternative Water Resources Dev Impact Fee Fund	1,735,163	1,566,247	-	1,566,247	-	-	97,488	5,571	-	-	103,059	3,198,351
Potable Water System Dev Impact Fee Fund	3,379,205	307,058	-	307,058	-	-	-	-	-	-	-	3,686,263
Townwide Roadway Development Impact Fee Fund	2,228,996	1,454,546	-	1,454,546	-	-	-	1,356,562	-	-	1,356,562	2,326,979
Parks & Recreation Impact Fee Fund	112,053	59,245	-	59,245	-	-	-	90,099	-	-	90,099	81,199
Library Impact Fee Fund	110,192	3,691	-	3,691	-	-	-	-	-	-	-	113,883
Police Impact Fee Fund	102,329	31,170	-	31,170	-	-	-	82,645	-	-	82,645	50,854
General Government Impact Fee Fund	119,993	1,828	-	1,828	-	-	-	-	27,107	-	27,107	94,714
Naranja Park Fund	258,821	-	-	-	250,000	-	-	-	-	-	250,000	8,821
Aquatic Center Project Fund	3,122,332	18,354	1,460,000	1,478,354	-	-	135	2,247,802	-	-	2,247,938	2,352,749
Water Utility	10,002,917	4,884,824	-	4,884,824	-	974,256	2,011,939	917,081	-	-	3,903,277	10,984,465
Stormwater Utility	539,948	252,707	-	252,707	95,512	107,498	197,214	72,025	-	-	472,250	320,405
Fleet Maintenance Fund	-	266,161	-	266,161	-	31,418	245,356	-	-	-	276,774	(10,613)
Benefit Self Insurance Fund	-	868,659	-	868,659	-	-	660,700	-	-	-	660,700	207,959
Recreation In-Lieu Fee Fund	155,830	-	-	-	-	-	-	103,764	-	-	103,764	52,066
<b>Total</b>	<b>39,136,190</b>	<b>22,471,856</b>	<b>1,460,000</b>	<b>23,931,856</b>	<b>1,564,689</b>	<b>9,288,936</b>	<b>5,456,106</b>	<b>5,497,914</b>	<b>38,375</b>	<b>788,959</b>	<b>22,634,979</b>	<b>40,433,066</b>



Item # **C.**

**Town Council Regular Session**

**Meeting Date:** 01/16/2013  
**Submitted By:** Julie Bower, Town Clerk's Office  
**Department:** Town Clerk's Office

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**Information**

**SUBJECT:**

Appointments to the Parks & Recreation Advisory Board

**RECOMMENDATION:**

The selection committee for the Parks & Recreation Advisory Board recommends the following appointments:

Dana Hallin for a term expiring December 31, 2014  
Valerie Pullara for a term expiring December 31, 2014

**EXECUTIVE SUMMARY:**

The selection committee conducted interviews of prospective new board members.

**BACKGROUND OR DETAILED INFORMATION:**

Boards and Commissions in various areas of interest have been organized for residents to take an active role in their Town Government. The service and dedication of the board and commission members is invaluable and helps keep Oro Valley a community of excellence.

The applications of the prospective new board members are attached.

**FISCAL IMPACT:**

N/A

**SUGGESTED MOTION:**

I MOVE to (approve or deny) the following appointments to the Parks & Recreation Advisory Board:

Dana Hallin for a term expiring December 31, 2014  
Valerie Pullara for a term expiring December 31, 2014

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**Attachments**

Hallin Application  
Pullara Application

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**ORO VALLEY VOLUNTEER APPOINTMENT APPLICATION**

Dear Oro Valley Citizen:

We appreciate your interest in the Town of Oro Valley. This informational form, when completed, will allow us to quickly process your application by assisting us in understanding how we can best use your talents and experience. A list describing the Town's Boards and Commissions is attached for your reference. Information reflecting the procedures surrounding the appointment process to Boards is also attached. Your application will remain on file for two years from the date of receipt. We thank you kindly for volunteering to serve the Town!

Please note: No volunteer shall serve on more than one standing Board at any time.

Return this application to the Town Clerk's Office, 11000 N. La Cañada Drive, Oro Valley, Arizona 85737.

Name Hallin Dana Lynne  
Last First Middle Suffix

Address 412 E Natalia Pl. Oro Valley AZ 85737  
Street City State Zip

Home Phone 719-339-3137 Business Phone - Cellular Phone Same

Number of Years in Oro Valley 1 Email Address danhall26@aol.com

Signature Dana Hallin Date 11/20/12

Please indicate the board or commission you wish to join: Parks and Rec

Please list your volunteer services in Oro Valley and with other organizations including any boards or commissions on which you have served: (board/commission, civic, educational, cultural, social, etc.)

Safeco Insurance - Community Involvement Board - Spokane, WA  
Volunteer - Habitat for Humanity, Colorado Sp. Co  
Board - Vanessa Behan crisis nursery - Spokane, WA

How does your previous volunteer service prepare you for the board or commission appointment for which you have applied? Please describe an issue considered at a meeting of the Board or Commission for which you are applying.

The challenge is always the tension between "Needs" and the wisest use of resources - in this case, the use of land and the funds needed to put it to its intended use.

Have you attended the Community Academy or CPI? N What Year? - If not, are you willing to attend? Y

Briefly describe your educational/vocational background.

B.D degree / Former Regional Vice President for Berkshire Hathaway in charge of a 40 million dollar Insurance Operation and the management of 30 employees.

IF DESIRED, ADDITIONAL INFORMATION MAY BE ATTACHED  
[www.orovalleyaz.gov](http://www.orovalleyaz.gov)

# DANA HALLIN

## Address

412 E. Natalia Pl  
Oro Valley, AZ 85737

tel 719-339-3137  
email [danhall2b@aol.com](mailto:danhall2b@aol.com)

## Profile

A motivated, innovative, growth-oriented sales professional with both strong technical and leadership skills, capable of building teams, establishing positive business relationships and creating brand recognition. These abilities have resulted in a proven track record of achievement in sales objectives, product development and both regional and national management positions.

## Skills

Strategic Planning, motivation and leadership skills of both teams and regions

Ability to identify and develop key relationships and new revenue sources

Excellent Oral and written communication skills, including dynamic public speaking

Organized and focused

## Experience

### **Assistant Vice President/National Construction Manager, Denver, Co 2003-2009 Berkshire Hathaway Homestate Companies**

Responsible for developing and implementing a specialty insurance construction product including all pricing, underwriting and marketing guidelines for a 17 state territory.

Directed a team of underwriters, sales staff and claims adjusters, through the creation and implementation of a focused business plan and detailed sales objectives, in the successful attainment of \$30 million in sales with an expected combined ratio under 80% (resulting in 20% profit)

### **Assistant Vice President/General Manager, Denver, CO 2003-2009 Continental Divide Insurance Company**

Concurrent with the role of Construction manager, also managed the underwriting and sale operations of the Colorado Regional Office. Primary responsibilities included developing a sales network of over 50 independent insurance agencies and 25 employees resulting in over \$40 million in written premium.

### **Assistant General Manager/Senior Field Sales Underwriter, Denver, CO 2002-2003 Continental Divide Insurance Company**

Developed marketing and sales plan for key agencies. Met all sales goals while maintaining a highly profitable book of business by defining and creating increased brand recognition. Resulted in expanded underwriting authority and lead to branch promotion and increased responsibilities for operations.

### **Commercial Sales Underwriter, Denver, CO 2000-2002 Continental Divide Insurance Company**

Developed new and reinvigorated existing agency relationships, while identifying the geographic and business issues unique to the territory. Identified key issues and worked to successfully resolved them.

**Field Sales Underwriter, Coeur d'Alene, ID 1996-2000  
Insurance Company, CA**

**Cypress**

Opened state of Idaho for new workers compensation company against a powerful state fund. Identified and developed key agency relationships and created a reputation for providing excellent service, product knowledge and innovative problem solving

### **Education**

**Bachelor of Arts in Literature**

**Whitworth University, Spokane Washington**

**Dean's Honor Roll, Summa cum laude**

### **Interests**

**Hiking, climbing, snowshoeing, golfing, traveling, reading and movies**



## ORO VALLEY VOLUNTEER APPOINTMENT APPLICATION

Dear Oro Valley Citizen:

We appreciate your interest in the Town of Oro Valley. This informational form, when completed, will allow us to quickly process your application by assisting us in understanding how we can best use your talents and experience. A list describing the Town's Boards and Commissions is attached for your reference. Information reflecting the procedures surrounding the appointment process to Boards is also attached. Your application will remain on file for two years from the date of receipt. We thank you kindly for volunteering to serve the Town!

**Please note: No volunteer shall serve on more than one standing Board at any time.**

Return this application to the Town Clerk's Office, 11000 N. La Cañada Drive, Oro Valley, Arizona 85737.

Name Pullara Valerie D Ms  
 Last First Middle Suffix  
 Address 11624 N Grey's Ct Oro Valley AZ 85737  
 Street City State Zip  
 Home Phone 520-820-7096 Business Phone 622-4874 ext.131 Cellular Phone 520-820-7096  
 Number of Years in Oro Valley 7 Email Address vpullara@comcast.net  
 Signature [Signature] Date 11-21-12

Please indicate the board or commission you wish to join: Parks and Recreation Advisory Board

Please list your volunteer services in Oro Valley and with other organizations including any boards or commissions on which you have served: (board/commission, civic, educational, cultural, social, etc.)

Currently I am the chairperson for the Oro Valley Historic Preservation Commission.

My Commission ends December 2012. I was the Registrar for 3 yrs for

the CPO Soccer Club in Oro Valley and I am the Secretary for Arizona Greyhound

Rescue.  
 How does your previous volunteer service prepare you for the board or commission appointment for which you have applied? Please describe an issue considered at a meeting of the Board or Commission for which you are applying.

I have both volunteer experience and professional experience in matters

relating to parks, recreation, development of parkland and recreational  
facilities.

Have you attended the Community Academy or CPI?  What Year? 2010 If not, are you willing to attend? \_\_\_\_\_

Briefly describe your educational/vocational background.

I have extensive background in municipal Government and working with  
and on volunteer Boards and Commissions. Please see attached Resume.

IF DESIRED, ADDITIONAL INFORMATION MAY BE ATTACHED

[www.orovalleyaz.gov](http://www.orovalleyaz.gov)

2/23/11

**VALERIE D. PULLARA**

11624 N. Grey's Court, Oro Valley, AZ 85737  
520-820-7096 vpullara@comcast.net

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**OBJECTIVE**

Be an active member of a non-profit organization that values their employees, listening to their customers and operating under the ideals of moral integrity, quality and accountability.

**SUMMARY OF QUALIFICATIONS**

- Comprehensive hands-on experience in city management, human resource management, employee relations, strategic planning, program implementation, regulatory compliance, community/economic development for cities, non-profit and for profit companies
- Manage full P&L and budget functions, along with contract negotiations/administration, accurate document and report preparation, grant writing and extensive knowledge of proactive long/short term resource development
- Successfully develop and implement programs to increase efficiency, improve productivity, reduce operating costs, meet strategic objectives and ensure community and client satisfaction
- Extensive background in OSHA, EEOC, FMLA and Fair Labor Standards
- Consistent recognition by executive management and clients as a Change Agent with talents in team leadership, organization, communication and problem resolution in high pressure situations

**EXPERIENCE**

**OPERATIONS MANAGER**

**2010-Present**

*Beacon Group-Beacon Secure and Beacon Connects*

*Tucson, AZ*

- Operations Manager for non-profit secure document destruction and recycling operations with over 1800 accounts, process over 3 million pounds off paper annually. Successful employment of 50 people with disabilities.
- Implement significant process change, solution delivery and operation support to increase revenues by 25%.
- Successful implementation of logistics and billing software to increase operations efficiency by 35%.
- Operations Manager for new Contact Center Business unit, including selection of software platform and operations for "go live" ready status.
- Served on the several strategic planning committees to develop Beacon Group strategic plan.

**GROUP LEADER**

**2008- 2009**

*Target- Target.Com Fulfillment Center*

*Tucson, AZ*

- Assist in the Start-Up operations of a state-of-the-art fulfillment center.
- Lead a team of up to 65 that prepare and ship guest orders.
- Recruit, hire, supervise and train team members to achieve service goals.
- Develop Best Practices to ensure effective deliver of service to the guest.
- Drive continuous improvement, efficiency, and execution via common processes and application changes.

- Serve as the Diversity Captain for Tucson's Distribution Services.
- Serve as the building Safety Incident Review Captain.

**DIRECTOR OF HUMAN RESOURCES**

**2006- 2008**

*Online Self Storage D/B/A CallMaximizer*

*Tucson, AZ*

- Manage all human resource operations for a national call center.
- Successfully manage compensation programs, benefits, policies/procedures and payroll.
- Strong team partner with business operations to ensure success with complex strategic planning and forecasting.
- Strategic creation, design and delivery of policy compliance, recruiting, hiring and training programs for all corporate departments.
- Proactive intervention on organization wide employee relation issues.

**DEVELOPMENT DIRECTOR**

**2005-2006**

*Tucson Audubon Society*

*Tucson, AZ*

- Managed development activities to ensure the long term financial stability of the organization.
- Developed successful marketing and long/short term giving and membership programs.
- Researched grant opportunities with a 90% success rate.

**EXECUTIVE DIRECTOR**

**2003-2005**

*American Red Cross*

*Butler County, OH*

- Managed all Chapter functions that serviced Butler County (450,000 pop).
- Select, train, evaluate and motivate staff.
- Successfully operated health/safety, emergency and transportation services for the county.
- Instituted new financial development initiatives that increased the Chapter's financial donors.

**CHIEF OPERATING OFFICER**

**2001-2003**

*Brighton Properties, Inc.*

*Newport, KY*

- Managed non-profit property management (\$20 million) and economic redevelopment (\$1.2 million) company.
- Hire and train staff; as well as develop and apply human resource policies.
- Successfully initiated wide-range economic redevelopment and revitalization programs that constructed affordable single-family homes and community redevelopment in Newport, Covington, Florence and Erlanger, KY.
- Provided project management for successful design and construction of 2.5 million community center.
- Developed strong partnerships with local governments, funders and corporate entities to create new economic revitalization programs.

**CITY MANAGER**

**1999-2000**

*City of Wheat Ridge*

*Wheat Ridge, CO*

- Managed municipal services under Council/Manager form of government. Oversaw staff of 250 employees, \$16 million operating budget, separate capital improvement fund and several enterprise funds.
- Instituted a wide-range of effective economic development and construction revitalization programs to promote city economic diversification.
- Key participant in constructing and opening a 71,000 square foot recreational facility with state-of-the art services.
- Led the implementation of revising and updating zoning and general development plans.

- Acquired and developed plans for parks and open space by expediting negotiations for the Clear Creek Green Belt with Coors Brewing Company.

**CITY ADMINISTRATOR**

**1993-1999**

*City of Fenton*

*Fenton, MO*

- Managed municipal services and over saw 200 employees, \$7 million operating budget, separate capital improvement fund and \$10 million reserve.
- Successful initiation of city wide economic development and downtown revitalization programs through enterprise zones, Tax Increment Financing districts and utilization of Main Street and historic preservation funds.
- Designed, funded and constructed \$24 million 72,000 square foot recreational facility with state-of-the-art services.
- Led the implementation of revising and updating zoning and general development plans.
- Successfully acquired funding for the purchase, development and maintenance of over 400 acres of park and open space.
- Successfully negotiated contracts for telecommunications networks, technology/information systems, cable access, city utilities, MDOT infrastructure and other vital community services.
- Spearheaded successful "A" bond rating for \$52 million Tax Increment Financing bond issue and district.

**PREVIOUS EXPERIENCE**

Oversaw all contractual and risk management compliance policies/procedures as Regional Contracts Manager for 8 offices around the United States for \$30 million environmental consulting, facility design and construction management company. (1991-1993)

Supervised a team of three as a Senior Paralegal for several law offices in Madison and Milwaukee, Wisconsin specializing in complex employment law, property law, litigation, construction, insurance and workers compensation law. (1985-1991)

**EDUCATION**

Masters-Management, Webster University, Webster Groves, MO  
 Bachelors of Science, Political Science/Education, University of Wisconsin  
 ABA Approved, Lawyer's Assistant Program, Roosevelt University, Chicago, IL

**OTHER**

*Software and Technology*

Familiar with MS Windows, Excel, Access, PowerPoint and other Microsoft software programs, Warehouse Management, DesertMicro, ConnectFirst Cloud based call center technology, Raiser's Edge and MatchMaker-Fundraising Software, UNIX, PeopleSoft, ADP/HRB, and other complex software databases and programs.

*Current Volunteer Service or Affiliations*

- Chair Person - Town of Oro Valley Historic Preservation Commission
- Secretary, Arizona Greyhound Rescue

*Past Volunteer Service or Affiliations*

- Times Beach Recovery Committee
- Chairperson of South Bank-Economic Revitalization Citizen Advisory Board
- Colorado Telecommunications Negotiation Team
- Board member for Arizona Environmental Fund Action Group
- CDO Soccer Club Board Member and Club Registrar



**Town Council Regular Session**

**Item # D.**

**Meeting Date:** 01/16/2013

**Requested by:** Amanda Jacobs **Submitted By:** Amanda Jacobs, Town Manager's Office

**Department:** Town Manager's Office

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**Information**

**SUBJECT:**

Council approval of M3S Sports' request for In-Kind Support for the Arizona Distance Classic

**RECOMMENDATION:**

Staff recommends approval.

**EXECUTIVE SUMMARY:**

In fall 2010, Council expressed an interest in establishing a funding policy, apart from the Town's current Community Funding policy, for special events that stimulate local economic development. To address this request, staff enhanced the Town's existing Special Events Policy to include requests for in-kind support from event coordinators up to 50%. Council directed staff to provide flexibility and 100% in-kind support for major/signature events that have a significant economic impact in Oro Valley.

**BACKGROUND OR DETAILED INFORMATION:**

The Ninth Annual Arizona Distance Classic will be held in Oro Valley on Sunday, March 24, 2013. The event includes the Valley of Gold Half Marathon (13.1 miles), the Quarter Marathon (6.55 miles), the Northwest Medical Center 5k, One Mile Champions Walk and the Town of Oro Valley Kids Fun Run. The start and finish for all events will be at the beautiful Ventana Medical Systems/Roche campus. Organizers estimate the event will attract over 2,200 people. The estimated economic impact is \$559,360.

The purpose of the Arizona Distance Classic is to provide a world class event to celebrate the active lifestyle in Oro Valley and all residents are encouraged to participate in the event or volunteer. The Hilton El Conquistador Golf & Tennis Resort is the host resort. The event partners for 2013 include Ventana Medical Systems/Roche, Hilton El Conquistador Golf & Tennis Resort, Northwest Medical Center, All About Running & Walking, the Explorer Newspaper and the Greater Oro Valley Chamber of Commerce.

**FISCAL IMPACT:**

The total in-kind support for the Arizona Distance Classic is estimated to be \$9,628.

**SUGGESTED MOTION:**

I MOVE to (approve or deny) 100% in-kind support for the Arizona Distance Classic.

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## Town Council Regular Session

Item # **E.**

**Meeting Date:** 01/16/2013  
**Requested by:** Craig Civalier  
**Submitted By:** Craig Civalier, Development Infrastructure Services  
**Department:** Development Infrastructure Services

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### Information

#### **SUBJECT:**

Resolution No. (R)13-01, Authorizing and approving an Intergovernmental Agreement between the Town of Oro Valley and the Arizona Department of Transportation for installing experimental clear noise wall panels along a 200 linear foot stretch on State Route 77 (SR77)

#### **RECOMMENDATION:**

Staff recommends the approval.

#### **EXECUTIVE SUMMARY:**

This IGA will allow for the construction of a 200-ft span of clear noise wall panels near the northern end of the northern most noise wall, adjacent to the subdivision on Big Wash Overlook Place. The advantages of clear panels over concrete noise wall panels are aesthetic, in that the views will not be blocked while still providing noise abatement.

This application will allow ADOT to test the clear panels as to their effectiveness in sound reduction and other material science aspects. The Town is required to provide \$3,000 for the installation of the clear panels and maintenance after installation. The noise wall construction is planned for late 2014 or early 2015.

#### **BACKGROUND OR DETAILED INFORMATION:**

The Arizona Department of Transportation (ADOT) is in the design process for a project to widen Oracle Road from a four lane divided highway to a six lane divided highway. Review of increased noise levels to adjacent residential areas occurred in the project planning process and determined that noise walls were warranted for the residential area on the west side of Oracle Road from Vistoso Commerce Loop to the northern Town line just north of Big Wash Overlook Place.

Four sections of noise walls will be constructed, as shown in Attachment 3. The noise walls will not be continuous as one neighborhood voted against their installation. That neighborhood is located along Wide View Drive. The primary reason this neighborhood voted against the installation of noise walls was the obstruction of their view of the Catalina Mountains to the east. Two hundred feet of the transparent panels will be installed toward the northern end of the northern most noise wall, as shown in Attachment 4.

The Town Engineer began investigating alternative materials in early 2011 and discovered an existing technology of transparent noise panels in use in other areas of the country. Since that time negotiations have taken place between ADOT and Town Staff with the result being the IGA being discussed.

This IGA represents an important step for the Town and ADOT as it establishes a research project to study the feasibility of this alternative noise panel material. If the results of this research are positive the benefits will be nearly unlimited as other communities share our residents concern not only of blocked mountain views but blocked views of businesses, attractions and public facilities.

The Town's obligation under this IGA has a cost and maintenance component. The Town will pay a cost differential of \$3,000 between the cost of a standard concrete noise wall and the transparent panels. The Town will provide maintenance of the transparent panels in perpetuity. Staff's understanding from the manufacturer of the transparent panels is that maintenance will be minimal.

**FISCAL IMPACT:**

The construction cost will be \$3,000 and annual maintenance costs will be minimal.

**SUGGESTED MOTION:**

I MOVE to (approve or deny) Resolution No. (R)13-01, authorizing and approving an intergovernmental agreement between the Town of Oro Valley and the State of Arizona regarding the construction and maintenance of clear noise wall panels along a 200 linear foot stretch on State Route 77(SR77).

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**Attachments**

Attachment 1 - (R)13-01

Attachment 2 - IGA

Attachment 3 - Noise Wall Location Map

Attachment 4 - Clear Panel Location Map

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**RESOLUTION NO. (R)13-01**

**A RESOLUTION OF THE MAYOR AND COUNCIL OF THE TOWN OF ORO VALLEY, ARIZONA, AUTHORIZING AND APPROVING AN INTERGOVERNMENTAL AGREEMENT BETWEEN THE TOWN OF ORO VALLEY AND THE ARIZONA DEPARTMENT OF TRANSPORTATION FOR INSTALLING EXPERIMENTAL CLEAR NOISE WALL PANELS ALONG A 200 LINEAR FOOT STRETCH ON STATE ROUTE 77 (SR77)**

**WHEREAS**, pursuant to A.R.S. § 11-951 through 11-954, the Arizona Department of Transportation (ADOT) and the Town of Oro Valley are authorized to enter into intergovernmental agreements for joint and cooperative action; and

**WHEREAS**, the Town is authorized by A.R.S. § 9-276 to lay out, maintain, control and manage public roads within the boundaries of the Town; and

**WHEREAS**, the Town desires to enter into an intergovernmental agreement with the State as part of the roadway widening improvements along SR77; and

**WHEREAS**, funding and maintenance for the experimental clear wall noise panels shall be provided by the Town; and

**WHEREAS**, it is in the best interest of the Town of Oro Valley to enter into the Intergovernmental Agreement, attached hereto as Exhibit "A" and incorporated herein by this reference, with the Arizona Department of Transportation in order to set forth the terms and conditions for the aforementioned request.

**THEREFORE, BE IT RESOLVED, by the Mayor and Town Council of the Town of Oro Valley, Arizona that:**

1. The Intergovernmental Agreement, attached hereto as Exhibit "A" and incorporated herein by this reference, between the Town of Oro Valley and the Arizona Department of Transportation to install experimental clear noise walls along a 200 linear stretch on SR77 is hereby authorized and approved.
2. The Mayor and any other administrative officials are hereby authorized to take such steps necessary to execute and implement the terms of the Agreement.

**PASSED AND ADOPTED** by the Mayor and Town Council of the Town of Oro Valley, Arizona on this 16<sup>th</sup> day of January, 2013.

**TOWN OF ORO VALLEY**

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Dr. Satish I. Hiremath, Mayor

**ATTEST:**

---

Julie K. Bower, Town Clerk

---

Date

**APPROVED AS TO FORM:**

---

Tobin Sidles, Interim Town Attorney

---

Date

# EXHIBIT “A”

ADOT File No.: IGA/JPA 12-078I  
AG Contract No.: P001 2012 003843  
Project: Experimental Noise Wall Panels  
Section: SR 77  
**TRACS No.: H6694 01D**  
**Budget Source: 14110/14113**

## INTERGOVERNMENTAL AGREEMENT

BETWEEN  
THE STATE OF ARIZONA  
AND  
THE TOWN OF ORO VALLEY

**THIS AGREEMENT** is entered into this date \_\_\_\_\_, 2013, pursuant to the Arizona Revised Statutes § 11-951 through 11-954, as amended, between the STATE OF ARIZONA, acting by and through its DEPARTMENT OF TRANSPORTATION (the "State") and the TOWN OF ORO VALLEY, acting by and through its MAYOR (the "Town"). The State and the Town are collectively referred to as "Parties".

### I. RECITALS

1. The State is empowered by Arizona Revised Statutes § 28-401 to enter into this Agreement and has delegated to the undersigned the authority to execute this Agreement on behalf of the State.

2. The Town is empowered by Arizona Revised Statutes § 11-251 to enter into this Agreement and has by resolution, a copy of which is attached hereto and made a part hereof, resolved to enter into this Agreement on behalf of the Town.

3. At the Town's request, as part of the roadway widening improvements along SR 77, the State will install experimental clear noise wall panels, for a 200 linear foot stretch of warranted noise wall in the Town of Oro Valley on SR77, herein after referred to as the 'Project'. The Town will agree to pay the difference in cost between the Arizona Department of Transportation (ADOT) standard noise wall and the clear noise panel. The Town will maintain the clear noise wall and replace the clear panels if they fail in any way. ADOT Research may conduct noise readings/collect data and incorporate such data into future noise wall analysis projects if practicable. The Town will receive copies of all test data, readings, results and reports from all ADOT research on the noise walls covered under this Agreement. The Town will maintain the clear noise panels in perpetuity.

4. The Parties hereto agree to and acknowledge the following conditions: the Parties shall perform their responsibilities consistent with this Agreement, and any change or modification to the Project will only occur with the mutual written consent of both Parties.

**THEREFORE**, in consideration of the mutual covenants expressed herein, it is agreed as follows:

---

## **II. SCOPE OF WORK**

### 1. The State will:

a. Upon execution of this Agreement, and prior to performing or authorizing any work, invoice the Town for the difference in cost between the ADOT standard noise wall and the clear noise wall panel, currently estimated at \$3,000.00. Once the Project costs have been finalized, the State will either invoice or reimburse the Town for the difference between estimated and actual costs.

b. Install experimental clear noise wall panels, for a 200 linear foot stretch of warranted noise wall in the Town of Oro Valley on SR77.

c. Not be responsible for maintenance, replacement or costs associated with the clear noise wall panels should they fail in any way.

d. Upon completion of the Project, perform the final inspection and notify the Town in writing that the Project has been installed in accordance with the Project documents and has been satisfactorily completed.

e. Add the maintenance of the transparent noise wall, per established procedures of the State's Tucson District Permit Office, to the existing valid blanket Encroachment Permit, under IGA/JPA 08-1381, for the routine/normal maintenance and emergency maintenance work to be provided by the Town within the State's rights-of-way. Process any other Encroachment Permits that may be needed to work within the State's right-of-way to effectively meet the obligations set forth for the Town in this Agreement. The State agrees all activities that are reasonably required to be performed by the Town under this Agreement shall be set forth in and covered by the appropriate Encroachment Permit.

### 2. The Town will:

a. Upon execution of this Agreement and within thirty (30) days of receipt of an invoice from the State, remit to the State \$3,000.00, for the difference in cost between the ADOT standard noise wall and the clear noise panel. Once the Project costs have been finalized, the State will either invoice or reimburse the Town for the difference between estimated and actual costs.

b. Provide all maintenance work within the State right-of-way in a manner which minimizes traffic congestion and interference with through-traffic. All traffic control will meet the requirements of the most recent approved version of Arizona Department of Transportation's Manual on Uniform Traffic Control Devices (MUTCD) 2009 edition and the Arizona supplemental modifications, dated January 13, 2012.

c. Request and maintain, per established procedures of the State's Tucson District Permit Office, a valid blanket Encroachment Permit for the routine/normal maintenance and emergency maintenance work provided by the Town within the State's rights-of-way. Agree to obtain separate permits for any new construction or installations in accordance with the Tucson District established procedures. The Town agrees all activities performed by the Town under this Agreement shall be set forth in and covered by the appropriate Encroachment Permit.

d. Not permit or allow any encroachments upon or private use of the right-of-way, except those authorized by permit. In the event of any unauthorized encroachment or improper use, the Town shall take all necessary steps to remove or prevent any such encroachment or use.

e. Upon completion of the Project, maintain the clear noise wall panels in perpetuity, including but not limited to replacement and/or replacement costs associated with the clear noise wall panels, should ADOT Research determine the functionality of the clear noise wall panels inadequate to deflect noise, remain structurally sound, and/or maintain a clear appearance.

### **III. MISCELLANEOUS PROVISIONS**

1. The terms, conditions and provisions of this Agreement shall remain in full force and effect until completion and reimbursements provided herein. However, any provisions for maintenance, provided by the respective party shall be perpetual. This Agreement may be cancelled at any time prior to award of the Project, upon thirty-days (30) written notice to either party. It is understood and agreed that, in the event the Town cancels this Agreement, the State shall in no way be obligated to maintain said Project.

2. The State assumes no financial obligation or liability under this Agreement, or for any resulting construction Project. The Town, in regard to the Town's relationship with the State only, assumes full responsibility for the design, plans, specifications, reports, the engineering in connection therewith and the maintenance of the improvements contemplated, cost over-runs and construction claims. It is understood and agreed that the State's participation is confined solely to securing federal aid on behalf of the Town and the fulfillment of any other responsibilities of the State as specifically set forth herein; that any damages arising from carrying out, in any respect, the terms of this Agreement or any modification thereof shall be solely the liability of the Town and that to the extent permitted by law, the Town hereby agrees to save and hold harmless, defend and indemnify from loss the State, any of its departments, agencies, officers or employees from any and all costs and/or damage incurred by any of the above and from any other damage to any person or property whatsoever, which is caused by any activity, condition, misrepresentation, directives, instruction or event arising out of the performance or non performance of any provisions of this Agreement by the State, any of its departments, agencies, officers and employees, or its independent contractors, the Town, any of its agents, officers and employees, or its independent contractors. Costs incurred by the State, any of its departments, agencies, officers or employees shall include in the event of any action, court costs, and expenses of litigation and attorneys' fees.

3. This Agreement shall become effective upon signing and dating of the Determination Letter by the State's Attorney General.

4. The cost of the project under this Agreement includes applicable indirect costs approved by the Federal Highway Administration (FHWA).

5. The Town and the State warrant compliance with the Federal Funding Accountability and Transparency Act of 2006 and associated 2008 Amendments (the "Act"). Additionally, in a timely manner, the Town will provide information that is requested by the State to enable the State to comply with the requirements of the Act, as may be applicable.

6. This Agreement may be cancelled in accordance with Arizona Revised Statutes § 38-511.

7. The provisions of Arizona Revised Statutes § 35-214 are applicable to this Agreement.

8. This Agreement is subject to all applicable provisions of the Americans with Disabilities Act (Public Law 101-336, 42 U.S.C. 12101-12213) and all applicable Federal regulations under the Act, including 28 CFR Parts 35 and 36. The parties to this Agreement shall comply with Executive Order Number 09-09 issued by the Governor of the State of Arizona and incorporated herein by reference regarding "Non-Discrimination".

9. Non-Availability of Funds: Every payment obligation of either the State or the County under this Agreement is conditioned upon the availability of funds appropriated or allocated for the payment of such obligations. If funds are not allocated and available for the continuance of this Agreement, this Agreement may be terminated by either the State or the County at the end of the period for which the funds are

available. No liability shall accrue to either the State or the County in the event this provision is exercised, and neither the State nor the County shall be obligated or liable for any future payments as a result of termination under this paragraph.

10. In the event of any controversy which may arise out of this Agreement, the Parties hereto agree to abide by required arbitration as is set forth for public works contracts in Arizona Revised Statutes § 12-1518.

11. All notices or demands upon any party to this Agreement shall be in writing and shall be delivered in person or sent by mail, addressed as follows:

Arizona Department of Transportation  
Joint Project Administration  
205 S. 17<sup>th</sup> Avenue, Mail Drop 637E  
Phoenix, Arizona 85007  
(602) 712-7124  
(602) 712-3132 Fax

Town of Oro Valley  
Attn: Paul Keesler  
11000 N. LaCanada Drive  
Oro Valley, AZ 85737  
(520) 229-4800  
(520) 229-4899 Fax

12. The Parties shall comply with the applicable requirements of Arizona Revised Statutes § 41-4401.

13. Pursuant to Arizona Revised Statutes § 35-391.06 and § 35-393.06, each Party certifies that it does not have a scrutinized business operation in Sudan or Iran. For the purpose of this Section the term "scrutinized business operations" shall have the meanings set forth in Arizona Revised Statutes § 35-391 and/or § 35-393, as applicable. If any Party determines that another Party submitted a false certification, that Party may impose remedies as provided by law including terminating this Agreement.

14. The Parties hereto shall comply with all applicable laws, rules, regulations and ordinances, as may be amended.

15. In accordance with Arizona Revised Statutes § 11-952 (D) attached hereto and incorporated herein is the written determination of each party's legal counsel and that the parties are authorized under the laws of this State to enter into this Agreement and that the Agreement is in proper form.

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**IN WITNESS WHEREOF**, the Parties have executed this Agreement the day and year first above written.

**TOWN OF ORO VALLEY**

**STATE OF ARIZONA**

Department of Transportation

By \_\_\_\_\_  
**DR. SATISH HIREMATH**  
Mayor

By \_\_\_\_\_  
**DALLAS HAMMIT, P.E.**  
Senior Deputy State Engineer, Development

ATTEST:

By \_\_\_\_\_  
**JULIE K. BOWER**  
Town Clerk

**ATTORNEY APPROVAL FORM FOR THE TOWN OF ORO VALLEY**

I have reviewed the above referenced Intergovernmental Agreement between the State of Arizona, acting by and through its DEPARTMENT OF TRANSPORTATION, and the TOWN OF ORO VALLEY, an Agreement among public agencies which, has been reviewed pursuant to A.R.S. § 11-951 through § 11-954 and declare this Agreement to be in proper form and within the powers and authority granted to the Town under the laws of the State of Arizona.

No opinion is expressed as to the authority of the State to enter into this Agreement.

DATED this \_\_\_\_\_ day of \_\_\_\_\_, 2012.

\_\_\_\_\_  
Town Attorney



**LEGEND**

- Sound Barrier Wall
- Sound Barrier Wall with Transparent Panel Research Section
- \* → Photo Location & Direction

Location Map - Proposed Sound Barrier Walls

Design Widening SR77 (Oracle Hwy)  
 Tangerine Road to the Pinal County Line  
 ADOT Project No. 077PM082 H669401D



# SOUND BARRIER WALL WITH TRANSPARENT PANELS

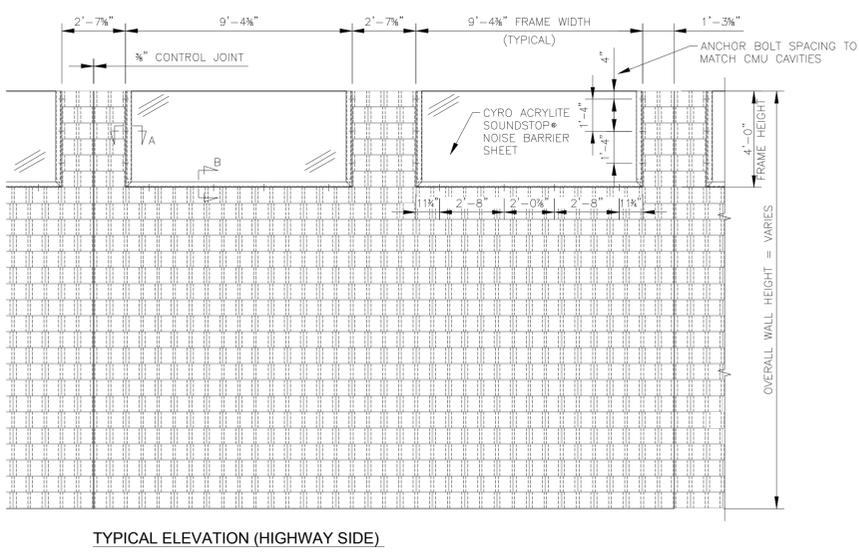
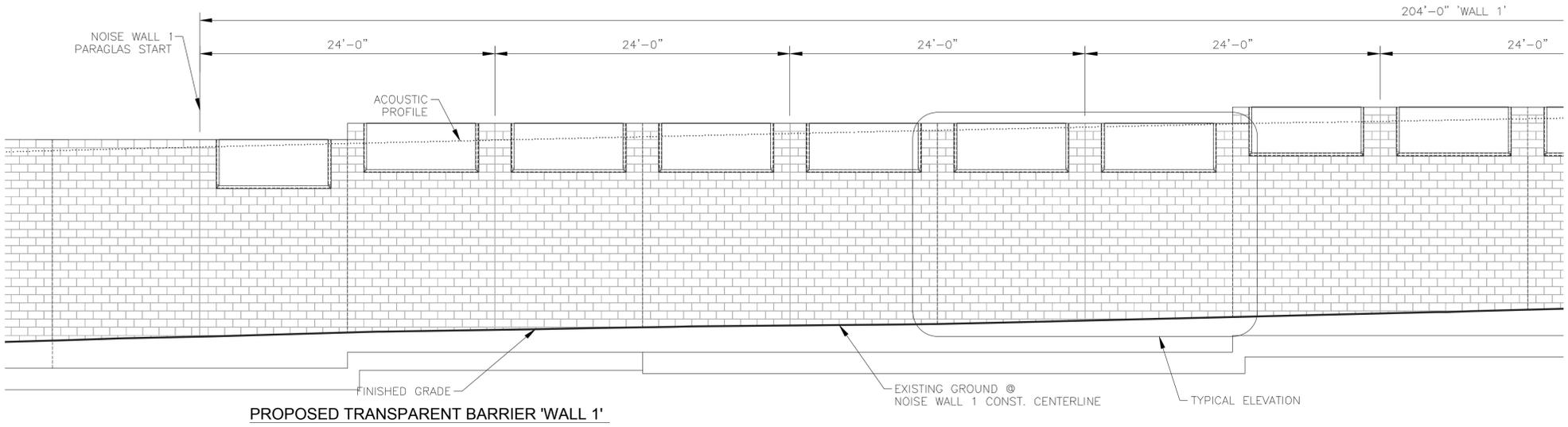
A 200' section of Sound Barrier Wall 4 will include transparent acrylic panels. Oro Valley and ADOT are collaborating to test this material which has not previously been used in Arizona.

## Potential Benefits:

- Noise reduction comparable to block sound barrier walls
- Views maintained through panels

## ADOT Research Component:

- ADOT will regularly test the panels for material integrity, noise reduction effectiveness, and aesthetic qualities
- Potential for transparent panels to be incorporated more extensively into future projects based on research results



TITLE:	TRANSPARENT NOISE BARRIER SR 77 NOISE WALL	
PROJECT:	TOWN OF ORO VALLEY ARIZONA	

## SIMILAR BUILT EXAMPLES - BLOCK WITH TRANSPARENT PANELS



The research section of the project will appear similar to the images shown here.

The SR77 design will:

- Incorporate 17 4' x 9' (approx.) transparent panels at the top of wall
- Use the same aesthetic treatment (block, color, design) as applied to the overall wall

NOTE: These images show larger sections of transparent panels than will be used. No columns will be used in the SR77 design.

## LOCATION - TRANSPARENT PANEL RESEARCH SECTION



NOTE: Location and configuration of transparent panels in Sound Barrier Walls is preliminary and may change based on design modifications and/or field conditions.

# ADOT Research Project: TRANSPARENT PANELS

Design Widening SR77 (Oracle Hwy)  
Tangerine Road to the Pinal County Line  
ADOT Project No. 077PM082 H669401D





## Town Council Regular Session

Item # **F.**

**Meeting Date:** 01/16/2013  
**Submitted By:** Kevin Burke, Town Manager's Office  
**Department:** Town Manager's Office

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### Information

#### **SUBJECT:**

Resolution No. (R)13-02, Approving the annual Legislative Agenda of the Town and protocols guiding the Town's priorities for the upcoming legislative session and any lobbying activities

#### **RECOMMENDATION:**

Staff recommends approval.

#### **EXECUTIVE SUMMARY:**

Each year, the Town Council approves a general Town of Oro Valley legislative agenda covering state and federal issues. This agenda identifies the recommended legislative priorities of the Town in the upcoming state legislative session and will guide the Town's requests and lobbying activities.

Although the legislative agenda should remain flexible due to the as yet unknown nature of bills introduced in the State Legislature, the general concepts and direction are provided here for your discussion and approval. More specific information can be provided, as desired and necessary, after bills are actually introduced. The issues discussed in this report are based on the needs of the Town and what is known about anticipated legislation.

#### **BACKGROUND OR DETAILED INFORMATION:**

##### Council Policy

In 2008, the Town Council established protocol for the legislative efforts of the Town by approving the general legislative agenda through a resolution and adoption of a Council Communication that describes specific components of the legislative program. A basic principle in any lobbying effort is to speak with one voice and this resolution establishes guidelines for those who represent the Town. A summary of the elements of the 2013 Legislative Agenda pertaining to the State Legislature is included as Attachment 2.

For state legislative efforts, the Council uses staff and designates a Councilmember as Council Liaison to Legislative Districts 9 and 11. The Mayor frequently interacts with other elected officials at all levels of government during the course of his duties and works with staff in ensuring any legislative efforts regionally, statewide or federally are coordinated to the Council-adopted agenda.

##### League of Arizona Cities and Towns

The Town's intergovernmental liaison works closely with the League of Arizona Cities and Towns, specifically regarding state legislative issues with a strength-in-numbers approach to common interest legislation. The state legislative agenda is developed through involvement in the League resolutions process. The Mayor represents the Town of Oro Valley as a voting member of the Resolutions Committee, comprised of mayors from all Arizona municipalities. The adopted League resolutions, included as Attachment 3, represent the mutual interests of Arizona cities and towns, and guide the League in its lobbying efforts on behalf of all cities and towns in the state.

### The 51st State Legislature

The complete list of members of the 51st Legislature is included as Attachment 4. Staff will also provide members of the Council with an updated version of "The Green Book," the Arizona Capitol Times guide to the Legislature, as soon as it becomes available.

### State Legislative Calendar / Process

The Legislature typically operates on a 100-day calendar. The Governor also has the authority to call the Legislature into session to address specific issues. The 1st regular session of the 51st Legislature begins Monday January 14, 2013. The Legislature typically conducts business Monday through Thursday. The target date for the end of the regular session is Tuesday April 23, 2013.

Over one-thousand bills are introduced in the Legislature each session. In the Senate, all bills must be introduced within three weeks of the start of the session, and in the House, bills must be introduced within four weeks. This means that all bills will be introduced prior to February 11, 2013, although there are provisions that allow members to submit bill amendments throughout the session, which effectively means that a bill with co-sponsors can be introduced at any time during the regular session.

### **FISCAL IMPACT:**

N/A

### **SUGGESTED MOTION:**

I MOVE to (adopt or deny) RESOLUTION NO. (R)13-02, APPROVING THE ANNUAL LEGISLATIVE AGENDA OF THE TOWN AND PROTOCOLS GUIDING THE TOWN'S PRIORITIES FOR THE UPCOMING LEGISLATIVE SESSION AND ANY LOBBYING ACTIVITIES.

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### **Attachments**

Attachment 1 - (R)13-02

Attachment 2 - Legislative Agenda Summary

Attachment 3 - League Resolutions

Attachment 4 - 51st Legislature

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## **RESOLUTION NO. (R)13-02**

### **A RESOLUTION OF THE MAYOR AND COUNCIL OF THE TOWN OF ORO VALLEY, ARIZONA, APPROVING THE ANNUAL LEGISLATIVE AGENDA OF THE TOWN AND PROTOCOLS GUIDING THE TOWN'S PRIORITIES FOR THE UPCOMING LEGISLATIVE SESSION AND ANY LOBBYING ACTIVITIES**

**WHEREAS**, the Town of Oro Valley is a political subdivision of the State of Arizona vested with all associated rights, privileges and benefits and is entitled to the immunities and exemptions granted municipalities and political subdivisions under the Constitution and laws of the State of Arizona and the United States; and

**WHEREAS**, a major objective of the Town Council is to adopt an aggressive legislative program which strengthens local government, promotes Town goals and defends the Town against legislative actions by State and Federal governments that would weaken local government and/or take away traditional revenue sources; and

**WHEREAS**, it is vital to the fiscal health and the self determination of the Town to effectively communicate with State Legislators and Federal representatives in order to favorably influence State and Federal legislation, regulations and grant requests; and

**WHEREAS**, actions taken by the Pima County Board of Supervisors have a direct impact upon the quality of life in Oro Valley, and it is imperative that the Town maintain quality communications with Pima County; and

**WHEREAS**, the League of Arizona Cities and Towns conducts a legislative analysis and advocacy program on behalf of cities and towns for State issues, which is governed annually by the League resolutions process adopted by cities around the state at the annual conference each fall; and

**WHEREAS**, the Town desires to be proactive and involved in governmental decision making processes directly affecting the Town legislative priorities identified in the Council Communication dated January 16, 2013 and the League of Arizona Cities and Towns legislative priorities identified in Exhibit "A," and other selected issues as may from time to time be recommended by the League of Arizona Cities and Towns; and

**WHEREAS**, a key component of the Town's legislative program is face to face meetings between Town representatives and elected officials at the Federal, State and County levels, and coordination with similar efforts made by other regional and local entities such as the Pima Association of Governments (PAG), and Tucson Regional Economic Opportunities, Inc. (TREO).

**NOW, THEREFORE, BE IT RESOLVED** by the Mayor and Council of the Town of Oro Valley, Arizona that the Town Council of Oro Valley does hereby establish the Legislative Agenda for 2013, as set forth in the Council Communication dated January 16, 2013, and authorizes staff to take positions on legislation generally consistent with the Legislative Agenda and such other resolutions and recommendations that from time to time may be presented to the Town.

**BE IT FURTHER RESOLVED** that Town staff is directed to schedule meetings, as appropriate and convenient, with our congressional, state, county and other local officials to discuss and promote the Town's legislative program, and to continue efforts to improve communications and relationships with the Pima County Board of Supervisors and cities around the state to further our interests in land use, water, transportation, economic development, and public services to our residents.

**PASSED AND ADOPTED** by the Mayor and Town Council of the Town of Oro Valley, Arizona this 16th day of January, 2013.

**TOWN OF ORO VALLEY**

\_\_\_\_\_  
Dr. Satish I. Hiremath, Mayor

**ATTEST:**

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Julie Bower, Town Clerk

\_\_\_\_\_  
Tobin Sidles, Acting Town Attorney

Date: \_\_\_\_\_

Date: \_\_\_\_\_

# EXHIBIT “A”

## **2013 Legislative Agenda Summary**

The following paragraphs provide a summary of key elements of the 2013 Legislative Agenda. Although the legislative agenda should remain flexible due to the as yet unknown nature of bills introduced in the State Legislature, the general concepts and direction are provided here for your discussion and approval.

### **State Shared Revenues & Transaction Privilege Tax Reform**

Possible reductions in state-shared revenues remain a major concern for cities and towns. The revenue sharing system was created through the voter initiative process in order to allow local jurisdictions to fund essential services such as public safety and infrastructure without interference from the state. Protection of the revenue sharing system that has been in place since 1972 is a core principle of the League of Arizona Cities and Towns, and remains a top priority of the Town's legislative agenda.

The Governor's Transaction Privilege Tax Simplification Task Force recently submitted its final report to the Governor. The Town is in agreement with the majority of the recommendations included in the report; however, there are several recommendations that will have a negative impact on the town budget. Specifically, the Town does not support efforts to require the Department of Revenue to conduct all sales tax audits, or efforts to eliminate the construction sales tax.

### **Education & Economic Development**

Although the Town is not directly involved in education issues, public education is important to the long-term health and vitality of our community, and is a fundamental component of economic development. The University of Arizona, Pima Community College, Amphitheater School District, and public charter schools provide the foundation for our future success. The Town does not support efforts to reduce funding for public education.

Economic development that creates high-wage jobs and builds on our success as a hub for high-tech and bio-medical research, development and manufacturing is a top priority of the Town. The Town supports state economic development efforts through the Arizona Commerce Authority, efforts to develop the film industry through a tax incentive program and efforts to protect and retain Arizona's military installations. The Town also supports legislation to strengthen economic development at the local level through the formation of Revenue Allocation Districts or other economic development tools.

Tourism contributes millions of dollars to the local economy each year, the direct result of federal, state and local protection of iconic landscapes held in the public trust. Our national parks, forests, monuments and range lands are an inheritance enjoyed by every citizen. Arizona voters soundly rejected a proposal to turn federal lands over to the state, and the Town does not support further efforts to remove lands from federal jurisdiction. The Town understands the immediate importance of public lands to a healthy economy and supports full funding for the operation and maintenance of state parks.

### **Annexation**

State statutes regarding municipal annexation have become overly complex and are a barrier to regional development and fiscal sustainability. Statewide, nearly 80 percent of Arizonans live in incorporated cities and towns; however, in Pima County only about 65 percent live in incorporated areas. As a result, some 360,000 area residents rely on the County government to provide basic services such as public safety, roadway maintenance and development services, in addition to the functions Counties are intended to perform under state statute, including the administration of the criminal justice system, the election system and the health care system.

Because the state shared revenue system is based on the population of incorporated areas, the Tucson metro areas loses out on tens of millions of dollars in sales tax, income tax and highway tax revenue each year. Sensible reforms that facilitate annexation of unincorporated areas and county islands by towns like Oro Valley, Marana and Sahuarita will result in enhanced services to residents and businesses and will bring additional state shared revenue to the region. The Town supports reforms that remove barriers to annexation and reduce the need for counties to provide municipal services.

## CORE PRINCIPLES

The League of Arizona Cities and Towns, a voluntary association of the 91 incorporated municipalities in Arizona, is governed by two core principles: to protect shared revenues and promote local decision-making authority.

## LOCAL CONTROL

Decentralized government at the local level represents a fundamental principle of American democracy, recognizing that when it comes to community governance, one size does not fit all.

The League calls upon the Legislature to respect the authority of cities and towns to govern their communities in the best interests of their residents. During the 51st Legislature, the League will endorse legislation that supports and sustains the principle of local control and reject legislation that conflicts with the autonomy of cities and towns.

Specifically, the League supports legislation that will restore municipal authority to:

- Regulate the sale and use of consumer fireworks; and
- Determine the method, manner and timing of local elections.

## BUDGETARY RESOURCES, ECONOMIC DEVELOPMENT AND FISCAL RESPONSIBILITY

The League is determined to safeguard the economic resources cities and towns require to ensure safety and provide high-quality services for their residents. To that end, the League calls upon the Legislature to:

- Enact a budget that maintains existing historical formulas for the distribution of state-collected shared revenue to local governments;
- Discontinue diversions of Highway User Revenue Fund monies to fund the operations of state agencies (see figure 1); and
- Remove the financial burden from municipalities regarding the construction of infrastructure for large manufacturing facilities.

Cities and towns are actively exploring new ways to promote business growth and expand the tools available to municipalities for this purpose. In partnership with the state, the League supports legislation to:

- Authorize the formation of Revenue Allocation Districts;
- Improve Arizona's ports of entry with Mexico (see figure 2);
- Support the long-term retention of Arizona's military installations (see figure 3); and
- Modify the pension statutes related to the Alternate Contribution Rate for the Arizona State Retirement System.

## TOURISM AND NATURAL RESOURCES

Recognizing the many benefits provided by Arizona's extraordinary open spaces, cities and towns support the efforts of the tourism industry and are committed to the preservation of our natural resources. The League urges the passage of legislation to:

- Promote tourism as an economic engine;
- Fully fund state parks and work with cities and towns to develop mechanisms for the operation of select parks under long term leases; and
- Improve forest health and reduce wildfire threats.

## REGULATORY AND PROCESS REFORM

Cities and towns continue to seek ways to improve and streamline their regulatory, licensing and acquisition processes to promote cost effectiveness and efficient service delivery. Therefore, the League will:

Oppose any regulatory reform proposal that does not promote greater efficiency, effect significant cost savings or improve existing regulatory frameworks for the mutual benefit of stakeholders;

- Support changes to regulatory reform legislation enacted in 2011 in order to improve municipal licensing and permitting processes; and
- Endorse legislation to authorize expanded municipal use of Alternative Project Delivery Methods with respect to construction contracts.

## QUALITY COMMUNITIES

The League supports legislation to help cities improve communities and enhance the quality of life for their residents. The League recommends legislation to:

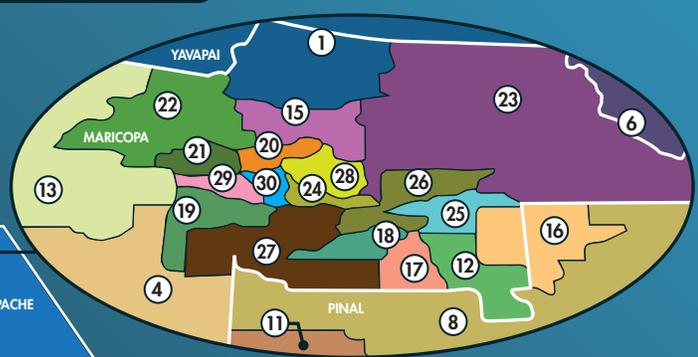
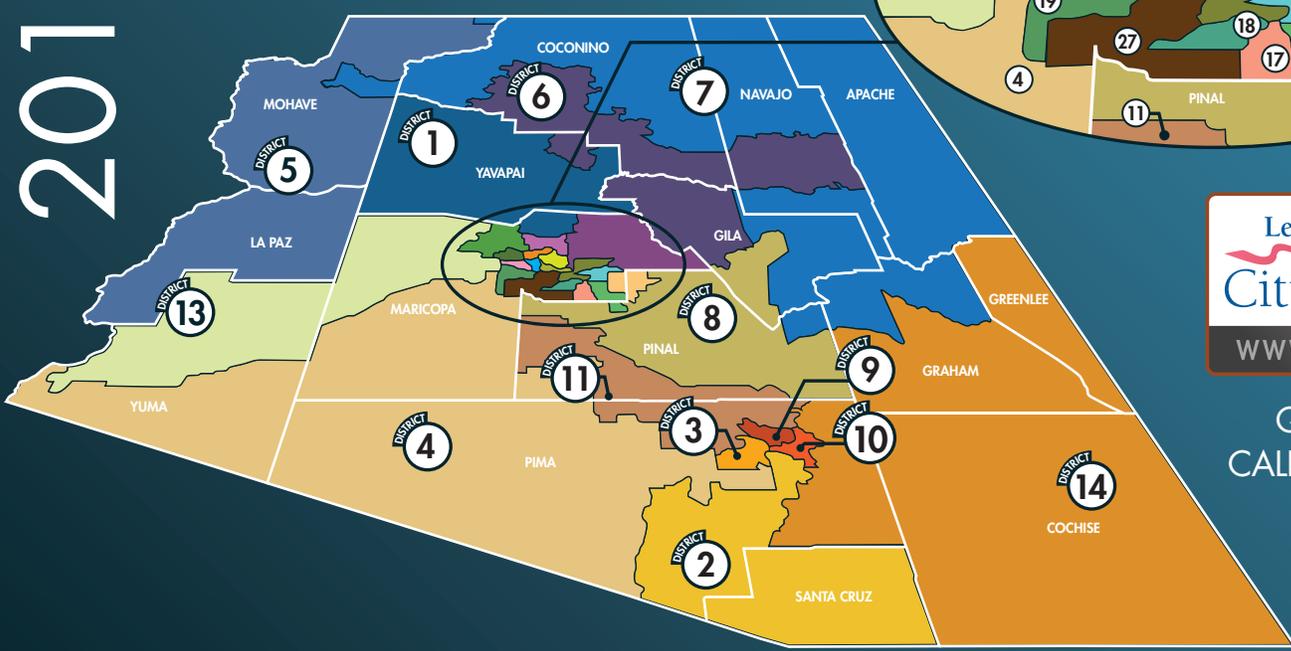
- Subject graffiti vandals to increased accountability;
- Promote more flexibility in the annexation of county islands; and
- Empower municipalities to engage in housing assistance efforts without existing regulatory burdens.

# 2013 LEGISLATIVE DISTRICTS

- DISTRICT 1**  
 S Steve Pierce  
 R Karen Fann, Andy Tobin  
 M Carefree, Cave Creek, Chino Valley, Dewey-Humboldt, Peoria, Phoenix, Prescott, Prescott Valley, Wickenburg
- DISTRICT 2**  
 S Linda Lopez  
 R Andrea Dalessandro, Rosanna Gabaldon  
 M Nogales, Patagonia, Sahuarita, South Tucson, Tucson
- DISTRICT 3**  
 S Olivia Cajero Bedford  
 R Sally Ann Gonzales, Macario Saldate  
 M Tucson
- DISTRICT 4**  
 S Lynne Pancrazi  
 R Juan Carlos Escamilla, Lisa Otondo  
 M Buckeye, Gila Bend, Goodyear, San Luis, Somerton, Tucson, Yuma
- DISTRICT 5**  
 S Kelli Ward  
 R Sonny Borrelli, Doris Goodale  
 M Bullhead City, Colorado City, Kingman, Lake Havasu City, Parker, Quartzsite
- DISTRICT 6**  
 S Chester Crandell  
 R Brenda Barton, Robert Thorpe  
 M Camp Verde, Clarkdale, Cottonwood, Flagstaff, Holbrook, Jerome, Payson, Sedona, Snowflake, Star Valley, Taylor, Tusayan, Williams
- DISTRICT 7**  
 S Jack Jackson Jr.  
 R Albert Hale, Jamescita Peshlakai  
 M Eagar, Fredonia, Page, Pinetop-Lakeside, Show Low, Springerville, St. Johns, Winslow
- DISTRICT 8**  
 S Barbara McGuire  
 R Frank Pratt, T.J. Shope  
 M Casa Grande, Coolidge, Eloy, Florence, Globe, Hayden, Kearny, Mammoth, Miami, Superior, Winkelman
- DISTRICT 9**  
 S Steve Farley  
 R Ethan Orr, Victoria Steele  
 M Marana, Tucson
- DISTRICT 10**  
 S David Bradley  
 R Stefanie Mach, Bruce Wheeler  
 M Tucson

- DISTRICT 11**  
 S Al Melvin  
 R Adam Kwasman, Steve Smith  
 M Casa Grande, Eloy, Marana, Maricopa, Oro Valley, Tucson
- DISTRICT 12**  
 S Andy Biggs  
 R Eddie Farnsworth, Warren Petersen  
 M Chandler, Gilbert, Queen Creek
- DISTRICT 13**  
 S Don Shooter  
 R Darin Mitchell, Steve Montenegro  
 M Buckeye, El Mirage, Glendale, Goodyear, Litchfield Park, Surprise, Wellton, Wickenburg, Yuma
- DISTRICT 14**  
 S Gail Griffin  
 R David Gowan, David Stevens  
 M Benson, Bisbee, Clifton, Douglas, Duncan, Huachuca City, Pima, Safford, Sierra Vista, Thatcher, Tombstone, Tucson, Willcox
- DISTRICT 15**  
 S Nancy Barto  
 R John Allen, Heather Carter  
 M Cave Creek, Phoenix
- DISTRICT 16**  
 S Rich Crandall  
 R Doug Coleman, Kelly Townsend  
 M Apache Junction, Mesa, Queen Creek
- DISTRICT 17**  
 S Steve Yarbrough  
 R Tom Forese, J.D. Mesnard  
 M Chandler, Gilbert
- DISTRICT 18**  
 S John McComish  
 R Jeff Dial, Bob Robson  
 M Chandler, Guadalupe, Mesa, Phoenix, Tempe
- DISTRICT 19**  
 S Anna Tovar  
 R Mark Cardenas, Lupe Chavira Contreras  
 M Avondale, Phoenix, Tolleson
- DISTRICT 20**  
 S Kimberly Yee  
 R Paul Boyer, Carl Seel  
 M Glendale, Phoenix

- DISTRICT 21**  
 S Rick Murphy  
 R Rick Gray, Debbie Lesko  
 M El Mirage, Peoria, Surprise, Youngtown
- DISTRICT 22**  
 S Judy Burges  
 R David Livingston, Phil Lovas  
 M Glendale, Peoria, Surprise
- DISTRICT 23**  
 S Michele Reagan  
 R John Kavanagh, Michelle Ugenti  
 M Fountain Hills, Paradise Valley, Scottsdale
- DISTRICT 24**  
 S Katie Hobbs  
 R Lela Alston, Chad Campbell  
 M Phoenix, Scottsdale, Tempe
- DISTRICT 25**  
 S Bob Worsley  
 R Justin Olson, Justin Pierce  
 M Mesa
- DISTRICT 26**  
 S Ed Ableser  
 R Juan Mendez, Andrew Sherwood  
 M Mesa, Phoenix, Tempe
- DISTRICT 27**  
 S Leah Landrum Taylor  
 R Ruben Gallego, Catherine Miranda  
 M Guadalupe, Phoenix, Tempe
- DISTRICT 28**  
 S Adam Driggs  
 R Kate Brophy McGee, Eric Meyer  
 M Paradise Valley, Phoenix, Scottsdale
- DISTRICT 29**  
 S Steve Gallardo  
 R Lydia Hernandez, Martin Quezada  
 M El Mirage, Glendale, Phoenix
- DISTRICT 30**  
 S Robert Meza  
 R Jonathan Larkin, Debbie McCune Davis  
 M Glendale, Phoenix



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QUESTIONS?  
 CALL 602-258-5786



**Town Council Regular Session**

Item # **G.**

**Meeting Date:** 01/16/2013  
**Submitted By:** Kevin Burke, Town Manager's Office  
**Department:** Town Manager's Office

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**Information**

**SUBJECT:**

Resolution No. (R)13-03, Adopting the Town of Oro Valley 2013 Strategic Plan

**RECOMMENDATION:**

Staff recommends approval.

**EXECUTIVE SUMMARY:**

The Town of Oro Valley updates its Strategic Plan every two years. The most recent version of the Strategic Plan was adopted January 19, 2011. On October 10, 2012, the Town Council held a work session to develop a framework for the revised plan. Staff then developed Strategies and Actions to support the Goals and Focus Areas developed by Council. The draft 2013 Strategic Plan is included as Attachment 2.

The 2013 Strategic Plan covers four Focus Areas: Fiscal Responsibility, Communication, Economic Development and Community Services. There are one or more Goals under each Focus Area, along with specific Strategies and Actions to be taken by the organization in order to achieve those Goals. The Strategic Plan represents the shared vision of Town residents and the priorities of the Town Council. This document will provide strategic direction to the organization over the course of the next two years.

**BACKGROUND OR DETAILED INFORMATION:**

N/A

**FISCAL IMPACT:**

N/A

**SUGGESTED MOTION:**

I MOVE to (adopt or deny) Resolution No. (R)13-03, Adopting the Town of Oro Valley 2013 Strategic Plan.

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**Attachments**

Attachment 1 - (R)13-03 Strategic Plan - 2013

Attachment 2 - DRAFT 2013 Strategic Plan

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**RESOLUTION NO. (R)13-03**

**A RESOLUTION OF THE MAYOR AND COUNCIL OF THE  
TOWN OF ORO VALLEY, ARIZONA, ADOPTING THE TOWN  
OF ORO VALLEY 2013 STRATEGIC PLAN**

**WHEREAS**, the Town of Oro Valley is a political subdivision of the State of Arizona vested with all associated rights, privileges and benefits and is entitled to the immunities and exemptions granted municipalities and political subdivisions under the Constitution and laws of the State of Arizona and the United States; and

**WHEREAS**, the current Town of Oro Valley Strategic Plan was approved and published in 2011; and

**WHEREAS**, the Town wishes to revise the current Strategic Plan to better reflect the current strategic posture of the Town; and

**WHEREAS**, the Town of Oro Valley 2013 Strategic Plan (the “Plan”), attached hereto as Exhibit “A” and incorporated herein by this reference, includes input from the Mayor and Council and all Town departments; and

**WHEREAS**, the Plan’s focus areas are Fiscal Responsibility, Communication, Economic Development and Community Services; and

**WHEREAS**, the Mayor and Council believe that the adoption of the Plan is in the best interest of the Town and will help promote the health, safety and welfare of the Town.

**NOW, THEREFORE, BE IT RESOLVED by the Mayor and Council of the Town of Oro Valley, Arizona, that:**

**SECTION 1.** That certain document entitled “Town of Oro Valley 2013 Strategic Plan”, attached hereto as Exhibit “A” and incorporated herein by this reference, is hereby adopted.

**SECTION 2.** If any section, subsection, sentence, clause, phrase, or portion of this resolution or any part of the Town of Oro Valley 2013 Strategic Plan adopted herein is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions thereof.

**PASSED AND ADOPTED** by the Mayor and Council of the Town of Oro Valley, Arizona  
this 16<sup>th</sup> day of January, 2013.

**TOWN OF ORO VALLEY**

\_\_\_\_\_  
Dr. Satish I. Hiremath, Mayor

**ATTEST:**

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Julie Bower, Town Clerk

\_\_\_\_\_  
Tobin Sidles, Acting Town Attorney

Date: \_\_\_\_\_

Date: \_\_\_\_\_

# **EXHIBIT “A”**

Town of Oro Valley  
**STRATEGIC PLAN**  
**2013**



**Fiscal Responsibility**

**Communication**

**Economic Development**

**Community Services**

## 2013 TOV Strategic Plan | Focus Area: Fiscal Responsibility

**GOAL:** Maintain long-term financial health through diversified revenue sources while investing in community initiatives.

### STRATEGY

Ensure funding is available to maintain and replace key assets and avoid infrastructure deterioration.

#### ACTIONS

- Evaluate opportunities to diversify the Town's revenue sources
- Enhance revenue by taking steps to ensure collection of established taxes, fees, rates and fines
- Expand capital improvement plan (CIP) to a 15-year program, identifying potential funding sources, operating cost impacts and cash flow requirements
- Consider voter approval of franchise agreements with utility providers
- Conduct a cost of service study for the Water Utility
- Establish a fleet management task force to develop alternatives for long-term fleet maintenance and repair
- Develop an Infrastructure Improvement Plan and evaluate the use of impact fees in accordance with State statute
- Expand and develop initiatives to support public safety services that enhance community safety

### STRATEGY

Pursue annexation and acquisition opportunities that will deliver long-term benefits to the Town.

#### ACTIONS

- Initiate annexations that establish a southern corporate boundary along Ina Road
- Partner with the Arizona State Land Department regarding annexation of the Arroyo Grande area and state trust land between Oro Valley and Marana
- Consider acquisition of properties within annexation areas or adjacent to significant roadway improvement projects that are candidates for redevelopment or other beneficial use

## 2013 TOV Strategic Plan | Focus Area: Communication

**GOAL:** Ensure residents are educated about and engaged in moving community initiatives forward.

### STRATEGY

**Improve access to accurate, timely and relevant Town information.**

#### **ACTIONS**

- Launch a new Town website with a focus on information design, making it easier for the end-user to find the information they need, and directing web traffic to important events and initiatives
- Use the email notification system to expand our reach into the community and improve the quality of those communiqués
- Use emerging media technologies such as mobile computing, social media to expand the ways in which information can be accessed
- Expand public access to GIS mapping tools
- Enhance the Oro Valley VISTA, the quarterly community e-newsletter and, as the budget allows, increase printed quantities
- Use the internal Communications Roundtable to engage representatives from each department in communications planning for internal news and community-wide events

### STRATEGY

**Increase internal and external awareness of the Town's successes, assets, values and initiatives.**

#### **ACTIONS**

- Launch new marketing and branding efforts to better define the Town's identity and promote our successes, assets, values and initiatives
- Promote consistency in messaging across multiple platforms, including website, intranet, Council talking points, press releases, VISTA newsletter and other internal and external publications
- Enhance presence of Parks & Recreation programs, amenities and event information in Town publications and electronic media
- Enhance presence of Police Department crime prevention programs and event information in Town publications and electronic media

### STRATEGY

**Improve the customer service experience for residents who contact the Town for information or assistance.**

#### **ACTIONS**

- Initiate a town-wide customer service training module for all employees
- Explore opportunities for expanded service hours to enable customers to conduct business with the Town outside of traditional business hours
- Use the Constituent Services Coordinator, and department-level representatives as necessary, to respond to community questions, concerns and ideas

- Develop information resources to help employees more efficiently identify solutions to residents' questions
- Conduct print and/or electronic surveys to solicit community feedback and suggestions
- Expand the online payment system to include Business Licenses and Building Permits

### **STRATEGY**

**Provide opportunities for residents to become engaged in and knowledgeable about the role of local government.**

### **ACTIONS**

- Conduct Council on Your Corner events, where elected officials speak at community gatherings, throughout the year
- Support relationships with volunteers and members of boards and commissions through the annual Volunteer of the Year Awards program and reception
- Expand the Citizens' Police Academy to include an Alumni Association
- Enhance the Community Academy program based on participant feedback

## 2013 TOV Strategic Plan | Focus Area: Economic Development

**GOAL:** Attract and retain globally-competitive high technology and bioscience employers.

### STRATEGY

Support the creation of primary jobs.

#### ACTIONS

- Hold regular meetings with existing companies at Innovation Park and Foothills Business Park, including the University of Arizona Bio5 Institute
- Explore the possibility of a public-private partnership to build speculative space to attract high technology and bioscience employers
- Evaluate technology and communication infrastructure
- Promote the Economic Expansion Zone (EEZ) overlay district as a business attraction tool
- Support regional efforts to attract and retain major employers
- Develop a strategic partnership with the Arizona Commerce Authority
- Establish a Central Business District (CBD) along Oracle Road

### STRATEGY

Promote partnerships to enhance public safety, education and workforce development.

#### ACTIONS

- Promote public safety, educational opportunities and state and national school rankings in Town marketing materials and online
- Hold regular meetings with University of Arizona and Pima Community College to support educational needs
- Hold regular meetings with public and private K-12 educational organizations and provide support through the School Resource Officer program

**GOAL:** Develop recreation and cultural opportunities to promote tourism and support employee attraction and retention.

### STRATEGY

Support cultural events and opportunities.

#### ACTIONS

- Partner with the Southern Arizona Arts and Cultural Alliance (SAACA) and the Hilton El Conquistador Golf & Tennis Resort on the 4<sup>th</sup> of July Celebration
- Partner with Tohono Chul Park, SAACA and other organizations on marketing efforts and arts and cultural events
- Promote the Public Art collection throughout Oro Valley
- Develop plans for the Town's 40<sup>th</sup> Anniversary Celebration in 2014

## **STRATEGY**

**Support local, national and international sporting events.**

### **ACTIONS**

- Enhance the reputation of Oro Valley as a destination for winter training activities, specifically swimming, running and cycling
- Partner with the Metropolitan Tucson Convention and Visitors Bureau (MTCVB) to attract local, national and international sporting events
- Promote Naranja Park as a venue for local archers and regional competitions

## **STRATEGY**

**Promote Oro Valley as a bicycle friendly community.**

### **ACTIONS**

- Complete construction of the CDO Linear Park from First Avenue to Oracle Road, including access to the Steam Pump Ranch trailhead and restroom facilities
- Seek funding to complete the shared use path between Steam Pump Ranch and Catalina State Park, and between Magee Road and La Canada Drive
- Establish a Complete Streets policy stating our intent to plan, design, and maintain streets so they are safe for all users of all ages and abilities
- Explore public private partnership to reinstate bicycle safety classes
- Support regional funding for completion of The Loop shared use facility
- Support regional efforts to develop a velodrome and cyclist training facility
- Consider stand-alone application for Bicycle Friendly Community certification by the League of American Bicyclists

## 2013 TOV Strategic Plan | Focus Area: Community Services

**GOAL:** Provide services to enhance residents' quality of life.

### STRATEGY

Enhance community policing through support of programs, activities and personnel assignments that prevent crime and promote safety.

#### ACTIONS

- Use the current Police Department strategic planning program and related documents to assist in acquisition and deployment of resources
- Evaluate expansion of the reserve police officer program to support, supplement and expand public safety services in the Town
- Evaluate expansion of the Citizen Volunteer Assistants Program (CVAP) and recruit additional volunteers
- Conduct internal and regional training in contemporary traffic incident management protocols for first responder and support service providers to maximize community safety (police, fire, ems, transportation, towing etc.)
- Ensure resources are available to evaluate and respond to legislative, judicial and technological mandates

### STRATEGY

Reinforce the Oro Valley brand through excellence in infrastructure design and maintenance.

#### ACTIONS

- Consider the replacement of conventional signalized intersections with roundabouts
- Expand the pavement management program to plan for needed improvements within the proposed annexation areas
- Consider adjusting the Stormwater Utility fee to provide a funding mechanism for drainage infrastructure projects
- Complete the sign inventory and develop a plan for sign replacement and removal of unnecessary signage

### STRATEGY

Deliver a safe and reliable water supply to all Water Utility customers.

#### ACTIONS

- Renew the Town's Assured Water Supply (AWS) designation
- Initiate the Advanced Metering Infrastructure Project for the Oro Valley Water Service Area to accurately measure water usage and increase customer service efficiency
- Partner with Tucson Water to amend the Reclaimed Water Intergovernmental Agreement
- Develop a plan for acquisition and delivery of Central Arizona Project water
- Promote water conservation through customer education and the provision of water audits
- Conduct an Energy Efficiency Study to determine improvements needed to increase efficiency of wells and booster pumps, reduce electric power consumption and enhance the reliability of the water system

## **STRATEGY**

**Continue restoration, preservation and rehabilitation of facilities at Steam Pump Ranch.**

### **ACTIONS**

- Explore options for use of the Proctor/Lieber House as outlined in the Master Plan
- Explore hosting a Farmer's Market on the property
- Establish an agreement with the State Historic Preservation Office regarding treatment of the original Pump House
- Establish funding for implementation of the Steam Pump Ranch Master Plan

## **STRATEGY**

**Seek to make continuous improvements to Town parks and other facilities.**

### **ACTIONS**

- Initiate an update of the Naranja Park Master Plan and Programming & Concept Design documents
- Establish a funding and phased development plan for implementation of the Naranja Park Master Plan
- Initiate development of a comprehensive Parks and Recreation Master Plan
- Initiate application to the Commission for Accreditation of Park and Recreation Agencies
- Complete a renovation of the Town Hall stage area, adjacent landscape areas, and directional signage
- Evaluate organizational space needs and develop a plan for implementation

## **STRATEGY**

**Update the General Plan to reflect community values and future needs.**

### **ACTIONS**

- Develop a Public Participation Plan to guide resident involvement in decision-making
- Promote broad community participation in the development of the General Plan
- Develop and implement a marketing plan to ensure voter ratification of the General Plan in 2015

## **STRATEGY**

**Provide Town staff with the best possible collaboration tools to increase efficiency of information delivery.**

### **ACTIONS**

- Evaluate replacement of the phone system
- Evaluate replacement of the Permits Plus software system
- Evaluate operational areas that will realize the greatest value from mobile applications
- Evaluate methods of converting paper forms to electronic forms
- Conduct a feasibility assessment of an organization-wide document management system
- Develop IT policies and security measures regarding the use of personal mobile devices for business functions
- Enhance the Information Technology architecture to facilitate mobile access to Town information and enterprise applications

## **STRATEGY**

**To attract, engage, and retain highly qualified employees.**

### **ACTIONS**

- Enhance the current employee recognition program as recommended by employees
- Conduct supervisory training as it relates to employee engagement, development and performance management
- Expand the number of on-site training opportunities to enhance employee professional development
- Evaluate the benefits package offered to employees
- Conduct stay interviews with all new employees after 30 days of employment
- Conduct exit interviews to assess the reasons for separation and report separations on a monthly basis
- Conduct a market study of the Town's benchmark classifications and make necessary pay grade adjustments as needed and based on fiscal resources
- Evaluate methods for determining employee engagement



**Town Council Regular Session**

**Item # 1.**

**Meeting Date:** 01/16/2013  
**Submitted By:** Julie Bower, Town Clerk's Office  
**Department:** Town Clerk's Office

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**Information**

**SUBJECT:**

NOMINATION AND ELECTION OF VICE MAYOR

**RECOMMENDATION:**

The Mayor and Council are required to elect a Vice Mayor for calendar year 2013.

**EXECUTIVE SUMMARY:**

Section 2-1-4 of the Oro Valley Town Code states that "At the first regular meeting in January of each calendar year, the Town Council shall elect one of its members as Vice Mayor by a majority vote. Those Council Members eligible each January are only those whose terms will not expire in June of that calendar year."

**BACKGROUND OR DETAILED INFORMATION:**

There are no Council terms expiring in June. Therefore, all Council Members are eligible for consideration.

Mayor Hiremath will open and close nominations.

**FISCAL IMPACT:**

N/A

**SUGGESTED MOTION:**

I MOVE to elect \_\_\_\_\_ as Vice Mayor, effective January 16, 2013 through January 15, 2014.

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## Town Council Regular Session

Item # **2.**

**Meeting Date:** 01/16/2013

**Requested by:** Daniel G. Sharp      **Submitted By:** Colleen Muhr, Police Department

**Department:** Police Department

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### Information

#### **SUBJECT:**

DISCUSSION REGARDING THE TOWN'S SCHOOL RESOURCE OFFICER PROGRAM

#### **RECOMMENDATION:**

For information and discussion purposes only.

#### **EXECUTIVE SUMMARY:**

This agenda item was requested by Vice Mayor Waters and Councilmember Snider, in order to provide information to the Council and the public for discussion regarding the Oro Valley Police Department School Resource Unit.

#### **BACKGROUND OR DETAILED INFORMATION:**

Since 1977, the OVPD School Resource Officer (SRO) program has been designed upon the "Basic Triad Concept" of being a Law Enforcement Officer, Teacher, and Counselor to the School Community. This "Community" includes; the school administration, faculty, staff, parents, students, neighborhoods near schools and schools surrounding the Oro Valley community. A School Resource Officer provides this service in many ways while always taking a personal interest in student's lives, activities, problems and overall safety.

Oro Valley is home to no less than twelve local schools. Canyon Del Oro High School, Ironwood Ridge High School, Wilson K-8, Copper Creek Elementary, Painted Sky Elementary, Pusch Ridge Christian Academy, Immaculate Heart Academy, Casas Adobes Christian School, Basis Charter School, Sunshine Preschool, KinderCare Preschool and Pusch Ridge Preschool all call Oro Valley home.

OVPD, in cooperation with the Amphitheater School District, currently has seven (7) fulltime School Resource Officers (SRO). Currently, there are two (2) officers assigned to Canyon Del Oro High School, two (2) officers are assigned to Ironwood Ridge High School, one (1) officer is assigned to Copper Creek Elementary, one (1) officer is assigned to Painted Sky Elementary and one (1) officer is assigned to Wilson K-8. These officers also provide School Resource Officer service to the private and charter schools in the Oro Valley as appropriate. Assigned School Resource Officers are responsible initially for all calls for service on campus during school hours and often school related calls in the neighborhood. They also coordinate and teach law related courses to the students.

The climate of the typical school has evolved over time. In the last quarter century we have seen vast changes in the learning environment. We have gone from lunch boxes to meal replacement bars, from boom boxes to iPhones and from fist fights to weapons possession. Nationally, in recent years we have seen an increase in school violence against students and school staff, perpetrated by students, school staff and others. The school environment seems to be dramatically less safe and recent incidents of violence have brought school safety concerns to an all-time high. The Oro Valley Police Department

recognized these trends many years ago and instituted sweeping changes in order to stay ahead of the alarming national trends.

In March of 2007 the department started the process of revising the school program and invited members of the Amphitheater School District as well as Oro Valley Parks and Recreation to assist with the process. The first meeting of many took place during the spring of 2007 and the goal was to refocus our shared goal of safety and security in our schools. The meetings would last through the summer of 2007, and would have participation from many sources including the staff from our local Amphitheater public schools, Amphitheater district leaders, Casas Christian School, Pusch Ridge Christian Academy, Immaculate Heart Academy, Oro Valley Parks and Recreation and the Greater Oro Valley Arts Council. Many changes would materialize over the summer months.

The first order of business was to expand the size of the SRO squad to adequately serve Oro Valley's current schools. The standard for the school program would be a uniformed police officer and a fully marked patrol car at every Oro Valley public school. Emergency response plans and training were regularly reviewed and enhanced. By January of 2008 the unit was at full strength, 7 officers and one sergeant.

Among the sweeping changes was the retirement of the D.A.R.E. program within Oro Valley schools. The D.A.R.E program was very effective during its tenure but there were widespread questions about the programs restrictions and impact on children today and its materials were increasingly proprietary. As D.A.R.E. would no longer be the curriculum supplier of the school program the title "D.A.R.E. Officer" was eliminated and a new curriculum was needed.

In a back to basics approach the revised school squad was simply referred to as the Oro Valley Police Department School Resource Unit. After much research, curriculum was obtained and implemented that reflected the core values of many of the most successful school programs across the country and met with universal approval by all associated schools. Classes taught at the elementary level include anti-bullying, drug, alcohol and tobacco awareness and character development courses. Classes taught in the high schools include drug and alcohol deterrent education, traffic and constitutional law, driving under the influence penalties, current teen issues, bullying deterrent, anger management, and consequences of poor decision making. New programs like the very successful Forensics Education program at Canyon Del Oro High School were added and proposed for other schools as well.

In recent weeks the Oro Valley Police Department has received inquiries from law enforcement leaders, educators, citizens and media as we are one of few agencies providing School Resource Officers. Many of the requests for information related to supporting School Resource Officer programs in other communities.

**FISCAL IMPACT:**

N/A

**SUGGESTED MOTION:**

N/A

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## Town Council Regular Session

Item # **3.**

**Meeting Date:** 01/16/2013  
**Submitted By:** Kevin Burke, Town Manager's Office  
**Department:** Town Manager's Office

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### Information

#### **SUBJECT:**

RESOLUTION NO. (R)13-04, AUTHORIZING THE EXECUTION OF THE UNDERGROUNDING AGREEMENT BETWEEN THE TOWN AND TUCSON ELECTRIC POWER COMPANY (TEP) FOR PAYMENT FOR INSTALLATION OF UNDERGROUND ELECTRIC FACILITIES ALONG ORACLE ROAD AND TANGERINE ROAD AND AUTHORIZING THE USE OF GENERAL FUND CONTINGENCY RESERVES FOR THIS PURPOSE

#### **RECOMMENDATION:**

This item is for discussion and possible action by the Town Council and was prepared prior to the January 9, 2013 Town Council Study Session. It may be amended to reflect that discussion.

#### **EXECUTIVE SUMMARY:**

TEP has requested a Memorandum of Understanding (MOU) between the Town and the utility, which is included as Attachment 2. Under the terms of the agreement TEP will install three electrical infrastructure projects underground, as shown in Attachment 3. Projects A and B are directly related to the long-standing issue of electric service adequacy in Oro Valley, while the third is a result of the ADOT Oracle Road widening project.

The agreement states that the Town will pay TEP the differential cost between installing lines underground versus overhead. The Town would be responsible for the full differential cost of Projects A and B, and one-half of the differential cost of Project C. The total estimated cost to the Town for these three projects is approximately \$2.1 million. The Town would pay the cost of these projects from general fund contingency reserves, with possible repayment from one of a variety of options, such as through franchise fees, creation of a special district, etc.

#### **Project A: Oracle Road feeder tie**

This project is intended to tie together two circuits in the Rancho Vistoso area, allowing TEP to accommodate electrical loads in this area without overloading any individual circuit. TEP proposes placing the feeder tie on above ground poles, along the west side of Oracle Road, between Rancho Vistoso Blvd. and Vistoso Commerce Loop.

#### **Project B: Tangerine Road feeder tie**

This project is intended to perform the same function as Project A. TEP proposes placing the feeder tie on above ground poles, along the south side of Tangerine Road, between La Canada and La Cholla. This project was the subject of the 2009 conditional use permit application.

#### **Project C: Oracle Road feeder tie relocation**

This project is intended to replace an existing underground line along Oracle Road. The differential cost of installing the existing underground line was paid by Rancho Vistoso developers. TEP proposes placing

the new line on above ground poles, along the east or west side of Oracle Road, between Tangerine Road and the Pinal County line. These issues are described in Attachment 4.

**BACKGROUND OR DETAILED INFORMATION:**

The Oro Valley Zoning Code Revised requires that all electric utility lines be located underground. Per OVZCR 25.1(N), "It is unlawful to erect, possess or maintain any utility poles or wires above the surface of the ground except after obtaining a Conditional Use Permit." The full text of section 25.2(N) is included as Attachment 5.

The Town considers the zoning code, adopted by Ordinance, to be legally valid and binding on TEP. To date, TEP has been unwilling to locate lines underground without up-front payment for the differential cost of above ground versus underground installation. Typically, the developers of new commercial and residential projects are responsible for the provision of infrastructure needed to support those projects, and the developer pays to install new electrical facilities underground. For infrastructure improvements not associated with any particular development, TEP has placed the burden of paying the differential cost on the Town. A full explanation of TEP's position can be found in the document, "Frequently Asked Questions about Underground Electrical Facilities," included as Attachment 6.

The Town Council has previously discussed the issue of electric service adequacy and the Town's underground utility requirements with TEP. In 2006 and 2008 the Town Council convened study sessions to discuss electrical infrastructure issues, including undergrounding and the adequacy and reliability of TEP service within the Town. These Council Communications are included as Attachment 7. In 2009, TEP applied for, and later withdrew, an application for a conditional use permit for installation of above ground facilities along Tangerine Road; a project substantially the same as Project B, above.

**FISCAL IMPACT:**

Under the terms of the MOU, Oro Valley will pay TEP for the differential cost of the Rancho Vistoso Project, an amount currently estimated at \$1,350,000, plus one-half of the underground differential cost of the Oro Valley portion of the ADOT project, an amount currently estimated at \$750,000, for a total cost of \$2.1 million.

Should Council wish to approve this agreement, authorization for the use of contingency reserves in the amount of \$2.1 million is required. The current General Fund contingency reserve balance is \$11.0 million. Expenditure of \$2.1 million for underground electric facilities would reduce the balance to \$8.9 million. The minimum balance required by policy is \$6.7 million, or 25% of FY 2012/13 General Fund expenditures of \$26.8 million.

**SUGGESTED MOTION:**

I MOVE to (adopt or deny) Resolution No. (R)13-04, Authorizing and approving an agreement between the Town of Oro Valley and Tucson Electric Power regarding payment for installation of underground electric facilities along Oracle Road and Tangerine Road and authorizing the use of General Fund contingency reserves for this purpose.

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**Attachments**

[Attachment 1 - \(R\)13-04 TEP Undergrounding Agreement](#)

[Attachment 2 - Memorandum of Understanding](#)

[Attachment 3 - Map](#)

[Attachment 4 - TEP memo 12.27.12](#)

[Attachment 5 - OVZCR Section 25.1](#)

[Attachment 6 - Frequently Asked Questions](#)

Attachment 7 - Previous Council Communications

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## **RESOLUTION NO. (R)13-04**

### **A RESOLUTION OF THE MAYOR AND COUNCIL OF THE TOWN OF ORO VALLEY, ARIZONA, AUTHORIZING THE EXECUTION OF THE UNDERGROUNDING AGREEMENT BETWEEN THE TOWN AND TUCSON ELECTRIC POWER COMPANY (TEP) FOR PAYMENT FOR INSTALLATION OF UNDERGROUND ELECTRIC FACILITIES ALONG ORACLE ROAD AND TANGERINEE ROAD AND AUTHORIZING THE USE OF GENERAL FUND CONTINGENCY RESERVES FOR THIS PURPOSE**

**WHEREAS**, on September 19, 2007, the Town Council approved Ordinance No. 07-33, approving OVZCR Section 25.1, stating that it is unlawful to erect, possess or maintain any utility poles or wires above the surface of the ground except after obtaining a Conditional Use Permit, and

**WHEREAS**, electrical improvements within the Town's Right-of-Way are necessary to the public health, safety, and welfare of the residents of the Town; and

**WHEREAS**, the Council deems it necessary, in the interest of providing for the health, safety, and welfare of the citizens of Oro Valley, to authorize the Mayor to contract with Tucson Electric Power Company (TEP) for payment for installation of underground electric facilities along Oracle road and Tangerine road and authorizing the use of General Fund contingency reserves for this purpose, and

**THEREFORE, BE IT RESOLVED**, by The Mayor and Council of The Town of Oro Valley, Arizona as follows

SECTION 1. The agreement between Tucson Electric Power Company and the Town of Oro Valley for payment for installation of underground electric facilities along Oracle road and Tangerine road and authorizing the use of General Fund contingency reserves for this purpose, attached hereto and incorporated herein by this reference is hereby authorized and approved.

**BE IT FURTHER RESOLVED** that the Mayor and any other administrative officials of the Town of Oro Valley are hereby authorized to take such steps as are necessary to execute and implement the terms of the Agreement.

**PASSED AND ADOPTED** by the Mayor and Town Council of the Town of Oro Valley, Arizona this 16<sup>th</sup> day of January, 2013.

**TOWN OF ORO VALLEY, ARIZONA**

\_\_\_\_\_  
Dr. Satish I. Hiremath, Mayor

**ATTEST:**

\_\_\_\_\_  
Julie K. Bower, Town Clerk

\_\_\_\_\_  
Date

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Tobin Sidles, Interim Town Attorney

\_\_\_\_\_  
Date

**AGREEMENT BETWEEN  
THE TOWN OF ORO VALLEY  
AND  
TUCSON ELECTRIC POWER COMPANY**

**Oracle Road and Tangerine Road Undergrounding Projects**

This Agreement is made and entered into this \_\_\_\_ day of \_\_\_\_\_, by and between The Town of Oro Valley, (hereinafter "ORO VALLEY"), a political subdivision of the State of Arizona, and Tucson Electric Power Company ("TEP"), an Arizona public service corporation.

**RECITALS**

**WHEREAS:**

- A. The Arizona Department of Transportation (ADOT) intends to construct roadway improvements along Oracle Road/State Route 77 (SR77) from Tangerine to the Pinal County Line as described in its Stage III, 60% plans dated February 2012, hereinafter referred to as the "ADOT Project" (Project C on Exhibit A).
- B. TEP owns and maintains overhead and underground facilities within the ADOT Project limits along SR77.
- C. TEP owns and maintains overhead and underground facilities within the ADOT Right-of-Way along Tangerine Road. TEP, in the public interest to improve reliability, intends to construct additional electrical improvements along SR77 and along Tangerine Road as described in TEP Engineering Final Planning Memo 09-20 dated March 31, 2011, with revisions dated August 12, 2012, hereinafter referred to as the "TEP Rancho Vistoso Project" (Projects A&B on Exhibit A).
- D. ORO VALLEY, in its interest, is requesting the underground relocation and installation of all 13.8kV distribution facilities within the Oro Valley Town limits portion of the ADOT Project and the TEP Rancho Vistoso Project (the "Undergrounding").

NOW THEREFORE, based on the foregoing recitals, and for and in consideration of the mutual covenants, stipulations and conditions hereinafter contained, ORO VALLEY and TEP agree as follows:

- 1.
  - a. TEP and its subcontractors, shall furnish civil design and install the pads and bases for transformers and associated equipment, conduit, risers, pull boxes, and perform other civil system work related to structures and substructures, including but not limited to breaking of pavement, trenching, bedding, shading, backfilling and concreting, according to the applicable Town of Oro Valley's and/or ADOT's and TEP's construction specifications.
  - b. ORO VALLEY shall provide TEP with appropriate and necessary easement rights along the limits of the Undergrounding.

- c. TEP shall provide and install all new underground cable and associated aboveground appurtenances, including all associated labor and materials, to complete the new underground systems.
  - d. ORO VALLEY will pay TEP for the underground differential cost of the TEP Rancho Vistoso Project, an amount currently estimated at \$1,350,000, plus one-half of the underground differential cost of the Oro Valley portion of the ADOT Project, an amount currently estimated at \$750,000. The sum of these two estimates, \$2,100,000, represents ORO VALLEY's "Estimated Total Cost Share." ORO VALLEY's "Final Total Cost Share" will reflect the differential costs actually incurred by TEP to complete underground construction of both projects and may vary from the estimated amount.
  - e. ORO VALLEY will pay one-half of its Estimated Total Cost Share, or \$1,050,000, upon execution of this agreement and prior to commencement of design and construction. ORO VALLEY will pay the remaining balance of the Final Total Cost Share upon completion of construction.
2. Indemnification. TEP shall indemnify, defend and hold harmless ORO VALLEY, its agents and employees from and against all claims, damages, losses and expenses including attorneys' fees arising out of or resulting from the performance of this Agreement, provided that any such claim, damage, loss or expense (1) is attributable to bodily injury, sickness, disease or death, or to injury to or destruction of tangible property including the loss of use resulting therefrom, and (2) is caused in whole or in part by any negligent act or omission of TEP, its Contractors, or anyone directly or indirectly employed by any of them or anyone for whose acts any of them may be liable, regardless of whether or not is caused in part by a party indemnified hereunder.

ORO VALLEY shall indemnify, defend and hold harmless TEP, its agents and employees from and against all claims, damages, losses and expenses including attorneys' fees arising out of or resulting from the performance of this Agreement, provided that any such claim, damage, loss or expense (1) is attributable to bodily injury, sickness, disease or death, or to injury to or destruction of tangible property including the loss of use resulting therefrom, and (2) is caused in whole or in part by any negligent act or omission of ORO VALLEY, its Agents, or anyone directly or indirectly employed by any of them or anyone for whose acts any of them may be liable, regardless of whether or not is caused in part by a party indemnified hereunder.

3. Termination. ORO VALLEY reserves the right to terminate this agreement for cause or no cause at any time, with 30 days written notice to TEP. Upon termination TEP shall submit documentation of all work completed up to that time, and ORO VALLEY shall reimburse TEP for those costs actually incurred and reimbursable to TEP under the terms of this agreement, including but not limited to any delay claims incurred as a result of the termination of this agreement.

4. Paragraph Headings. Paragraph headings are for convenience only and are not intended to affect the meaning of any provision of this agreement.
5. Entire Agreement. This instrument contains the entire agreement between the parties, and shall not be amended, altered or changed except by written agreement signed by the parties.
6. Notices. Any notice, request, demand, consent, approval or other communication required or permitted under this agreement or law shall be given, in writing as follows:

Tucson Electric Power Company  
Attention: Legal Department  
88 East Broadway Boulevard  
P.O. Box 711  
Tucson, Arizona 85702

Town of Oro Valley  
Attention: Town Manager  
11000 North La Canada Drive  
Oro Valley, Arizona 85737

All notices shall be hand delivered, mailed with postage prepaid, Return Receipt Requested or sent by established overnight delivery service (e.g. Federal Express, UPS, DHL). Either party may change the location for receipt of notices by written notice to the other party. The sender of any notice bears and accepts the risk of non-delivery by the means chosen.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement of the day and year first above written.

**Tucson Electric Power Company**

By: \_\_\_\_\_

Title: \_\_\_\_\_

**Town of Oro Valley**

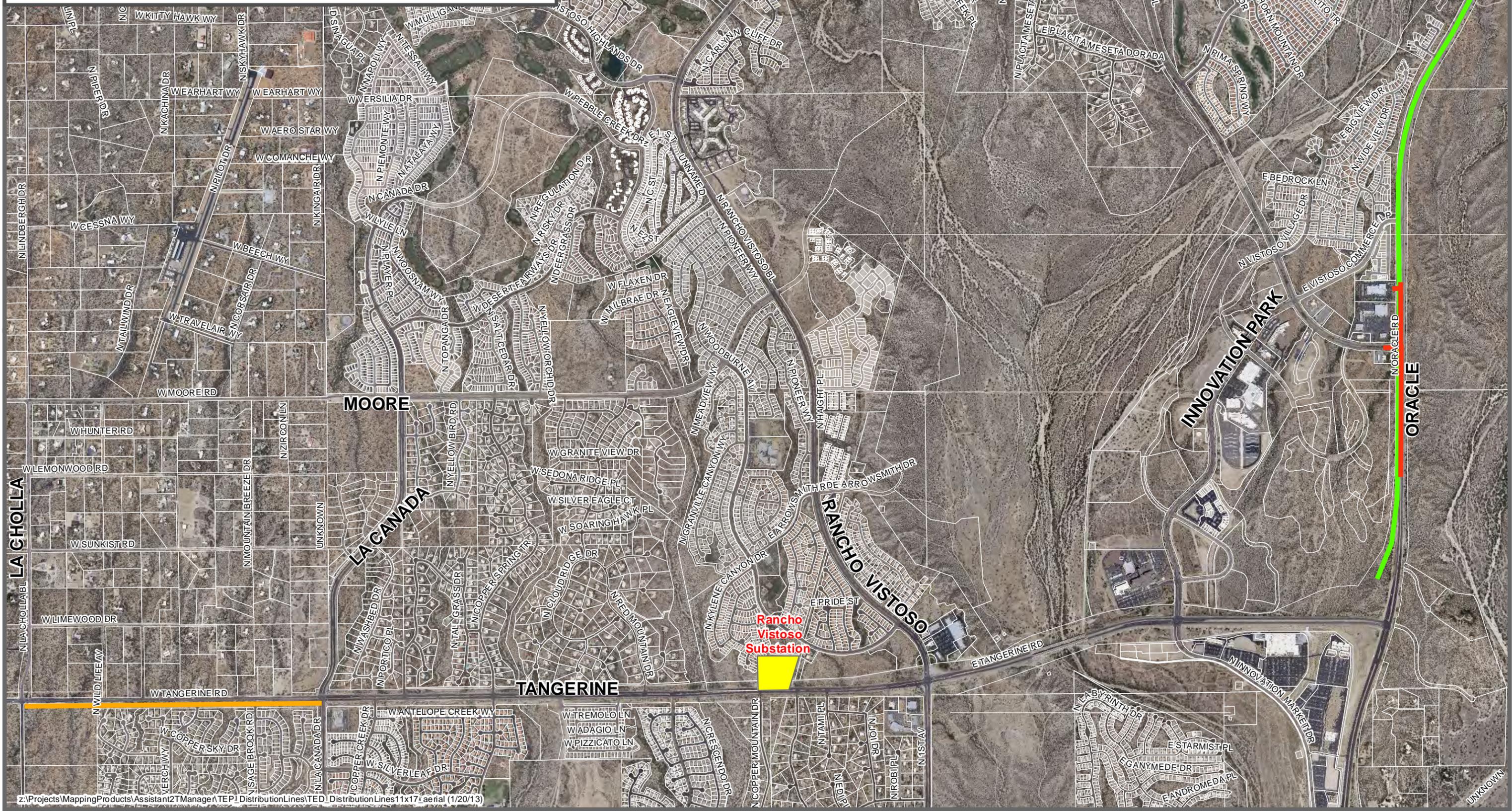
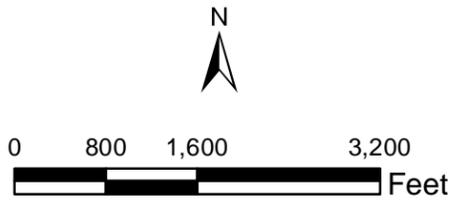
By: \_\_\_\_\_

Title: \_\_\_\_\_

# TEP Distribution Lines

- Project A
- Project B
- Project C

Draft Working Map





## Memorandum

To: Greg Caton, Town Manager  
From: Paul Keesler, DIS Director  
Re: TEP utility relocation for the ADOT Oracle Road project  
Date: December 27, 2012

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This memorandum provides an update on two discussions with the Arizona Department of Transportation (ADOT) regarding the relocation of existing Tucson Electric Power (TEP) facilities associated with the Oracle Road widening project. The first point is that ADOT has advised TEP that it may not be possible to relocate the existing underground facilities to overhead poles within the ADOT right-of-way along portions of the west side of Oracle Road. Second, ADOT has confirmed the Town's position that certain portions of the existing underground facilities do not need to be relocated as a result of the widening project.

In summary, recent information obtained from ADOT indicates that overhead relocation of existing underground facilities would have to occur within ADOT right-of-way along the east side of Oracle Road. Alternatively, significant portions of the existing underground facilities do not conflict with the ADOT widening project and may remain in place. As a result, the total cost to relocate the remaining portions of the existing underground facilities may be substantially the same as the cost of relocating in the entire facility overhead. TEP has repeatedly stated that the differential cost of underground installation is the responsibility of the Town; however, in this scenario, the differential cost would be zero.

### **1. ADOT right-of-way conflicts on the west side of Oracle Road**

ADOT project engineers recently advised TEP that many of the proposed pole locations for overhead relocation of the existing underground facilities along the west side of Oracle Road are in conflict with planned retaining or noise walls or will block required access for ADOT and TEP maintenance. Additionally, other underground utilities are, or will be, located in the areas behind the walls, further complicating overhead pole placement.

At the most recent ADOT utility coordination meeting, TEP noted that they are exploring the possibility of moving to the eastside and do not yet have a design. An ADOT project engineer noted that the area south of Rancho Vistoso Blvd. would probably not have any of the above mentioned conflicts, so the movement to the eastside would probably happen north of Rancho Vistoso Blvd. and continue to approximately Golder Ranch Road.

### **2. ADOT acceptance of portions of the existing underground facilities**

The following is a technical and financial analysis of undergrounding the existing TEP power line identified as their "Project C: Relocation of existing feeder tie along Oracle Road.

- a. Total affected length of the existing power line from project station 731+50 to 856+00 = 12,450 ft. (from Tangerine Road north to the Oro Valley town boundary)

- b. Existing underground electric power line south of the project limits will remain in place – as is. This means that the line will continue to operate in its existing 5” conduits originally installed when the line was placed underground.
- c. ADOT will allow a relaxation of their standard that requires all underground utilities to be offset from the pavement a minimum of 9ft. The existing facility will be able to remain in its existing location and within the new roadway base as long as TEP can provide ADOT with written assurance that the new paved surface will not be damaged should TEP need to repair or maintain their lines.
- d. Rich Montgomery of URS, the ADOT project design engineer, provided an evaluation of the existing TEP facilities within the project area. This evaluation has been modified by staff based on revised calculations of the total project length.

1) 2,000 ft = Areas that may need to be raised, lowered or capped to protect, based on cover after construction.

2) 6,600 ft = Areas that can remain in place based on proximity to the edge of pavement.

3) 3,850 ft = Areas that must be relocated due to being under proposed pavement.

The estimate of 6,600 ft represents approximately 53% of the project length that would not have to be relocated.

- e. TEP has offered the following cost estimates for installation of new overhead and new underground facilities along Oracle Road:

1) New overhead power line ~ \$1,500,000 or \$120.50/ft

2) New underground power line ~ \$3,000,000 or \$241.00/ft

- f. Using the above lengths described in section d, with the assumption that condition 1) Areas that may need raised/lowered or capped to protect, based on cover after construction, are the same cost as installing a new underground line, the cost would be:

1) Areas that may need to be raised, lowered or capped to protect, based on cover after construction: 2,000 ft x \$241.00/ft = \$482,000

2) Areas that can remain in place based on proximity to the edge of pavement: 6,600 ft = \$60,000 (No cost for the line, but there will be transitions and appurtenances required to connect to the new underground line segments. Assume \$3,000 per instance for an estimated total of 20 transition points).

3) Areas that must be relocated due to being under proposed pavement: 3,850 ft x \$241.00/ft = \$927,850

4) Total Project Cost = **\$1,496,850**

In conclusion, should the existing facilities remain underground in the locations preliminarily agreed to by ADOT, the underground project cost would be substantially the same as the estimated cost to install a new overhead power line.

# Oro Valley Zoning Code Revised

## Chapter 25 USE REGULATIONS

### Section 25.1 Requirements for Specific Uses

#### N. New Utility Poles and Wires

##### 1. Applicability

- a. It is unlawful to erect, possess or maintain any utility poles or wires above the surface of the ground except after obtaining a Conditional Use Permit therefor.
- b. Exceptions
  - i. Utility poles and wires erected prior to December 31, 1983.
  - ii. New utility poles and wires erected for temporary use for periods not in excess of 4 months for purely temporary purposes such as for providing temporary building construction power or for emergency power or telephone service, or for the furnishing of power to temporary outdoor activities. This 4-month period may be extended by the Town Council if good cause is shown.
  - iii. Replacements involving less than 600 feet of continuous poles and wires on any transmission or distribution line in any 12 month period where the remainder of such transmission or distribution line is not also being replaced within said period; such replacement excluded from being new utility poles under the latter clause must be poles of the same or less size, diameter, height and in the same location as the pole or poles being replaced, and in addition, must be of the same classification as to strength and purpose within the utility industry as pole or poles being replaced.
  - iv. Erection on the ground surface and flush to the ground of transformers, pullboxes, service terminals, pedestal type telephone facilities normally used with and as a part of an underground distribution system. The size, type and design of these are to be approved by the Town Engineer.
  - v. Erection on the ground surface and flush to the ground of wires in encased concrete or conduit where underground wire installation is not feasible due to special features of the terrain.

##### 2. Approval Criteria

- a. A Conditional Use Permit for the erection of new utility poles and wires will be granted in accordance with [Section 22.5](#).
- b. In addition, the primary consideration shall be aesthetics with the following factors also considered:
  - i. The location and height of such poles and wires and the relation to the present or potential roads;
  - ii. The crossing of such lines over much traveled highways and streets;
  - iii. Proximity of such lines to schools, religious institutions and other places where people may congregate;

- iv. Fire or other accidental hazards from the presence of such poles and wires and the effect, if any, of the same upon the effectiveness of fire fighting equipment;
  - v. The availability of a suitable right-of-way for the installation;
  - vi. Future conditions which may be reasonably anticipated in the area in view of a normal course of development;
  - vii. The type of terrain;
  - viii. The practicality and feasibility of underground installation of such poles and wires with due regard for the comparative costs between underground and overground installations (provided, however, that a mere showing that an underground installation shall cost more than an overground installation shall not, in itself, necessarily require issuance of a permit).
- c. In the event such poles and wires are for the sole purpose of carrying electricity or power or for transmitting of telephone, telegraph, or television communication through or beyond the Town's boundaries or from one major facility to another, the practicality or feasibility of alternative or other routes shall also be considered.

((O)07-33, Amended, 9/19/07)

<http://www.codepublishing.com/az/orovalley/>



## Frequently Asked Questions about Underground Electrical Facilities

Tucson Electric Power typically installs transmission and distribution equipment above ground. Lower-voltage distribution facilities can be installed underground if customers, developers or other parties agree to pay the higher cost associated with such installations.

**Q: Why does it cost more to install facilities underground?**

**A:** The higher cost typically reflects civil engineering expenses, right-of-way acquisition, additional labor and materials such as conduit and pull-boxes that are not required for overhead projects. These costs vary by project, though, and underground installations may sometimes prove cost-effective in certain circumstances.

**Q: When will TEP pay to place facilities underground?**

**A:** Engineering and safety concerns sometimes justify the additional cost of installing facilities underground. For example, the lower voltage "feeder" lines that emerge from TEP's distribution substations are typically installed underground until these "getaways" reach a point where they can be safely brought above ground. In most cases, though, engineering concerns can be satisfied more cost-effectively through an overhead installation.

**Q: What if customers, developers or others want facilities to be installed underground?**

**A:** Unless the expense is justified by engineering or safety concerns, TEP will not install facilities underground unless a customer, developer or other party agrees to pay the additional cost. These costs are typically paid through a process defined in TEP's rules and regulations for new line extensions, or through a special contract with developers or municipalities.

**Q: Why does TEP insist that the additional cost of underground facilities be borne by those who request such installations?**

**A:** This practice avoids passing along unnecessary costs to customers through our rates. It also ensures that all of our customers are not asked to subsidize a discretionary expenditure that primarily benefits residents of one small area of our service territory. The Arizona Corporation Commission (ACC) has supported this practice by approving rules that allow for recovery of costs from those who request underground facilities. By enforcing those rules and allowing only prudently incurred costs to be recovered through rates, the ACC has ensured that TEP is not billing customers for unnecessary undergrounding expenses they did not themselves request.

**Q. What if TEP must relocate an underground line due to a road project or for some other reason?**

**A.** Relocated lines must be rebuilt in compliance with TEP's current engineering standards, which accommodate current system needs and safety concerns. As such, they represent new projects that, in most cases, will be developed overhead unless an interested party pays the additional underground costs. This is true even if the additional cost of placing the original line underground was borne by a third party.

COUNCIL COMMUNICATION

MEETING DATE: December 10, 2008

**TO:** HONORABLE MAYOR AND COUNCIL

**FROM:** Sarah S. More, Planning and Zoning Director

**SUBJECT:** Study Session – Discussion of Electrical Undergrounding and Tucson Electric Power's (TEP) Service Adequacy and Reliability

**SUMMARY:**

Over the past two years, the Town has discussed the issue of electric service adequacy and the Town's undergrounding requirement with TEP. On October 25, 2006, the Town Council held a study session to meet with TEP and on July 11, 2007, the Town Council discussed utility franchise agreements in study session (see ~~attached reports~~). ~~Since that time, on several occasions, TEP has indicated that they are unable to assure service to new developments in Town, most recently the technological park development at La Cañada and Tangerine Road and a subdivision plat in Rancho Vistoso.~~

**DISCUSSION OF ISSUE:**

The Town of Oro Valley's Zoning Code requires that new utility lines be located underground. Further, a conditional use permit is required for new and replacement utility lines. TEP maintains that they will share the cost of undergrounding with the Town, in the amount an aboveground placement would cost. No agreement between the Town and TEP has been reached.

Our initial discussion was focused on an existing situation with overloaded circuits at Tangerine and La Cholla and Tangerine and La Cañada. TEP indicated that these circuits were overloaded, and to remedy the situation, TEP intends to run a new line to connect these two circuits to provide backup. There are existing aboveground power poles on the south side of the Tangerine right-of-way, that TEP indicates will remain aboveground. The TEP proposal was to build a new aboveground line, on the south side of Tangerine Road for that one mile length. This Conditional Use Permit was not granted, but a request to replace the line on existing aboveground poles on La Cholla was approved by the Town Council. That line work has been completed.

The Town of Oro Valley does collect a utility tax (see attached report for details). TEP has indicated that their rate structure does not accommodate the cost of undergrounding in one part of their service area. They have indicated support for continuing the collection of the utility tax and dedicating some portion of those funds to the cost of undergrounding.

TEP works in cooperation with the Public Works department to coordinate roadway improvements and utility relocations. Those type of projects are most likely to provide some cost savings. Tangerine Road is scheduled for widening, as an RTA project, but not for several years.

COUNCIL COMMUNICATION

MEETING DATE: December 10, 2008

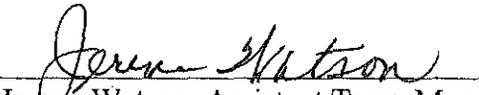
The issue of service availability and reliability remains unchanged. This issue may affect both current customers as well as proposed new developments. TEP has short-term and long-range plans to address service to Oro Valley and nearby customers. They include new transmission and distribution lines, upgrades of existing lines and new substations.

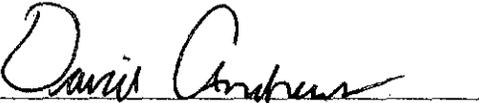
ATTACHMENTS:

1. Town Council Communication, Electric Infrastructure Issues, dated October 25, 2006
2. Town Council Communication, Public Utility Franchise Agreements, dated July 11, 2007

C: Larry Lucero, TEP  
F:/INDIV/SarahM/TEP TC ss 121008.doc

  
Sarah S. More, Planning and Zoning Director

  
Jerene Watson, Assistant Town Manager

  
David Andrews, Town Manager

## TOWN OF ORO VALLEY

COUNCIL COMMUNICATION

MEETING DATE: October 25, 2006

**TO:** HONORABLE MAYOR & COUNCIL

**FROM:** Sarah S. More, FAICP, Planning and Zoning Administrator

**SUBJECT:** Study Session – Electric Infrastructure Issues

**BACKGROUND:**

Staff recently met with Tucson Electric Power (TEP) representatives to discuss issues related to electric infrastructure needs within the Town. Both TEP and staff agree that it is in the best interest of the Town to plan together for the future to assure reliable service for the Town residents and businesses. The Town Manager suggested that all parties discuss the issues in a study session with Town Council. TEP representatives will make a presentation at the study session.

**DISCUSSION OF ISSUES:****1. Immediate Need to Update Circuits**

Our initial discussion has focused on an existing situation with overloaded circuits at Tangerine and La Cholla and Tangerine and La Cañada. TEP indicates that these circuits were overloaded the past two summers. In order to address this issue, TEP intends to run a new line to connect these two circuits to provide backup. There are existing above-ground power poles on the south side of the Tangerine right-of-way. According to TEP, the original plan to use the existing poles for the new lines will not work. The current TEP proposal, not formally submitted, is to build a new above-ground line, on the south side of Tangerine Road for that one mile length. Previous Conditional Use Permits to allow above ground lines have not been approved by the Town Council.

Part of that discussion concerned the Town's code requirement for locating new utility lines underground. The Oro Valley Zoning Code requires a conditional use permit for new utility poles and above ground wires (see Attachment). Another issue is coordinating with the future roadway widening of Tangerine Road (in the adopted Regional Transportation Plan) and avoiding duplicative work. One option might be to allow TEP to construct the above ground line on an interim basis pending the Tangerine Road widening and requiring that it be placed underground at that time, as a condition of a Conditional Use Permit. At this time, staff does not know whether the RTA funds will cover any of the cost of utility line relocation and undergrounding. Another option might be to require that the new line be placed underground, hopefully in a location that will not be disturbed by future roadway widening. Neither the Town nor TEP has identified funding for utility line undergrounding. TEP estimates the cost of undergrounding over that of putting in a new above ground line, for this one project is approximately \$433,500.

In addition, there is a current need to upgrade the wires along four existing routes within the Town that TEP has delayed due to the Town ordinance requiring that new wires be placed underground. According to TEP, upgrading old wires will increase capacity without increasing voltage, thus providing better service to Town residents. For example, lines on La Cholla are 40 years old and in serious need of replacement. As TEP replaces lines they are upgrading to steel poles that are weathered to appear the same color as the older wooden poles. Steel poles last longer and are less susceptible to storm damage.

## TOWN OF ORO VALLEY

### TOWN COUNCIL STAFF REPORT Electric Infrastructure Issues

Meeting Date: October 25, 2006  
Page 2

#### 2. Addressing Growth and Development Issues Related to TEP Service

Typically, all new development – subdivisions, shopping centers, etc. – is responsible for all infrastructure needs generated by the new development. The developer pays to underground the new utilities. TEP reviews all new development proposals in the Town and provides comments regarding electric service and easements. The following is a quote from a recent TEP comment on a subdivision plat:

*"A conditional approval is being given because of the uncertainty that TEP will be able to make necessary modifications to its electrical system in order to provide service to this project. The Town of Oro Valley has established an ordinance which restricts the upgrading of any overhead electrical power facilities within the town limits. Such restrictions may prohibit TEP from rendering service under its filed rules and regulations."*

TEP advises that the utility rate structure approved by the Arizona Corporation Commission does not include an allowance to cover the cost of undergrounding utilities. TEP has indicated that they do not have the capacity to cover such costs.

When the Town makes roadway widening improvements that necessitate utility relocation, the Town is responsible for extra costs related to undergrounding the utilities. In the recent case of Town improvements at Tangerine and 1<sup>st</sup> Avenue, the Town chose not to underground utilities due to the lack of funding to cover such costs.

Given the amount of planned and approved development that will be occurring over the next few years in Oro Valley, TEP and Town staff believe that we must work together to address service needs before the issue becomes critical. Both interruption of service to existing Town residents and business as well as the potential of lack of service to new developments is of concern to us all.

#### 3. Planning for the Future

Cities and towns in Arizona are given exclusive control over all rights-of-way dedicated to the municipality. This exclusive control enables the municipality to grant franchise agreements to utilities using the city or town's streets in the distribution of utility services. As an example, many cities and towns have granted franchises to electric companies to place power lines within the public right-of-way. In conjunction with this franchise, a franchise tax can be charged by the municipality to the utility users. While there is no specific amount or limitation in State law, the traditional amount for a franchise tax is usually between 2% and 5% of the gross proceeds from the sale of utility services within the city or town. The Town of Oro Valley does not currently have a franchise agreement with our electric provider, TEP. To grant a franchise, the municipality must place the question before the voters of the community for approval. This can be done at any one of the four primary/general election dates designated.

TEP estimates that the cost to underground one mile of 48 kV line is \$1,000,000 and \$500,000 for a lower voltage line. Establishing a franchise tax could fund that portion of the cost of new or replaced electricity lines not covered by TEP, i.e. the difference between the cost to relocate an above ground line and placing the line underground. Franchise taxes can also fund other utility costs over and above normal service – for example, providing new solar power to the Town.

**TOWN OF ORO VALLEY**

**TOWN COUNCIL STAFF REPORT**  
**Electric Infrastructure Issues**

**Meeting Date: October 25, 2006**  
**Page 3**

Looking ahead even further, TEP plans a new transmission substation just outside of the current Town limits to the north, located on state trust land. This substation will help address current service issues as well as future development to the north. It will take about 3 years to bring the substation on line.

**CONCLUSION**

Staff and TEP agree that there are both immediate and long-term issues related to growth and development and the provision of reliable electric service that must be addressed for the Town. Staff suggests that the Town Council discuss this matter with TEP and provide direction to staff regarding:

1. Options for an above ground line along Tangerine Road between La Cañada and La Cholla, including a possible temporary CUP.
2. Whether the Town should work with TEP to develop a franchise agreement.
3. And, whether to pursue a franchise tax to fund projects unique to the Town, such as undergrounding.
4. Alternatively, identifying another funding source for utility undergrounding.
5. Other mechanisms for planning for future growth and development with TEP to assure adequate service.

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Planning and Zoning Administrator

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Community Development Director

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Acting Assistant Town Manager

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Town Manager

**Attachments:**

1. OV Zoning Code Section 25.1.N
2. TEP Handout



## Town Council Regular Session

Item # **4.**

**Meeting Date:** 01/16/2013  
**Submitted By:** Kevin Burke, Town Manager's Office  
**Department:** Town Manager's Office

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### Information

#### **SUBJECT:**

~~\*DISCUSSION AND POSSIBLE ACTION REGARDING A 2013 SPECIAL ELECTION TO SEEK VOTER APPROVAL OF A FRANCHISE AGREEMENT WITH TUCSON ELECTRIC POWER (Removed from agenda on 1/11/13)~~

#### **RECOMMENDATION:**

This item is for discussion and possible action by the Town Council.

#### **EXECUTIVE SUMMARY:**

Pursuant to A.R.S. §§ 9-501 and 9-502, Arizona municipalities are authorized to grant a franchise to a public utility for use of municipal rights-of-way for utility location. Franchise agreements are negotiated between a municipality and a public utility, and adopted by a resolution of the governing body. The franchise agreement and resolution are then presented to the voters at the following regular election, or a special election called for that purpose.

#### **BACKGROUND OR DETAILED INFORMATION:**

The two significant topics that are typically addressed by a franchise agreement are: (1) regulation by the municipality of the use of public rights-of-way by the utility; and (2) payment made by the utility to the municipality for such use, referred to as a franchise fee.

##### Right-of-Way Regulation

The franchise agreement will spell out the rights of both the municipality and utility with regard to use of public rights-of-way. Such an agreement is mutually beneficial in that the utility favors a consistent regulatory environment in which to conduct business, while the municipality endeavors to protect the health, safety, and welfare of the community. Regulatory issues typically addressed by a franchise agreement include, but are not limited to, the following:

- Authorization to construct and operate relevant infrastructure in compliance with municipal codes, standards, and permitting procedures
- Relocation procedures and responsibility for relocation expense
- Indemnification, to hold the municipality harmless from liability resulting from the actions of the utility
- Due diligence and regard for the expeditious completion of work that disturbs the public right-of-way

##### Franchise Fee

The franchise agreement will also prescribe a franchise fee to be paid by the utility to the municipality in return for access to public rights-of-way. This provides a sustainable source of revenue for the municipality and is generally agreeable to the utility because, regardless of how the fee is structured, when a franchise fee is levied on a utility the fee is passed on directly to the customer and itemized on their bill as a municipal fee.

Franchise fee revenues may be placed in the municipal general fund, or may be dedicated for a specific purpose, such as underground installation of electrical facilities. A utility may request that the municipality to set up a retainer account in order to reimburse the utility for certain expenditures as defined by the franchise agreement.

Voter Approval

A franchise agreement must be adopted by a resolution of the Council and then ratified by the voters. This item may be presented to the voters at the November 5, 2013 regular election, or the Council may call for a special election to be held on August 27, 2013.

The Town is required to notify the County Recorder of any ballot items no later than 120 days prior to the election date. The cost for the Town's 2012 primary election was \$73,264.49. Because the franchise agreement is a tax related question, the Town would be required to print and mail a publicity pamphlet to all registered electors. In the 2010 home rule election the associated cost was approximately \$15,000. State statute also requires that the franchise agreement be published in full for at least thirty consecutive days prior to the election. The newspaper charges \$1.75 per column inch for this type of publication. For an agreement 15 to 20 pages in length, the cost to publish for 30 days would be approximately \$17,000 - \$22,000.

**FISCAL IMPACT:**

As detailed in the Town Council Report dated December 28, 2012, the Town's existing 4% utility tax generates total estimated annual revenue of \$2,700,000. Of this amount, \$1,700,000 is collected on behalf of the Town by Tucson Electric Power. The total estimated annual revenue generated by a standard 5% franchise fee is \$2,130,000.

The estimated fiscal impact of an election to ratify a franchise agreement is \$110,265.

**SUGGESTED MOTION:**

I MOVE to direct staff to negotiate a franchise agreement with Tucson Electric Power, and to schedule a public hearing for the purpose of calling an election to seek voter approval of that franchise agreement.

or

I MOVE to...

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## Town Council Regular Session

Item # **5.**

**Meeting Date:** 01/16/2013

**Requested by:** Stacey Lemos

**Submitted By:** Stacey Lemos, Finance

**Department:** Finance

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### Information

#### **SUBJECT:**

~~\*DISCUSSION AND POSSIBLE DIRECTION TO SEEK VOTER APPROVAL TO ENACT A LOCAL RESIDENTIAL RENTAL OCCUPANCY TAX~~ (Removed from agenda 1/11/13)

#### **RECOMMENDATION:**

Staff is seeking direction from Mayor and Council on how to proceed.

#### **EXECUTIVE SUMMARY:**

This item was requested for discussion by Council to explore the possibility of enacting a local residential rental occupancy tax. This is a tax that would be applied to the gross rental income of apartments for rent, as well as other types of real property occupied by a tenant for rental occupancy, such as single family homes, condominiums and townhouses.

The Town of Oro Valley previously levied a 2% tax on local residential rental properties until 1997, when the Town Council at that time adopted Ordinance No. (O) 97-30 (see attached) exempting residential rental properties from taxation.

Recent legislation was passed in 2011 amending State statute (A.R.S. Section 42-6011) which now requires cities and towns to hold an election to receive voter approval to enact a local residential rental occupancy tax. Prior to passage of this legislation, the Town Council would have been able to enact such a tax by adopting a local ordinance amending the Town tax code.

#### **BACKGROUND OR DETAILED INFORMATION:**

A.R.S. Section 42-6011 states that "a city or town...shall not impose or increase the rate of tax applied to the business of renting or leasing real property for residential purposes unless approved by the qualified electors of the city or town at any regular municipal election." Should the Council wish to consider placing this question on an election ballot during calendar year 2013, the Town would have to notify Pima County Elections within 120 days of the election date, therefore the next available election dates would be August 27, 2013 or November 5, 2013. The Council could also call for election dates in March, May, August or November of 2014.

The Town is also required by law to post on our website the Town's intent to increase taxes or fees 60 days prior to the Council taking action to place this item on an election ballot.

The estimated cost of conducting an election for this purpose is \$90,000. This cost includes ballot and publicity pamphlet preparation and ballot counting services performed by Pima County Elections and the Recorder's Office.

If approved by the voters, the tax then becomes effective after 90 days, which provides the Town time to

have our tax code updated by the Arizona Department of Revenue (ADOR) with the new tax rate. It also allows time for ADOR to communicate this new tax rate to the apartment community and other local residential rental property businesses within Oro Valley.

It is estimated that a 2% local residential rental tax would generate approximately \$500,000 annually. This estimate includes revenue that would be generated by the Town's existing apartment complexes, plus the 500+ new apartment units in planning and under construction in the San Dorado development and in Steampump Village, as well as tenant-occupied rental homes, condominiums and townhouses in Oro Valley.

**FISCAL IMPACT:**

The estimated cost of conducting an election for this purpose is \$90,000. If approved, a 2% residential rental tax would generate approximately \$500,000 annually. These revenues would become General Fund local sales tax revenues available for funding Town operations.

**SUGGESTED MOTION:**

Staff is seeking direction from Council on how to proceed. Should Council wish to place this item on a future ballot, staff will prepare additional information to bring back to Council at a future meeting, including sample ballot question language and proposed revised language to update the Town tax code in this area. In addition, an election schedule will be provided showing the detail of when an election needs to be called by the Council and other key dates leading up to that election date.

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**Attachments**

Ordinance (O)97-30 Res Rental Tax Exemption

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ORDINANCE NO. (0)97-30

AN ORDINANCE OF THE TOWN OF ORO VALLEY, ARIZONA, RELATING TO THE PRIVILEGE LICENSE TAX; AMENDING THE TOWN TAX CODE, SECTION 8A-445 AND REGULATION 8A-200.1, BY EXEMPTING RESIDENTIAL, NON-TRANSIENT, RENTALS OF REAL PROPERTY AND BY EXEMPTING RENTAL, LEASING OR LICENSING FOR USE OF COMMERCIAL PROPERTY; PROVIDING PENALTIES FOR THE VIOLATION THEREOF; PROVIDING FOR SEVERABILITY AND DESIGNATING AN EFFECTIVE DATE.

BE IT ORDAINED BY THE MAYOR AND COUNCIL OF THE TOWN OF ORO VALLEY, ARIZONA:

**Section 1.** Section 8A-445 of the Tax Code of the Town of Oro Valley is amended to read:

**Sec. 8A-445. Rental, leasing, and licensing for use of real property.**

- (a) The tax rate shall be at an amount equal to two percent (2%) of the gross income from the business activity upon every person engaging or continuing in the business of leasing, or renting real property located within the Town for a consideration, to the tenant in actual possession, or the licensing for use of real property located within the Town for a consideration including any improvements, rights, or interest in such property; provided further that:
- (1) Payments made by the lessee to, or on behalf of, the lessor for property taxes, repairs, or improvements are considered to be part of the taxable gross income.
  - (2) Charges for such items as telecommunications, utilities, pet fees, or maintenance are considered to be part of the taxable gross income.
  - (3) However, if the lessor engages in telecommunication activity, as evidenced by installing individual metering equipment and by billing each tenant based upon actual usage, such activity is taxable under Section 8A-470.
- (b) If individual utility meters have been installed for each tenant and the lessor separately charges each single tenant for the exact billing from the utility company, such charges are exempt.
- (c) Charges by primary health care facilities to patients of such facilities for use of rooms or other real property during the course of their treatment by such facilities are exempt.
- (d) Charges for joint pole usage by a person engaged in the business of providing or furnishing utility or telecommunication services to another person engaged in the business of providing or furnishing utility or telecommunication services are exempt from the tax imposed by this Section.

- (e) Exempt from the tax imposed by this Section is gross income derived from the rental, leasing, or licensing for use of real property to any non-profit primary health care facility, except when the property so rented, leased, or licensed is for use in activities resulting in gross income from unrelated business income as that term is defined in 26 U.S.C. Section 512.
- (f) A person who has less than three (3) apartments, houses, trailer spaces, or other lodging spaced rented, leased or licensed, or available for rent, lease or license within the State and no units of commercial property for rent, lease or license within the State, is not deemed to be in the rental business, and is therefore exempt from the tax imposed by this Section on such income. However, a person who has one (1) or more units of commercial property is subject to the tax imposed by this Section on rental, lease and license income from all such lodging spaces and commercial units of real estate even though said person may have fewer than three (3) lodging spaces.
- (g) (Reserved)
- (h) (Reserved) EXCEPT AS MAY BE PROVIDED IN ANOTHER SECTION OF THIS CHAPTER, THE TAX PRESCRIBED BY THIS SECTION SHALL NOT INCLUDE GROSS INCOME FROM THE RENTAL, LEASING OR LICENSING OF LODGING OR LODGING SPACE TO AN INDIVIDUAL WHO RESIDES THEREIN.
- (i) (Reserved)
- (j) Exempt from the tax imposed by this Section is gross income derived from the activities taxable under Section 8A-444 of this code.
- (k) (Reserved)
- (l) (Reserved)
- (m) (Reserved) NOTWITHSTANDING THE OTHER PROVISIONS OF THIS SECTION, THE TAX IMPOSED BY THIS SECTION DOES NOT APPLY TO THE RENTAL, LEASING OR LICENSING FOR USE OF COMMERCIAL PROPERTY.
- (n) Notwithstanding the provisions of Section 8A-200(b), the fair market value of one (1) apartment, in an apartment complex provided rent free to an employee of the apartment complex, is not subject to the tax imposed by this Section. For an apartment complex with more than fifty (50) units, an additional apartment provided rent free to an employee for every additional fifty (50) units is not subject to the tax imposed by this Section.

**Section 2.** Regulation 8A-200.1 of the Tax Code of the Town of Oro Valley is amended to read:

**Reg. 8A-200.1 When deposits are includable in gross income.**

- (a) Refundable deposits shall be includable as gross income of the taxpayer for the month in which the deposits are forfeited by the lessee.
- (b) (RESERVED)

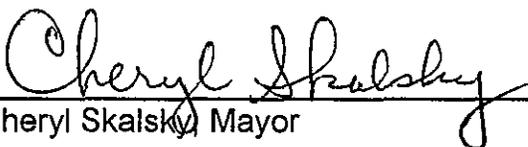
**Section 3.** Any person found guilty of violating any provision of these amendments to the tax code shall be guilty of a class one misdemeanor. Each day that a violation continues shall be a separate offense punishable as herein above described.

**Section 4.** If any section, subsection, sentence, clause, phrase or portion of this ordinance or any part of these amendments to the tax code is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions thereof.

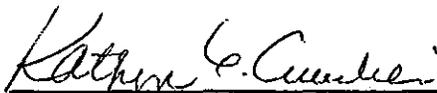
**Section 5.** The provisions of this ordinance and the amendments to the tax code adopted herein shall be effective on January 01, 1998.

PASSED AND ADOPTED by the Mayor and Council of the Town of Oro Valley,

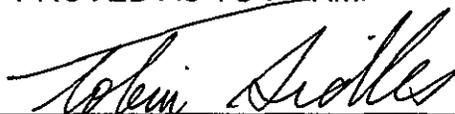
Arizona, this 22 day of October, 1997.

  
Cheryl Skalsky, Mayor

ATTEST:

  
Kathryn E. Cuvelier, Town Clerk

APPROVED AS TO FORM:

  
Tobin Sidles, Town Attorney



**Town Council Regular Session**

**Item # 6.**

**Meeting Date:** 01/16/2013

**Requested by:** Julie Bower **Submitted By:** Mike Standish, Town Clerk's Office

**Department:** Town Clerk's Office

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**Information**

**SUBJECT:**

PUBLIC HEARING - DISCUSSION AND POSSIBLE ACTION REGARDING AN APPLICATION FOR A SERIES 7 (BEER & WINE) LIQUOR LICENSE FOR GREAT AMERICAN PLAYHOUSE LOCATED AT 13005 N. ORACLE ROAD #110

**RECOMMENDATION:**

Staff recommends approval of this liquor license to the Arizona Department of Liquor Licenses and Control for the following reasons:

1. No protests to this license have been received.
2. The necessary background investigation was conducted by the Police Department.
3. The Police Department has no objections to the approval of the Series 7 Liquor License.

**EXECUTIVE SUMMARY:**

An application for a Series 7 (Beer & Wine) Liquor License has been submitted by Kevin Kramber for Great American Playhouse located at 13005 N. Oracle Road #110. Mr. Kramber purchased license #07100085 from Owner/Agent Anastasios Georgelos of Three Points Restaurant located at 9470 S. Sasabe Rd, Tucson, AZ 85735 and is requesting a Person and Location transfer.

Owner/Agent Kevin Kramber has submitted all necessary paperwork to the Arizona Department of Liquor Licenses and Control and to the Town of Oro Valley and has paid all related fees associated with applying for the liquor license (\$500 Application Processing Fee).

**BACKGROUND OR DETAILED INFORMATION:**

The Series 7 Liquor License is transferable from person to person and/or location to location within the same county and allows the holder both on-premise and off-premise, retail sale privileges. This license allows a beer and wine bar retailer to sell and serve beer and wine (no other spirituous liquors), primarily by individual portions, to be consumed on the premises and in the original container for consumption on or off the premises. A retailer with off-sale ("To Go") privileges may also deliver spirituous liquor off of the licensed premises in connection with a retail sale as long as payment is made no later than the time of delivery. A.R.S. 4-206.01.F. states that after January 1, 2011, the off-sale privileges associated with a bar license shall be limited to no more than 30% of the total annual sales receipts of liquor by the licensee at that location. Off-sale ("To Go") package sales can be made on the premises as long as the area of off-sale operation does not utilize a separate entrance and exit from the one provided for the bar.

In accordance with Section 4-201 of the Arizona Revised Statutes, the application was posted for 20

days on the premises of the applicant's property, ending November 26, 2012. No protests were received during this time period.

Police Chief Daniel Sharp completed a standard background check on Great American Playhouse and Owner/Agent Kevin Kramber and has no objection to the approval of the Series 7 (Beer & Wine Bar) license.

**FISCAL IMPACT:**

Per Ordinance No. (O)11-16, The Town of Oro Valley charges a \$500 liquor license application processing fee to cover the costs incurred by the Town to process the application.

Per Section 8-2-6 Schedule of the Oro Valley Town Code, Persons licensed by the State of Arizona to deal in spirituous liquor within the town shall pay an annual license fee of \$80.00 to the town.

**SUGGESTED MOTION:**

I MOVE to (recommend, deny) approval of the issuance of a Series 7 Liquor License to the Arizona Department of Liquor Licenses and Control for Kevin Kramber and principals of Great American Playhouse located at 13005 N. Oracle Road #110.

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**Attachments**

Great American Playhouse Liquor License

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DANIEL G. SHARP  
CHIEF OF POLICE

TO: Mike Standish  
FROM:  Daniel G. Sharp  
DATE: 21 November 2012  
RE: Background Investigation, Application for Liquor License  
Great American Playhouse, 13005 N. Oracle Rd. #110  
Owner / Agent Kevin Krambler

On 21 November 2012, the Oro Valley police Department completed the standard background investigation on the Great American Playhouse to include Owner / Agent Kevin Krambler

The Oro Valley Police Department has no objections for the issuance of a liquor license to the Great American Playhouse, 13005 N. Oracle Rd. #110

Arizona Department of Liquor Licenses and Control  
 800 West Washington, 5th Floor  
 Phoenix, Arizona 85007  
 www.azliquor.gov  
 602-542-5141

11-6-12  
 No additional CUP  
 Requirements needed  
 For Planning + Zoning  
 Reddy

**APPLICATION FOR LIQUOR LICENSE**  
 TYPE OR PRINT WITH BLACK INK

Notice: Effective Nov. 1, 1997, All Owners, Agents, Partners, Stockholders, Officers, or Managers actively involved in the day to day operations of the business must attend a Department approved liquor law training course or provide proof of attendance within the last five years. See page 5 of the Liquor Licensing requirements.

**SECTION 1** This application is for a:

- MORE THAN ONE LICENSE
- INTERIM PERMIT *Complete Section 5*
- NEW LICENSE *Complete Sections 2, 3, 4, 13, 14, 15, 16*
- PERSON TRANSFER (Bars & Liquor Stores ONLY) *Complete Sections 2, 3, 4, 11, 13, 15, 16*
- LOCATION TRANSFER (Bars and Liquor Stores ONLY) *Complete Sections 2, 3, 4, 12, 13, 15, 16*
- PROBATE/WILL ASSIGNMENT/DIVORCE/DECREE *Complete Sections 2, 3, 4, 9, 13, 16 (fee not required)*
- GOVERNMENT *Complete Sections 2, 3, 4, 10, 13, 15, 16*

**SECTION 2** Type of ownership:

- J.T.W.R.O.S. *Complete Section 6*
- INDIVIDUAL *Complete Section 6*
- PARTNERSHIP *Complete Section 6*
- CORPORATION *Complete Section 7*
- LIMITED LIABILITY CO. *Complete Section 7*
- CLUB *Complete Section 8*
- GOVERNMENT *Complete Section 10*
- TRUST *Complete Section 6*
- OTHER (Explain) \_\_\_\_\_

\*12 OCT 22 11:41 AM '12

**SECTION 3** Type of license and fees LICENSE #(s): 07100085 n/a

1. Type of License(s): n/a # F - Beer { wine? }  
 2. Total fees attached: \$ 222.00

**APPLICATION FEE AND INTERIM PERMIT FEES (IF APPLICABLE) ARE NOT REFUNDABLE.**  
 The fees allowed under A.R.S. 44-6852 will be charged for all dishonored checks.

**SECTION 4** Applicant

1. Owner/Agent's Name: Mr. Alexander David Arnold  
 (Insert one name ONLY to appear on license) Last First Middle

2. Corp./Partnership/L.L.C.: Great American Playhouse, LLC B1049104  
 (Exactly as it appears on Articles of Inc. or Articles of Org.)

3. Business Name: Great American Playhouse B1049103  
 (Exactly as it appears on the exterior of premises)

4. Principal Street Location: 13005 N. ORACLE RD. #110 VALLEY Pima 85739  
 (Do not use PO Box Number) City County Zip

5. Business Phone: PANDIA Daytime Contact: (520) 235-5684

6. Is the business located within the incorporated limits of the above city or town?  YES  NO

7. Mailing Address: 536 E. WALLON BLUFF DR. TULSON AZ 85704  
 City State Zip

8. Price paid for license only bar, beer and wine, or liquor store: Type # F \$ 11,000.00 Type n/a \$ n/a

**DEPARTMENT USE ONLY**

Fees: 200.00 Application 22.00 Interim Permit 0.00 Agent Change 0.00 Club 0.00 Finger Prints \$ 222.00  
**TOTAL OF ALL FEES**

Is Arizona Statement of Citizenship & Alien Status For State Benefits complete?  YES  NO

Accepted by: EA Date: 10.22.12 Lic. # 07100085

## BEER & WINE BAR (SERIES 7)

The beer and wine bar (series 7) liquor license is a "quota" license available only through the Liquor License Lottery or for purchase on the open market. Once issued, this liquor license is transferable from person to person and/or location to location within the same county and allows the holder both on- & off-sale retail privileges. This license allows a beer and wine bar retailer to sell and serve beer and wine (no other spirituous liquors), primarily by individual portions, to be consumed on the premises and in the original container for consumption on or off the premises. A retailer with off-sale ("To Go") privileges may deliver spirituous liquor off of the licensed premises in connection with a retail sale. A.R.S. 4-206.01.F. states that after January 1, 2011, the off-sale privileges associated with a bar license shall be limited to no more than 30% of the total annual sales receipts of liquor by the licensee at that location. Off-sale ("To Go") package sales can be made on the bar premises as long as the area of off-sale operation does not utilize a separate entrance and exit from the one provided for the bar. Payment must be made no later than the time of delivery.



**Town Council Regular Session**

**Item # 7.**

**Meeting Date:** 01/16/2013

**Requested by:** Julie Bower **Submitted By:** Mike Standish, Town Clerk's Office

**Department:** Town Clerk's Office

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**Information**

**SUBJECT:**

PUBLIC HEARING - DISCUSSION AND POSSIBLE ACTION REGARDING AN APPLICATION FOR A SERIES 9 (LIQUOR STORE) LIQUOR LICENSE FOR CVS PHARMACY #10006 LOCATED AT THE SOUTHEAST CORNER OF ORACLE ROAD & FIRST AVENUE

**RECOMMENDATION:**

Staff recommends approval of this liquor license to the Arizona Department of Liquor Licenses and Control for the following reasons:

1. No protests to this license have been received.
2. The necessary background investigation was conducted by the Police Department.
3. The Police Department has no objections to the approval of the Series 9 Liquor License.

**EXECUTIVE SUMMARY:**

An application for a Series 9 (Liquor Store) Liquor License has been submitted by Jason Morris for CVS Pharmacy #10006 located at the southeast corner of Oracle Road & First Avenue. Owner/Agent Jason Morris is requesting a location transfer of license #09100262 from CVS/Pharmacy #07859 located at 6370 N. Campbell #120, Tucson, AZ 85718.

Owner/Agent Jason Morris has submitted all necessary paperwork to the Arizona Department of Liquor Licenses and Control and to the Town of Oro Valley and has paid all related fees associated with applying for the liquor license (\$500 Application Processing Fee).

**BACKGROUND OR DETAILED INFORMATION:**

The Series 9 Liquor License allows a spirituous liquor store retailer to sell all spirituous liquors, only in the original unbroken package for consumption off the premises. The license allows the retailer to deliver spirituous liquor as long as payment is made no later than the time of delivery.

In accordance with Section 4-201 of the Arizona Revised Statutes, the application was posted for 20 days on the premises of the applicant's property, ending November 26, 2012. No protests were received during this time period.

Police Chief Daniel Sharp completed a standard background check on CVS/Pharmacy #10006 and Owner/Agent Jason Morris and has no objection to the approval of the Series 9 (Liquor Store) license.

**FISCAL IMPACT:**

Per Ordinance No. (O)11-16, The Town of Oro Valley charges a \$500 liquor license application processing fee to cover the costs incurred by the Town to process the application.

Per Section 8-2-6 Schedule of the Oro Valley Town Code, Persons licensed by the State of Arizona to deal in spirituous liquor within the town shall pay an annual license fee of \$80.00 to the town.

**SUGGESTED MOTION:**

I MOVE to (recommend, deny) approval of the issuance of a Series 9 Liquor License to the Arizona Department of Liquor Licenses and Control for Jason Morris and principals for CVS/Pharmacy #10006 located at the southeast corner of Oracle Road & First Avenue.

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**Attachments**

CVS Pharmacy #10006 Liquor License

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DANIEL G. SHARP  
CHIEF OF POLICE

TO: Mike Standish

FROM:  Daniel G. Sharp

DATE: 19 November 2012

RE: Background Investigation, Application for Liquor License  
CVS Pharmacy #10006  
To be located at the southeast corner of First Ave and Oracle Rd

On 19 November 2012, the Oro Valley Police Department completed the standard background check on CVS Pharmacy Agent Jason Morris

The Oro Valley Police Department has no objection for the issuance of a liquor license to CVS Pharmacy #10006 to be located at the Southeast corner of First Ave and Oracle Rd.

11-6-12  
 No additional  
 CUP Requirements  
 needed for  
 Planning + Zoning.  
 Partyboys

Arizona Department of Liquor Licenses and Control  
 800 West Washington, 5th Floor  
 Phoenix, Arizona 85007  
 www.azliquor.gov  
 602-542-5141

**APPLICATION FOR LIQUOR LICENSE**  
 TYPE OR PRINT WITH BLACK INK

Notice: Effective Nov. 1, 1997, All Owners, Agents, Partners, Stockholders, Officers, or Managers actively involved in the day to day operations of the business must attend a Department approved liquor law training course or provide proof of attendance within the last five years. See page 5 of the Liquor Licensing requirements.

**SECTION 1** This application is for a:

- MORE THAN ONE LICENSE
- INTERIM PERMIT *Complete Section 5*
- NEW LICENSE *Complete Sections 2, 3, 4, 13, 14, 15, 16*
- PERSON TRANSFER (Bars & Liquor Stores ONLY) *Complete Sections 2, 3, 4, 11, 13, 15, 16*
- LOCATION TRANSFER (Bars and Liquor Stores ONLY) *Complete Sections 2, 3, 4, 12, 13, 15, 16*
- PROBATE/WILL ASSIGNMENT/DIVORCE DECREE *Complete Sections 2, 3, 4, 9, 13, 16 (fee not required)*
- GOVERNMENT *Complete Sections 2, 3, 4, 10, 13, 15, 16*

**SECTION 2** Type of ownership:

- J.T.W.R.O.S. *Complete Section 6*
- INDIVIDUAL *Complete Section 6*
- PARTNERSHIP *Complete Section 6*
- CORPORATION *Complete Section 7*
- LIMITED LIABILITY CO. *Complete Section 7*
- CLUB *Complete Section 8*
- GOVERNMENT *Complete Section 10*
- TRUST *Complete Section 6*
- OTHER (Explain) \_\_\_\_\_

\*12 OCT 19 11:45 AM '12

**SECTION 3** Type of license and fees LICENSE #(s): 09100262

1. Type of License(s): Series 9 - Liquor Store

2. Total fees attached: \$ 100.00 Department Use Only

**APPLICATION FEE AND INTERIM PERMIT FEES (IF APPLICABLE) ARE NOT REFUNDABLE.**  
 The fees allowed under A.R.S. 44-6852 will be charged for all dishonored checks.

**SECTION 4** Applicant

1. Owner/Agent's Name: Mr. Morris Jason Barclay  
 (Insert one name ONLY to appear on license) Last First Middle

2. Corp./Partnership/L.L.C.: German Dobson CVS, LLC B1032810  
 (Exactly as it appears on Articles of Inc. or Articles of Org.)

3. Business Name: CVS/pharmacy #10006 B1049094  
 (Exactly as it appears on the exterior of premises)

4. Principal Street Location Southeast corner of Oracle & ~~1st~~ <sup>FIRST</sup> Ave Tucson Pima 85737  
 (Do not use PO Box Number) City County Zip

5. Business Phone: pending Daytime Contact: 602-230-0600

6. Is the business located within the incorporated limits of the above city or town?  YES  NO

7. Mailing Address: 2525 E Arizona Biltmore Cr., Phoenix, AZ 85016  
 City State Zip

8. Price paid for license only bar, beer and wine, or liquor store: Type \$ Type \$

**DEPARTMENT USE ONLY**

Fees: 100.00 Application Interim Permit Agent Change Club Finger Prints \$ 100.00  
**TOTAL OF ALL FEES**

Is Arizona Statement of Citizenship & Alien Status For State Benefits complete?  YES  NO

Accepted by: ET Date: 10-19-12 Lic. # \_\_\_\_\_

### **License Type: Series 09 Liquor Store**

The liquor store (series 9) license is a "quota" license available only through the Liquor License Lottery or for purchase on the open market. Once issued, this liquor license is transferable from person to person and/or location to location within the same county and allows a spirituous liquor store retailer to sell all types of spirituous liquors, only in the original unbroken package, to be taken away from the premises of the retailer and consumed off the premises. A retailer with off-sale privileges may deliver spirituous liquor off of the licensed premises in connection with a retail sale. Payment must be made no later than the time of delivery. Series 9 (liquor store) licensees and applicants may apply for unlimited sampling privileges by completing the Sampling Privileges form.

This is a quota license, which means there are no "new" Series 09 licenses available. It must be purchased privately and the price is based on availability in the county. Once a Series 09 has been purchased, the buyer must apply for a transfer to have the license put in his or her name at the same or another location.



**Town Council Regular Session**

**Item # 8.**

**Meeting Date:** 01/16/2013

**Requested by:** Julie Bower **Submitted By:** Mike Standish, Town Clerk's Office

**Department:** Town Clerk's Office

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**Information**

**SUBJECT:**

PUBLIC HEARING - DISCUSSION AND POSSIBLE ACTION REGARDING AN APPLICATION FOR A SERIES 12 (RESTAURANT) LIQUOR LICENSE FOR GMG CHINESE BISTRO LOCATED AT 10370 N. LA CANADA DRIVE #190

**RECOMMENDATION:**

Staff recommends approval of this liquor license to the Arizona Department of Liquor Licenses and Control for the following reasons:

1. No protests to this license have been received.
2. The necessary background investigation was conducted by the Police Department.
3. The Police Department has no objections to the approval of the Series 12 Liquor License.

**EXECUTIVE SUMMARY:**

An application for a Series 12 (Restaurant) Liquor License has been submitted by Paul Gee for GMG Chinese Bistro located at 10370 N. La Canada Drive #190. This request is for a new series 12 liquor license.

Owner/Agent Paul Gee has submitted all necessary paperwork to the Arizona Department of Liquor Licenses and Control and to the Town of Oro Valley and has paid all related fees associated with applying for the liquor license (\$500 Application Processing Fee).

**BACKGROUND OR DETAILED INFORMATION:**

This non-transferable, on-site retail privileges liquor license allows the holder of a restaurant license to sell and serve spirituous liquor solely for consumption on the premises of an establishment which derives at least forty percent (40%) of its gross revenue from the sale of food. Failure to meet the 40% food requirement shall result in revocation of the license.

In accordance with Section 4-201 of the Arizona Revised Statutes, the application was posted for 20 days on the premises of the applicant's property, ending December 21, 2012. No protests were received during this time period.

Police Chief Daniel Sharp completed a standard background check on GMG Chinese Bistro and Owner/Agent Paul Gee and has no objection to the approval of the Series 12 (Restaurant) license.

**FISCAL IMPACT:**

Per Ordinance No. (O)11-16, The Town of Oro Valley charges a \$500 liquor license application processing fee to cover the costs incurred by the Town to process the application.

Per Section 8-2-6 Schedule of the Oro Valley Town Code, Persons licensed by the State of Arizona to deal in spirituous liquor within the town shall pay an annual license fee of \$80.00 to the town.

**SUGGESTED MOTION:**

I MOVE to (recommend, deny) approval of the issuance of a Series 12 Liquor License to the Arizona Department of Liquor Licenses and Control for Paul Gee and principals for GMG Chinese Bistro located at 10370 N. La Canada Drive #190.

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**Attachments**

GMG Chinese Bistro Liquor License

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DANIEL G. SHARP  
CHIEF OF POLICE

TO: Mike Standish Deputy Town Clerk

FROM:  Daniel G. Sharp

DATE: 12 December 2012

RE: Background Investigation, Application for Liquor License  
CMG Chinese Bistro  
Paul Gee Owner / Agent

On 12 December 2012, the Oro Valley Police Department completed the standard background check on CMG Chinese Bistro and Owner / Agent Paul Gee.

The Oro Valley Police Department has no objections to the issuing of a liquor license to CMG Chinese Bistro and Paul Gee located at 10370 N. La Canada #190.

PAGE 2

10-20-2012 20:13 BOBBIE BUTLER 5208867644

12 NOV 21 Lir. Lic. AM10:38

12 AUG 31 Lir. Dept AM1252

Arizona Department of Liquor Licenses and Control

800 West Washington, 5th Floor

Phoenix, Arizona 85007

www.azliquor.gov

602-542-5141

12-5-12

No Additional Review or CUP Requirements for this business. *Patty Hayes*

NOV 25 12AM 1:42 PM

APPLICATION FOR LIQUOR LICENSE

TYPE OR PRINT WITH BLACK INK

Notice: Effective Nov. 1, 1997, All Owners, Agents, Partners, Stockholders, Officers, or Managers actively involved in the day to day operations of the business must attend a Department approved liquor law training course or provide proof of attendance within the last five years. See page 5 of the Liquor Licensing requirements.

SECTION 1 This application is for a:

- MORE THAN ONE LICENSE
INTERIM PERMIT Complete Section 5
NEW LICENSE Complete Sections 2, 3, 4, 13, 14, 15, 16
PERSON TRANSFER (Bars & Liquor Stores ONLY) Complete Sections 2, 3, 4, 11, 13, 15, 16
LOCATION TRANSFER (Bars and Liquor Stores ONLY) Complete Sections 2, 3, 4, 12, 13, 15, 16
PROBATE/WILL ASSIGNMENT/DIVORCE DECREE Complete Sections 2, 3, 4, 9, 13, 15 (fee not required)
GOVERNMENT Complete Sections 2, 3, 4, 10, 13, 15, 16

SECTION 2 Type of ownership:

- J.T.W.R.O.B. Complete Section 6
INDIVIDUAL Complete Section 6
PARTNERSHIP Complete Section 6
CORPORATION Complete Section 7
LIMITED LIABILITY CO. Complete Section 7
CLUB Complete Section 8
GOVERNMENT Complete Section 10
TRUST Complete Section 8
OTHER (Explain)

SECTION 3 Type of license and fees LICENSE #(s): 12104217

1. Type of License(s): New License - Liquor License

Department Use Only

2. Total fees attached: \$

APPLICATION FEE AND INTERIM PERMIT FEES (IF APPLICABLE) ARE NOT REFUNDABLE.

The fees allowed under A.R.S. 44-8852 will be charged for all dishonored checks.

SECTION 4 Applicant

- Owner/Agent's Name: Mr. GEE Paul Chuck
Corp./Partnership/L.L.C.: Sunrise
Business Name: GONG CHINESE BISTRO
Principal Street Location: 10370 La Canada de #170 Oak Valley Area 85745
Business Phone: 602-258-8222 Daytime Contact: PENDING
Mailing Address: 7378 W Skyway Avenue in Tucson AZ 85743
Price paid for license only bar, beer and wine, or liquor store: Type \$ Type \$

DEPARTMENT USE ONLY

Fees: Application 100.00 Interim Permit Agent Change Club Finger Prints \$ 166.00 TOTAL OF ALL FEES 166.00

Is Arizona Statement of Citizenship & Alien Status For State Benefits complete? YES NO

Accepted by: [Signature] Date: 11/23/12 Lic. # 12104217

## **Restaurant Liquor License (Series 12)**

This non-transferable, on-sale retail privileges liquor license allows the holder of a restaurant license to sell and serve spirituous liquor solely for consumption on the premises of an establishment which derives at least forty percent (40%) of its gross revenue from the sale of food. Failure to meet the 40% food requirement shall result in revocation of the license.



**Town Council Regular Session**

**Item # 9.**

**Meeting Date:** 01/16/2013

**Requested by:** Julie Bower **Submitted By:** Mike Standish, Town Clerk's Office

**Department:** Town Clerk's Office

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**Information**

**SUBJECT:**

PUBLIC HEARING - DISCUSSION AND POSSIBLE ACTION REGARDING AN APPLICATION FOR A SERIES 10S (BEER & WINE STORE W/SAMPLING PRIVILEGES) LIQUOR LICENSE FOR SPROUTS FARMERS MARKET #11 LOCATED AT 7665 N ORACLE ROAD

**RECOMMENDATION:**

Staff recommends approval of this liquor license to the Arizona Department of Liquor Licenses and Control for the following reasons:

1. No protests to this license have been received.
2. The necessary background investigation was conducted by the Police Department.
3. The Police Department has no objections to the approval of the Series 10S Liquor License.

**EXECUTIVE SUMMARY:**

An application for a Series 10S (Beer & Wine Store W/Sampling Privileges) Liquor License has been submitted by Randy Nations for Sprouts Farmers Market #11 located at 7665 N. Oracle Road. Mr. Nations applied for and was approved for a Series 10 liquor license on 11/7/12. He is now requesting sampling privileges be added to his existing license - #10103668.

Owner/Agent Randy Nations has submitted all necessary paperwork to the Arizona Department of Liquor Licenses and Control and to the Town of Oro Valley and has paid all related fees associated with applying for the liquor license (\$500 Application Processing Fee).

**BACKGROUND OR DETAILED INFORMATION:**

This non-transferable, Series 10 Liquor License allows a retail store to sell beer and wine (no other spirituous liquors), only in the original unbroken package for consumption off the premises. The license allows the retailer to deliver beer and wine as long as payment is made no later than the time of delivery. Series 10 licensees and applicants may apply for unlimited sampling privileges by completing the Sampling Privileges form.

In accordance with Section 4-201 of the Arizona Revised Statutes, the application was posted for 20 days on the premises of the applicant's property, ending December 25, 2012. No protests were received during this time period.

Police Chief Daniel Sharp completed a standard background check on Sprouts Farmers Market #11 and Owner/Agent Randy Nations and has no objection to the approval of the Series 10S (Beer & Wine Store W/Sampling Privileges) license.

**FISCAL IMPACT:**

Per Ordinance No. (O)11-16, The Town of Oro Valley charges a \$500 liquor license application processing fee to cover the costs incurred by the Town to process the application.

Per Section 8-2-6 Schedule of the Oro Valley Town Code, Persons licensed by the State of Arizona to deal in spirituous liquor within the town shall pay an annual license fee of \$80.00 to the town.

**SUGGESTED MOTION:**

I MOVE to (recommend, deny) approval of the issuance of a Series 10S Liquor License to the Arizona Department of Liquor Licenses and Control for Randy Nations and principals at Sprouts Farmers Market #11 located at 7665 N. Oracle Road.

---

**Attachments**

Sprouts Farmers Market #11 - Liquor License - Addition of Sampling Privileges

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**DANIEL G. SHARP**  
CHIEF OF POLICE

TO: Mike Standish

FROM:  Daniel G. Sharp

DATE: 12 December 2012

RE: Background Investigation, Application for Liquor License  
For the purpose of adding Sampling Priviledges  
Sprouts Farmers Market, 7665 N. Oracle Rd.  
Principal Randy Nations

On 12 December 2012, the Oro Valley police Department completed the standard background investigation on the Sprouts Farmers Market and principal Randy Nations.

The Oro Valley Police Department has no objections for the addition of sampling privileges to the existing liquor license to the Sprouts Farmers Market located at 7665 N. Oracle Rd.



800 W. Washington 5<sup>th</sup> Floor  
Phoenix, Arizona 85007  
(602) 542-5141

**State/Local Government Routing Sheet**  
**Add Sampling Privileges To Active**  
**Liquor Store (series 9) or Beer and Wine Store (series 10) License**

12 NOV 27 11:41 AM 3:52

Liquor Store (series 9)  
 Beer and Wine Store (series 10)

The attached form for sampling must be processed within 105 days from this date:

Date Application Received at DLLC: NOVEMBER 27, 2012

Date of 60-days from receipt: JAN. 26, 2013 105-days from receipt: MARCH 12, 2013

If the local governing body has questions regarding the attached sampling form, please call:

DLLC Contact Name: ALICIA ESPARZA

DLLC Contact Phone Number: 602-364-0674 DLLC Contact email: Juanita.esparza@azliquor.gov

Upon local governing body approval, a new license with a sampling privilege ("S") designation will be issued to this licensee:

For DLLC Use Only \* Pending App

Current License #: 10103668 Date of issuance: \_\_\_/\_\_\_/\_\_\_

S License #: \_\_\_\_\_ Date of issuance: \_\_\_/\_\_\_/\_\_\_

DLLC Contact: \_\_\_\_\_ DLLC Phone #: \_\_\_\_\_

For Local Governing Body Use Only

Date Receive: \_\_\_/\_\_\_/\_\_\_

Recommendation:  Approve  Protest  No Recommendation

I \_\_\_\_\_, hereby recommend that non-transferrable sampling  
Government Official

privileges be added to this licensee on behalf of \_\_\_\_\_  
City, Town or County

(\_\_\_\_\_) \_\_\_\_\_  
Phone Number Email Address

ORO VALLEY

Arizona Department of Liquor Licenses and Control  
 800 West Washington, 5th Floor  
 Phoenix, Arizona 85007  
 www.azliquor.gov  
 602-542-5141

**APPLICATION FOR LIQUOR LICENSE**  
**TYPE OR PRINT WITH BLACK INK**

Notice: Effective Nov. 1, 1997, All Owners, Agents, Partners, Stockholders, Officers, or Managers actively involved in the day to day operations of the business must attend a Department approved liquor law training course or provide proof of attendance within the last five years. See page 2 of the Liquor Licensing requirements.

**SECTION 1** This application is for a:

- MORE THAN ONE LICENSE
- INTERIM PERMIT *Complete Section 5*
- NEW LICENSE *Complete Sections 2, 3, 4, 13, 14, 15, 16*
- PERSON TRANSFER (Bars & Liquor Stores ONLY)  
*Complete Sections 2, 3, 4, 11, 13, 15, 16*
- LOCATION TRANSFER (Bars and Liquor Stores ONLY)  
*Complete Sections 2, 3, 4, 12, 13, 15, 16*
- PROBATE/WILL ASSIGNMENT/DIVORCE DECREE  
*Complete Sections 2, 3, 4, 9, 13, 16 (fee not required)*
- GOVERNMENT *Complete Sections 2, 3, 4, 10, 13, 15, 16*

**SECTION 2** Type of ownership:

- J.T.W.R.O.S. *Complete Section 6*
- INDIVIDUAL *Complete Section 6*
- PARTNERSHIP *Complete Section 6*
- CORPORATION *Complete Section 7*
- LIMITED LIABILITY CO. *Complete Section 7*
- CLUB *Complete Section 8*
- GOVERNMENT *Complete Section 10*
- TRUST *Complete Section 6*
- OTHER (Explain) \_\_\_\_\_

\*12:00 PM 11 Liqueur Lic. PM 11/2009

**SECTION 3** Type of license and fees LICENSE #(s): 10103668

1. Type of License(s): Series 10

2. Total fees attached:

Department Use Only
\$ <u>200.00</u>

**APPLICATION FEE AND INTERIM PERMIT FEES (IF APPLICABLE) ARE NOT REFUNDABLE.**

**The fees allowed under A.R.S. 44-6852 will be charged for all dishonored checks.**

**SECTION 4** Applicant

1. Owner/Agent's Name: Mr. Nations Randy D.  
 (Insert one name ONLY to appear on license) Ms. \_\_\_\_\_ Last First Middle
2. Corp./Partnership/L.L.C.: SF Markets LLC (FN) B1048420  
 (Exactly as it appears on Articles of Inc. or Articles of Org.)
3. Business Name: Sprouts Farmers Market #11 B1033260  
 (Exactly as it appears on the exterior of premises)
4. Principal Street Location: 7665 N. Oracle Rd. Oro Valley Pima 85737  
 (Do not use PO Box Number) City County Zip
5. Business Phone: 520-297-5446 Daytime Contact: 480-813-1364
6. Is the business located within the incorporated limits of the above city or town?  YES  NO
7. Mailing Address: PO Box 2502 Chandler Arizona 85244  
 City State Zip
8. Price paid for license only bar, beer and wine, or liquor store: Type \_\_\_\_\_ \$ \_\_\_\_\_ Type \_\_\_\_\_ \$ \_\_\_\_\_

**DEPARTMENT USE ONLY**

Fees: 100.00 Application 100.00 Interim Permit \_\_\_\_\_ Agent Change \_\_\_\_\_ Club \_\_\_\_\_ Finger Prints \$ 200.00  
**TOTAL OF ALL FEES**

Is Arizona Statement of Citizenship & Alien Status For State Benefits complete?  YES  NO

Accepted by: EV Date: 9.11.12 Lic. # 10103668

## Beer & Wine Store (Series 10) With Sampling Privileges

Series 10 (beer and wine store) license applicants may apply for unlimited sampling privileges by completing the Sampling Privileges form. The Sampling Privileges form will require approval from local governing bodies; therefore the 105 day issuance timeframe will apply. Upon approval of Sampling Privileges, a new license with a "series 10S" designation will be issued to the licensee for display in a conspicuous, public area. The "series 10S" sampling privileges are not transferrable. Upon owner or location transfer of a series 10 (beer and wine store) license, all sampling privileges cease and the new owner of the series 10 (beer and wine store) license must apply for sampling privileges. "Series 10S" (beer and wine store with sampling privileges) licensees are required to comply with sampling regulations detailed in A.R.S.Â§4-206.01(J), 1 - 8. All other sampling may be conducted upon approval of a DLLC Sampling Request form, and compliance with A.R.S.Â§4-243(B) and R19-1-228 is required. Reference A.R.S.Â§4-206.01(J)



**Town Council Regular Session**

**Item # 10.**

**Meeting Date:** 01/16/2013  
**Requested by:** David Williams  
**Submitted By:** Patty Hayes, Development Infrastructure Services  
**Department:** Development Infrastructure Services

**Information**

**SUBJECT:**

REQUEST FOR APPROVAL OF A MASTER SIGN PROGRAM FOR THE SAN DORADO DEVELOPMENT LOCATED AT FIRST AVENUE AND ORACLE ROAD

**RECOMMENDATION:**

This request was considered by the Conceptual Design Review Board (CDRB) on December 11, 2012 and was recommended for approval subject to conditions in Attachment 1.

**EXECUTIVE SUMMARY:**

The Oro Valley Town Centre PAD and Zoning Code require the creation of a Master Sign Program for the San Dorado project prior to issuance of sign permits. The applicant has requested approval of a Master Sign Program (MSP) that will govern permanent signs within the development. A Master Sign Program allows developments to create sign standards that provide alternatives to the Zoning Code and provide latitude to achieve variety and good design.

This request was considered and recommended for approval by the CDRB. The CDRB staff report and draft minutes are included as Attachments 2 and 3.

**BACKGROUND OR DETAILED INFORMATION:**

The Zoning Code allows Master Sign Program (MSP) proposals to make adjustments to the standards (height, size, etc.) of the sign types to be used in the development. The Design Principles in the Zoning Code require sign colors, design and placement be complimentary and integral to the project's architectural and site design themes. The proposed MSP is a comprehensive document describing signs for San Dorado that use materials and colors compatible with the approved architecture and site design.

A detailed table providing a comparison of the proposed signs with the Zoning Code standards is included as Attachment 4. The complete Master Sign Program is included as Attachment 5. A summary table of key changes proposed to sign standards is included below:

**Requested Sign Modifications (see Attachment 4 for full listing)**

Item	Code	Request
<b>1. Monument Signs on Oracle Rd.</b> Number Height Size	2 (more with TC approval) 10' 72 sq. ft.	7 18' 106, 48 and 25 sq. ft.

<b>2. Wall sign illumination</b>	halo or internal; 2 building elevations	halo, internal and external; 3 building elevations
----------------------------------	--	---

### Conceptual Design Review Board

At the December 11, 2012 CDRB meeting discussion focused on the building wall sign size allowances and the height and lighting of the two larger monument signs at First Avenue. The proposed increase in the building wall sign maximum square foot allowance from 200 to 225 square feet was clarified in the meeting and would limit a single tenant who occupies a large frontage on one side of a building to 225 square feet versus 200 square feet. Lighting for the monument sign at First Avenue includes the use of halo, internal and ground lighting for separate elements of the sign.

The San Dorado Development is a 29 acre parcel within the Oro Valley Town Centre Planned Area Development as shown in Attachment 6. The Conceptual Site Plan and Architecture for a 274 unit apartment complex and nine commercial buildings was approved by Town Council on November 7, 2012.

### **FISCAL IMPACT:**

N/A

### **SUGGESTED MOTION:**

I MOVE to approve the Master Sign Program for San Dorado, subject to the conditions in Attachment 1, finding that:

- The Master Sign Program meets the applicable Design Principles and Design Standards.
- The Master Sign Program meets the Chapter 28 Master Sign Program criteria.

or

I MOVE to deny the Master Sign Program for San Dorado finding that:

- The proposal does not meet the Design Principles, Design Standards or Master Sign Program criteria.

---

### **Attachments**

[Attachment 1 Conditions of Approval](#)

[Attachment 2 CDRB Staff Report](#)

[Attachment 3 CDRB Draft Minutes](#)

[Attachment 4 Sign Comparison Table](#)

[Attachment 5 Proposed Master Sign Program](#)

[Attachment 6 Location Map](#)

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Attachment 1  
Conditions of Approval  
Master Sign Program for San Dorado

1. Limit internal illumination for cabinet type signs so only the logo and letters emit light.

TOWN OF ORO VALLEY

CONCEPTUAL DESIGN REVIEW BOARD

MEETING DATE: December 11, 2012

TO: CONCEPTUAL DESIGN REVIEW BOARD

FROM: Patty Hayes, Zoning Plans Examiner

SUBJECT: Review and recommendation of a Master Sign Program for San Dorado located on the east side of Oracle Road at 1<sup>st</sup> Avenue, OV312-009.

SUMMARY:

The applicant has submitted a proposed Master Sign Program (MSP) to establish sign standards for permanent signs in the San Dorado development. This property was previously referred to as the Oro Valley Town Centre and was zoned Planned Area Development (PAD) earlier this year. There are no specific sign standards established by the PAD, and therefore the provisions of the Zoning Code govern allowable signs within the development. As permitted by the Zoning Code, the applicant desires to establish a sign program specific to this development through the attached Master Sign Program.

A Master Sign Program is a set of proposed sign standards for a development that proposes alternatives to the Zoning Code, and is intended to provide latitude in order to achieve variety and good design. An MSP requires review and recommendation by the Conceptual Design Review Board (CDRB) and approval by the Town Council.

BACKGROUND:

Site Conditions

The subject property is an undeveloped 27.82 acre site with 12.09 acres of commercial uses and 15.73 acres of apartment use. The property has over 1/2 mile of Oracle Road frontage with four vehicular entrances off of Oracle Road. The Conceptual Site Plan and Conceptual Architecture Plan were recently approved by Town Council.

	Zoning	Land Use
West	Rooney Ranch PAD	Commercial developments including the Home Depot and Target Centers.
North	La Reserve PAD	Desert Pointe aka Fairwinds Retirement Community
East	La Reserve PAD	Multi Family Residential Single Family Residential
South	La Reserve PAD	Vacant land (possibly future hotel)

Proposal

- Provides for two Entryway signs and multiple Monument signs throughout the development.
- Establishes wall sign types and colors along with under canopy signs.

Process

Section 21.5.B of the Zoning Code provides that a Master Sign Program shall be reviewed by the CDRB for recommendation and approved by the Town Council prior to the issuance of a sign permit. The standards proposed in the Master Sign Program will regulate all allowable signs for this site.

Previous Project Approvals

- The Oro Valley Town Centre PAD was approved in April 2012.
- The San Dorado Conceptual Site Plan and Architecture Plan were approved by Town Council in November 2012.

**ZONING CODE COMPLIANCE**

- *Zoning Code Section 28.3.C.1, Various sign colors are permitted, except for fluorescent or iridescent colors.*

The attached MSP submitted by the applicant proposes the use of five (5) sign colors as shown in the color palette, Attachment 3, but will not use fluorescent or iridescent colors. The MSP will allow the use of national logos and colors. After further consideration, the applicant is in the process of expanding the color palette to include more variety in possible sign colors. It is anticipated that the expanded color palette will be received shortly and a supplemental transmittal will be sent to the CDRB addressing the new colors upon receipt of the applicant's submittal.

- *Zoning Code 28.2.B.4.a, Review of the Master Sign Program shall be guided by the overall character of the entire development, including landscaping, architecture, topography, uses, and design.*

Since this MSP is being created during the projects development stage the applicant has taken this opportunity to integrate signs into the site with formal landscape areas and lighting features. The sign structures use similar and/or complementary style, colors, materials and textures of the proposed buildings in the development.

- *Zoning Code 28.2.B.3.b, Master Sign Programs shall be based on the provisions of Chapter 28 and shall conform to the purpose and intent of this Chapter and to the Addendum A, Design Guidelines*

The applicant proposes to expand the standards for Multi-Tenant Monument Signs to permit entry sign information. The applicant has also proposed expanding the wall sign standards to allow tenants to provide for a custom type of under canopy sign as shown on page 13 of Attachment 3.

- *Zoning Code 28.2.B.3.c, Master Sign Programs shall include only those sign types permitted herein and may allow adjustments to the standards of those types, provided they are justifiable.*

A table comparing the proposed signs with the signs provided in the Zoning Code has been provided as Attachment 2.

**ANALYSIS OF CONCEPTUAL DESIGN REVIEW PRINCIPLES AND DESIGN STANDARDS**Conceptual Site Design Principles

The following Design Principles are notable for this application:

- *Zoning Code 22.9.D.5.b.iv, Sign colors, design and placement shall be complementary and integral to the project's architectural and site design themes.*

The proposed MSP establishes color, design and placement requirements which complement the project's architectural and design theme. Specifically, the MSP utilizes identical color and materials drawn from the approved color and material palette established within the Conceptual Architectural Plan.

#### Addendum A Design Standards

The following Design Standards are notable for this application:

- *Section 2.1.F.2, Project identification and sign elements shall incorporate architectural treatment and project unifying elements which are integrated with the overall design of the project in terms of style, materials, color and theme.*

The style, design, colors and materials utilized for the proposed project signs is consistent with the design theme, colors and materials to be used in the project architecture. The proposed signs will unify the design theme established by the building architecture.

- *Section 2.1.F. 4. Location and placement of building mounted signs shall be integrated into building architecture. Building signs shall be consistent in terms of materials and construction*

The buildings are planned with a designated area to allow adequate space for wall signs. These designated areas are positioned above and below architectural features of the buildings as shown in the applicants proposal, Attachment 3. The San Dorado Development is planned with buildings with more than one "frontage". The MSP proposes to allow tenants to provide building signage on multiple sides for identification for vehicular and pedestrian traffic from all angles.

- *Section 2.1.F.5. As feasible, sign colors shall utilize the project color palette approved as part of the Conceptual Design for the project.*

Colors selected for the monument signs are taken from the same color palette used for the buildings stucco, tiled roofs and stone elements.

#### **CONCLUSION/RECOMMENDATION:**

The CDRB should closely consider the design standards, highlighted herein, in evaluating the proposed Master Sign Program. The MSP should be recommended if the board finds compliance with these standards.

#### **SUGGESTED MOTION:**

The CDRB may wish to consider one of the following suggested motions:

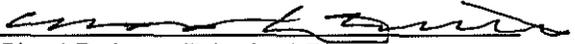
I move to approve OV312-009, a Master Sign Program for San Dorado, based on the finding that the proposed Master Sign Program, as conditioned, is in conformance with the applicable Zoning Code and Design Standards and Principles, subject to the conditions in Attachment 1 (with the following modifications \_\_\_\_\_.)

OR

I move to deny the Master Sign Program for San Dorado, based on the finding that the proposal does not meet the Design Principles and Standards, specifically \_\_\_\_\_.

#### **Attachments:**

1. Conditions of Approval
2. Table of Sign Comparisons
3. Proposed Master Sign Program
4. Location Map

  
Chad Daines, Principal Planner

S:\permplus\docs\OV312-009\Z\_CDRB Staff Report 12-11-12.doc

**MINUTES  
ORO VALLEY CONCEPTUAL DESIGN REVIEW BOARD  
REGULAR SESSION  
DECEMBER 11, 2012  
ORO VALLEY COUNCIL CHAMBERS  
11000 N. LA CAÑADA DRIVE**

**CALL TO ORDER AT OR AFTER 6:00 P.M.**

Chair Sakellar call the meeting to order at 6:02 P.M.

**ROLL CALL**

**PRESENT:** Dino Sakellar, Chair  
Gil Alexander, Member  
Harold Linton, Member  
Kit Donley, Member  
Nathan Basken, Member  
Richard Eggerding, Member

**ABSENT:** Adler, David, Member

**ALSO PRESENT:** Lou Waters, Councilmember  
Joe Hornat, Councilmember

**PLEDGE OF ALLEGIANCE**

Chair Sakellar led the audience in the Pledge of Allegiance.

**CALL TO AUDIENCE –**

There were no speaker requests.

2. **REVIEW AND RECOMMENDATION OF A MASTER SIGN PROGRAM FOR SAN DORADO LOCATED ON THE EAST SIDE OF ORACLE ROAD AT 1ST AVENUE, OV312-009**

Patty Hayes, Zoning Plans Examiner, presented the following:

- Master Sign Program
- Master Sign Program Process
- Location Map
- San Dorado Site Plan
- MSP Sign Site Plan

- Entry & Multi-Tenant Sign
- Multi-Tenant Signs
- Single Tenant Signs
- Interior Directional Signs
- Apartment Entry Sign
- Monument Sign Summary
- Cabinets
- Building Mounted Wall Signs
- Under Canopy and Thematic Wall Signs
- Wall Lighting
- Combination Halo and Internally Illuminated Wall Sign
- Proposed Palette
- Wall Sign Summary
- Attachment 1 Condition

Brad Anderson, representing the property ownership, along with Ray Giannini from Pearson Signs, presented the following:

- Master Site Plan
- Entry Monuments
- Multi-Tenants Signs
- Multi-Family Sign
- Directional Signage
- Tenant Signage
- Questions

**MOTION:** A motion was made by Richard Eggerding, Member and seconded by Gil Alexander, Member to approve OV312-009, a Master Sign Program for San Dorado, based on the finding that the proposed Master Sign Program, as conditioned, is in conformance with the applicable Zoning Code and Design Standards and Principles, subject to the conditions in Attachment 1.

Member Alexander offered a friendly amendment to include logo and letters to attachment 1, number 1. Friendly amendment was accepted by Member Eggerding.

**MOTION** carried, 6-0.

## Attachment 4 Comparison of proposed Monument Signs to the Zoning Code

Sign type		Location		Quantity		Size		Illumination		Notes
MSP sign type	Zoning Code sign type equivalent	Proposed	Code	Proposed	Code	Proposed Height/Square Feet	Code	Proposed	Code	
A1 Entry Gateway	Entryway Sign	At main entry	Same	2	2	18'/106	6'/32	Ground, halo and internal	Direct, halo, internal or combo	1
B1-Multi-tenant ID	Monument Sign	At secondary entrance and along frontage	At entrance or along frontage	5	2 or more for frontages greater than 800'	10'/48	10'/72	Internal	Internal	
B2 Single Tenant ID	Monument Sign	Internal to site on 1 <sup>st</sup> Ave	At entrance or along frontage	2	2 or more for frontages greater than 800'	6'/25	10'/72	Internal	Internal	2
C Multi-Family ID	Entryway Sign	At entrance to aprtmts	At entrance to aprtmts	1	1	6'/25	6'/32	Ground	Direct	3
D1 Directory	Directory	Interior	Interior	2	As needed and approved	8'/50	8'/40	No lighting	Internal	
D2 Directional	Directional	Interior	Interior	TBD	1 per business	4'/6	3'/6'	No lighting	Internal	
D3 Pedestrian Directional	Directory	Interior	Interior	1	As needed and approved	6'/2	8'/40	No lighting	Internal	4
E Menu	Menu Board	At drive-through	At drive-through	2	2	6'/32	6'/32	Internal	Internal	

Notes:

1. This sign combines an Entryway Sign with a Multi-Tenant Monument Sign which accounts for the larger square footage.
2. The B2 signs placed on the First Ave frontage which is a short street but it provides more than one entrance into separate sections of the project.
3. Direct lighting and ground lighting are the same type of lighting just named differently in the code vs. the MSP.
4. Applicant proposes pedestrian directionals for guidance to the Rooney Wash path and Civic space

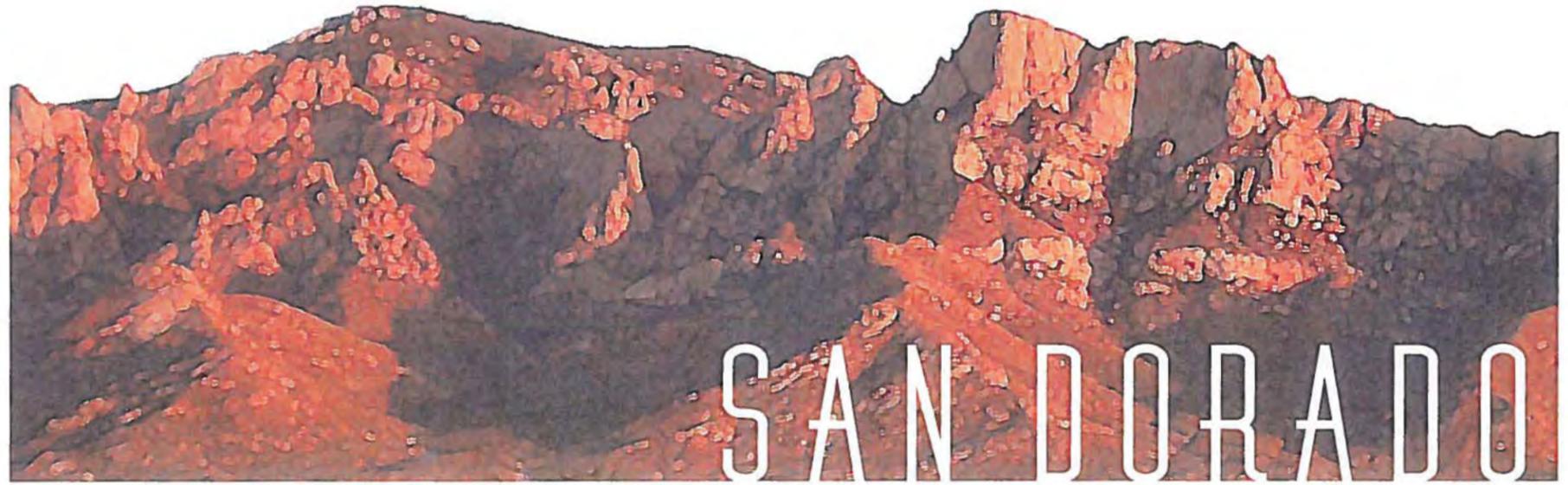
## Comparison of proposed Building Signs to the Zoning Code

Sign type		Location		Quantity		Size		Illumination		Notes
MSP sign type	Zoning Code sign type equivalent	Proposed	Code	Proposed	Code	Proposed size	Code	Proposed	Code	
PAD Tenants & Shops	Wall Signs	On tenant space	On tenant space	3	3	1' or 1.5' per 1 of frontage. See note 2.	Same	Halo, Internal, Direct or Combo	Halo or internal	1,2,3,4
Arcade/Shingle	Under Canopy	Front tenant space	Front tenant space	1 per public entry	1	4 sq ft	4 sq ft	None	None	

1. MSP allows a maximum wall sign of 225 square feet is linear frontage allows. Code limits to 200 square feet.
2. Applicant proposes to allow halo and internal illumination on the same sign and wall mounted lights. The Lighting Code does not allow wall mounted lights over 9' in height.
3. The applicant has proposed to expand the use of their wall signs to include letters that may project 12 inches from the wall and allow cabinet signs to project 18" from the wall. The applicant also wishes to allow "Custom Wall Unit Signs" and "Projecting Signs" as shown on page 13.
  - The Code limits wall sign projections to 8" and prohibits Projecting Signs which are defined as signs that project more than 12" from the wall.
4. The applicant proposes to allow the use of cabinet signs while the code limits cabinets to use of logos only.

Oro Valley Zoning Code 28.2.B.3 defines a Master Sign Program as:

- a. A set of proposed sign standards for a development that proposed alternatives to the provisions of this Chapter, and is intended to provide latitude in order to achieve variety and good design.
- b. Master Sign Programs shall be based on the provisions of this Chapter and shall conform to the purpose and intent of this Chapter and to the Addendum A, Design Guidelines.
- c. Master Sign Programs shall include only those sign types permitted herein and may allow adjustments to the standards of those types, provided they are justifiable.



Master Signage Program | November 21, 2012

Prepared for



1707 East Highland Avenue #100  
Phoenix, Arizona 85016  
(602) 264-4411

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SAN DORADO

# Comprehensive Signage Program

## PROJECT HISTORY

### Site Planning and Design

San Dorado is a 27±-acre mixed use development which will include a Mark Taylor multi-family housing, office space, public gathering areas and 40,000± of retail space. It is situated on a triangular piece of property, cut in half by 1st Avenue and the back side lined by the Rooney Wash.

Even though the frontage along Oracle Road stretches for 2750 feet, the internal layout of the three uses will create a pedestrian-oriented project that will encourage the 'live-work-play' atmosphere for those living there. However, location on the busiest street through the town, and as a designated state highway, the need for adequate signage for tenant recognition and safe traffic flow into the site. This will require the signage along the road to be designed for vehicular design strategies. In short, the project site is located at the center of Oro Valley's business and transportation corridors.

San Dorado represents 27 acres. It has 128,000± square feet of residences, 40,280 of retail and restaurant space, and 19,750 of future office opportunities. The retail will be anchored with two national tenants.

### Design Concept

Freestanding signs are "excerpts" of architectural components of the building theme and materials. Instead of mini buildings, the freestanding monuments become statements in the environment. Architectural and textured walls that create simple expression for the project identification. Accent elements and materials are used for tenant identification areas for both retail, residential and future office. Each combination of wall and accent is integrated into the site with simple, yet formal landscaped areas and lighting features.

All signage elements focus on a simple vocabulary of materials – rock, steel, mass of materials, planting, lighting and colors. Combined with the graphic materials of aluminum with a "corten steel" like finish, dimensional lettering and logo treatments, signage becomes representative of established brands within the overall design theme and palettes. Variations in design distinguish the different uses on the site – through simplicity – not over designed or cluttered with details.

### Functional Requirements

As a local retail center, signage for identification and recognition to customers is inter-dependant on high profile signage to support high sales volumes.

The sign package has been designed to provide a hierarchy of elements to meet the spectrum of functional signage needs, from identification to the pedestrian experience approaching the front door, as follows:

### Signage Types

#### Entry Way Monumentation

In addition to identity for the center, it is essential to identify the major tenants on the monuments that flank the main entries to the mixed use project site.

#### Street-level Identity

Monument signs will be provided along the frontages of Oracle Road and 1st avenue which identify the various projects and tenants. Two tenant identification types of monument signs are used. A single tenant monument which identifies the primary road entrance to the pad users. And multi-tenant monuments at secondary entrances to the retail sites, identifying the in-line users.

### Site Wayfinding

The stipulations on creating a 360° architecture, locating closer to the street than other sites, shortens the "cueing" throughout the site and the viewing allows the driver to have time to visually locate their destination. Vehicular oriented directory and directional signs will be provided along internal roadways and driveways at necessary decision points to assist in quicker navigation of the site.

Adjacent to Oracle and 1st Avenue, pedestrian directionals to the public space and canal trail system will be installed to provide assistance.

### Tenant Identification Signs

Building signage will be allowed on the fronts and rear elevations of the business due to the dual loaded site design. In addition to building mounted signage, projecting, canopy and/or awning-mounted signs will also be allowed for each business where appropriate for the architecture and viewing opportunities.

### Menu Boards

(Not shown on the plans at this time) For drive-through restaurants, ordering and menu boards will be provided along the drive-through lanes. These are designed and provided by each of the individual users needs, based on the allocations found in the sign matrix.

### Pedestrian Signs

Pedestrian-oriented window signs will be used to identify businesses and to provide information related to the business, such as hours of operation and emergency telephone numbers.

Shingle signs are also allowed, but not required. Shingle signs will be at the discretion of the tenant within the signage matrix outline.

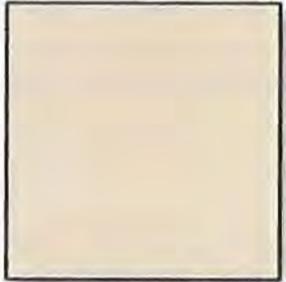
## Color/Material Palettes



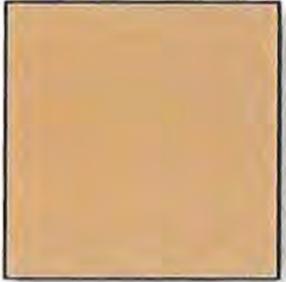
Powder Coat "Rust"



Matthews Silver



Dunn Edwards  
Nomatic Taupe  
DE 6192 LRV 53



Dunn Edwards  
New Cork  
DE 6180 LRV 33



ALUMINUM  
STOREFRONT  
Dark Bronze



Gabion Rock Walls

# SAN DORADO

## Freestanding Signage Hierarchy



A1 - Primary Entry Monument



B1 - Multi-Tenant Monument (Retail)

B2- Single Tenant Monument (Retail)

C- Residential Monument

D1- Vehicular Directory  
D2 - Vehicular Directional

D3 - Pedestrian Directional

### Freestanding Signage Matrix

SIGN TYPE	LOCATION	QTY	SQUARE FOOTAGE / CALCULATIONS	TOTAL S.F.	ILLUMINATION	MATERIALS
A1 - Entry Gateway Monuments	Oracle Road and 1st Avenue	2	18' tall max / 72 s.f. - One (1) per street side	142	Indirect, Internal and Backlit	Metal panels with routed-push through text and dimensional logo shape and individual letters
B1 - Multi Tenant Identity	Oracle Road	5	10' tall max / 48 s.f. each	240	Internal	Metal panels with routed-push through text and dimensional logos. Individual letters on metal sign cabinet.
B2 - Single Tenant Identity	Oracle Road and 1st Avenue	3	6' tall / 25 s.f.	75	Internal	Metal panels with routed-push through text and dimensional logos. Individual letters on metal sign cabinet.
C - Multi-Family Identity	1st Avenue	1	6' tall / 25 s.f.	25	External ground mounted uplights	Individual letters stud mounted to background.
D1 - Directory	At entry off 1st Avenue	2	8' tall / 50 s.f.	100	Non-illuminated	Metal panels with vinyl graphics
D2 - Directionals	On specific sites	TBD	4' tall / 6 s.f.	NA	Non-illuminated	Metal panels with vinyl graphics
D3 - Pedestrian Directional	1st Avenue	1	6' tall / 2 s.f.	NA	Non-illuminated	Metal panels with vinyl graphics
E - Menu Boards (Not shown on location map)	Throughout site interior where needed	2 per site (as reqd)	6' tall max / 32 s.f.	N/A	Internal	Per graphic and architectural standards of tenants branding
<b>TOTAL SQUARE FOOTAGES (AGGREGATE SIGNAGE USAGE)</b>				<b>582</b>		

# SAN DORADO

## Signage Location Plan

Signage locations have been defined based on the lineal front footage of the overall project and per the signage types defined in the Oro Valley Signage Code. These are shown in the calculation matrix on the previous page.

Locations, sizes and quantities illustrate the maximum allowed for the site. Total signage to be fabricated and installed shall be at the discretion of the owner based on tenant requests and the economic conditions.



- A1 Entry Gateways Monuments
- ▭ B1- Multi-tenant Monuments
- B2- Single Tenant Monuments
- C1 - Multi-Family Monument
- ▼ D1 - Directory
- ▲ D2 - Directionals
- ⬡ Menu Boards (shown on site as typical - not specific)
- ★ Pedestrian Directionals

### SITE DATA - COMMERCIAL

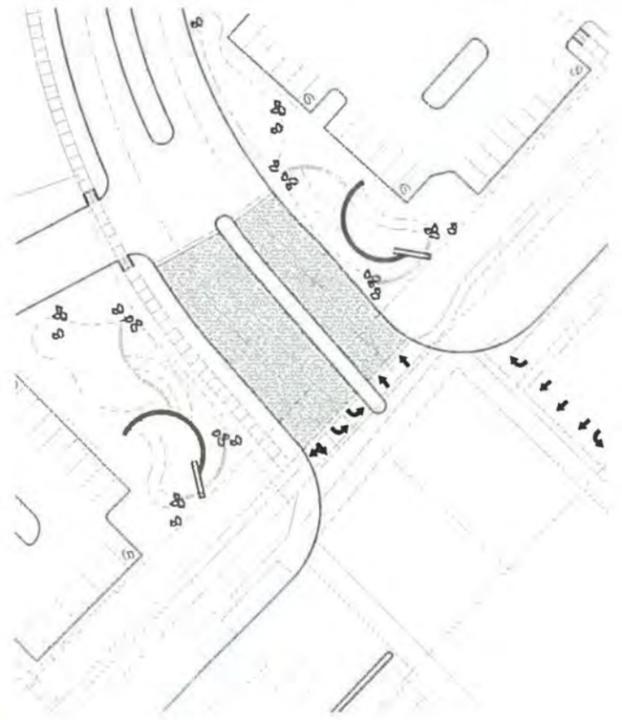
SITE AREA, NET :	526,758 s.f. (12.09 Ac.)
TOTAL BUILDING AREA:	66,880 s.f.
F.A.R.:	.13 (16 WITH G4H AS 2 STORY)
PARKING PROVIDED:	386 Spaces
PARKING RATIO:	5.71/1000

### SITE DATA - RESIDENTIAL

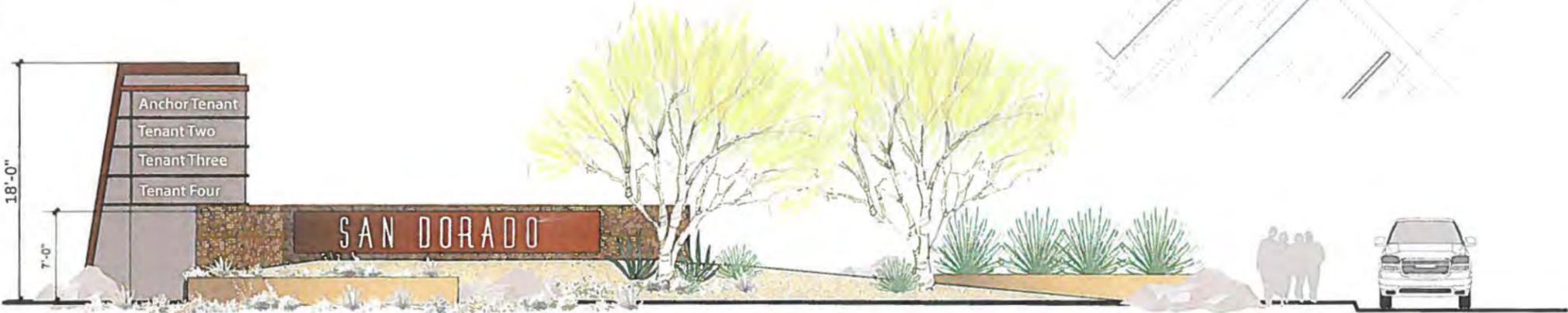
Site Area, Net :	685,297 s.f. (15.73 Ac.)
Total Building Area:	374,917 s.f.
Multi-Family Units:	275 2-Story 4 3-Story Units
Total Building Footprint:	128,050 s.f.
% Coverage:	18.68%
Density:	18 du/Ac.
Parking Provided:	538 Spaces
Parking Ratio:	1.95 ps/du

**A1- Project Identification  
(at Main Entrance)**

Oracle Road and 1st Avenue project identification with major tenant signage elements flanking the entry point. Signage is incorporated into the architecturally themed landscape walls and formal planting.



- Materials: Steel and rock gabian wall background with Corten steel look finished aluminum
- Construction: "San Dorado" - individual pan channel letters, aluminum sides and white faces
- Height: Project ID - 7'-0"  
Tenants - 18'-0"
- Letter Height: Project ID - 28"  
Tenants - 9"
- Sign Area: Project ID - 2'-4"x 15'-0" / 36 s.f.  
Tenants - 8'-4"x 8'-6" / 70 s.f.
- Colors: Panel: Rusted Steel  
Letters: Brushed Aluminum  
Lights: white
- Illumination: SAN DORADO lettering - External ground uplights and halo backlit  
Tenant panels - Internal



# SAN DORADO

## B - Tenant Monumentation

Tenant monuments to be located along roadways at major project entry drives or single tenant building entry drives to assist in wayfinding and identification.

Each tenant monument sign includes the name of the project/development and address where applicable to the entry.

### Construction

Materials: Aluminum cabinets and tenant panels, with vertical gabion caged stone pillars and aluminum posts

### Project Identification

Project ID: **San Dorado** to be individual letters routed from background with acrylic push-thru

Colors: Cabinets - Rusted steel  
Lettering - White  
Posts/gabions - to match Terra Cotta Tile

### Tenant Panels

Materials: Aluminum tenant panels with painted non-directional finish, routed copy with push-thru acrylic

Color: Panels - Matthews Silver

Graphics - Per tenant corporate standard colors and logo/letter style

Illumination: Internal

## B1 - Multi-Tenant Identification

Located along Oracle Road for multi-tenant identification of retail and future office tenants.

Height: 10'-8" to top of sign panel  
(1 per first 300 feet of street frontage)

Sign Area: Project ID - 8 1/2" x 4'-0" / 2.6 s.f.  
Tenants - 6'-8" x 6'-0" / 40 s.f.



## B2 - Single-Tenant Identification

Located along Oracle Road for and 1st Avenue for single tenants primary entry for identification of retail tenants.

Height: 6'-0" to top of sign panel  
(1 per first 300 feet of street frontage)

Sign Area: Project ID - 8 1/2" x 4'-0" / 2.6 s.f.  
Tenants - 3'-2" x 8'-0" / 25 s.f.



### C - Multi-Family Monument

Entry Monument located along 1st Avenue within the project. This sign type is a "brand" style for all Mark Taylor developments and complements the southwest architectural style of the residences.

**Construction**

Materials: Aluminum cabinets, masonry bases and Corten steel look post and beam architectural embellishments.

Height / Area: Max. of 6'-0"

Sign Area: Project ID - 3'-0"x 8'-2" / 25 s.f.

Letter Height: 11"

**Project Identification**

Letters: Flat cut out aluminum letters stud mounted to background wall

Color: Painted, Dark rusticated finish

Graphics: Final lettering typeface and numbers to be determined by owner.

**Illumination** External ground mounted uplights



Sign Location Elevation • NTS



# SAN DORADO

## D - Directory/Directionals

Directional signs shall be located along interior roadways as required to assist in wayfinding.

### Construction

**Materials:** Aluminum cabinets, Corten steel look finished backer cabinets with aluminum directional panels and painted aluminum support posts.

**Colors:** Cabinets - Rusted steel  
Panels - Matthews Silver  
Posts - To match terracotta tile  
Lettering - Black reflective

**Illumination:** Non-illuminated

## D1 - Directory

Located along Oracle Road for multi-tenant identification of retail and future office tenants.

Height: 8'-0" to top of sign panel

Sign Area: Panels - 5'-8" x 3'-2" / 20 s.f.

Letter Height: 3"

## D2 - Directionals

Located throughout the retail portion of the project as needed.

Height: 4'-0" to top of sign panel

Sign Area: Panels - 4'-2" x 3'-2" / 5.8 s.f.

Letter Height: 3"

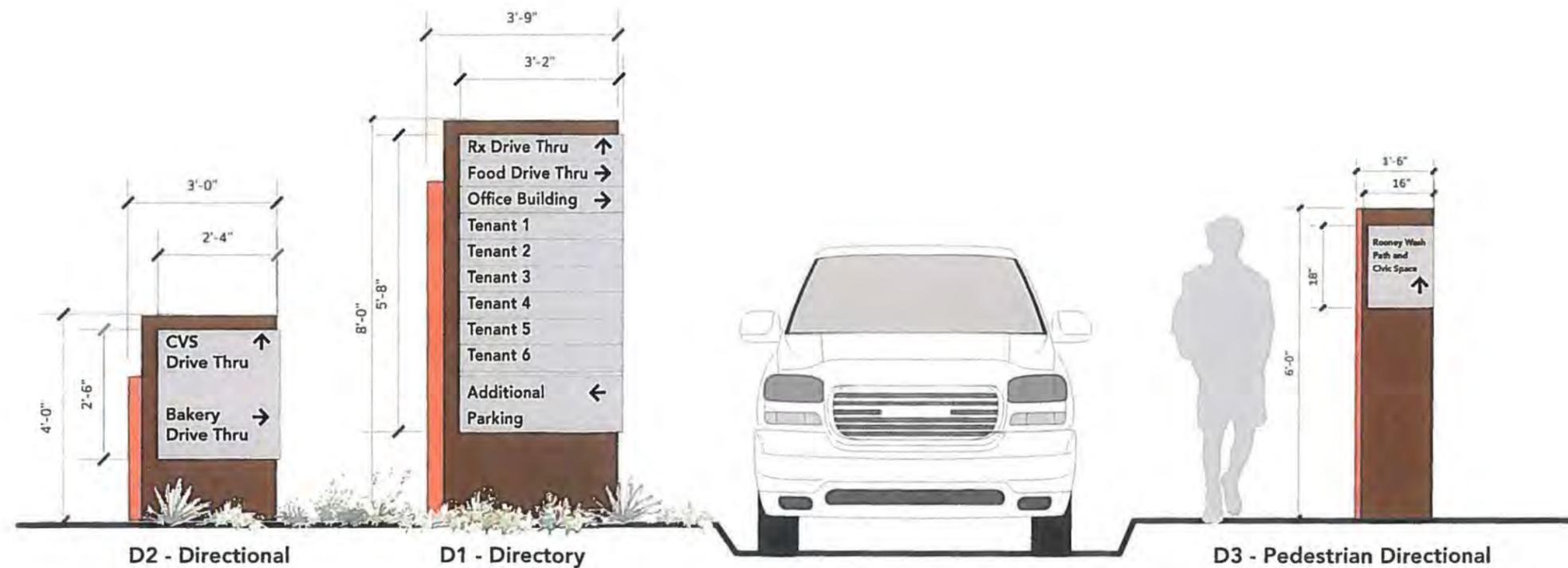
## D3 - Pedestrian Directionals

Located along 1st Avenue to direct pedestrians and cyclist to the wash trail and civic space.

Height: 6'-0" to top of sign panel

Sign Area: Panels - 18" x 16"

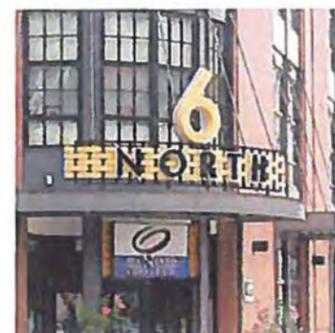
Letter Height: 1.5"



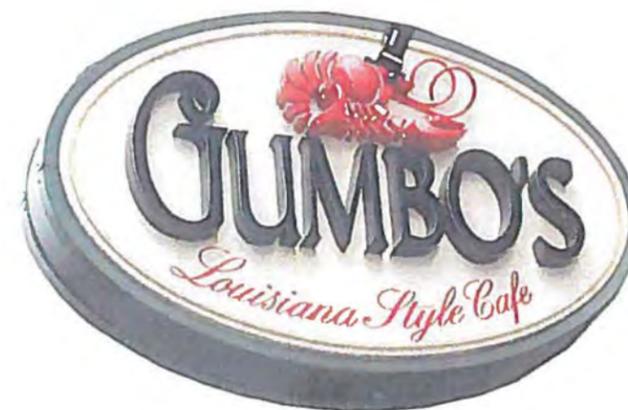
Fascia/Wall Mounted Signs



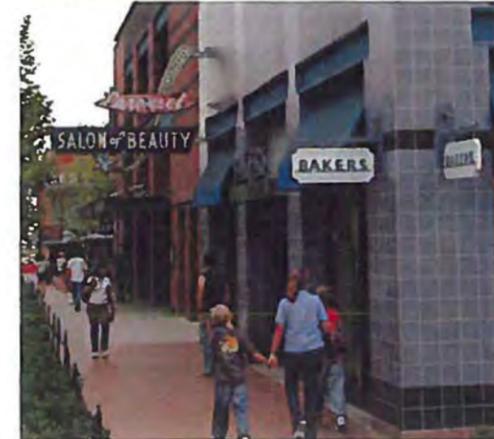
Awning / Canopy Signs



Custom Wall Unit Signs



Projecting Signs



Arcade / Shingle Signs



## Tenant Signage Design Standards

All Tenants must have storefront signs fabricated from either individual pan-channel, reverse pan-channel letters and logos, dimensional cut out or cast panels, projecting and/or "custom" cabinets.

Creative designs, forms, and the use of "custom" cabinet signs are encouraged (see the following pages for examples). Unless as part of a nationally registered and/or trademarked logo, rectangular shaped cabinets are strictly prohibited.

Square footages for tenant identification per the matrix may be reduced based on the locations and specific building conditions.

### Design Approval

All signs, including under canopy blade, window and back-door signage designs and layouts will be approved on an individual basis by the Developer prior to permit application to ensure a level of quality and aesthetics for the project.

# SAN DORADO

## Tenant Wall Signage Matrix

TENANT SIGNS	LOCATIONS	QTY	SQUARE FOOTAGE CALCULATIONS	INDIVIDUAL MAXIMUM LETTER HT	ILLUMINATION	MATERIALS
Pad Tenants (freestanding)	Three elevations that offer readability - including rear elevations	Min. 1 / Max. 3 per tenant	For building elevations containing wall signs, a sign may be a minimum of twenty-four (24) square feet, with no single wall sign containing more than one (1) square foot of sign for each linear foot of building frontage, for a maximum sign area of one hundred fifty (150) square feet.	72" Maximum	Internally illuminated, halo backlit, LED's or other equal sources to create a silhouette, indirect down lights and/or combination of lighting methods mentioned herein.	Aluminum, acrylic, painted metal,
Shops (freestanding bldgs) Shops (in-line)	Three elevations that offer readability - including rear elevations	Min. 1 / Max. 3 per tenant	Wall signs for building elevations further than three hundred (300) feet from the street may contain no more than one and one-half (1-1/2) square feet of sign area for each linear foot of frontage, for a maximum sign area of two hundred (225) square feet.	72" Maximum		Aluminum, acrylic, painted metal,
Office Building	TBD	TBD		TBD	Halo backlit	Metal
All Tenants Arcade / Shingles	Under canopy areas only in front of tenant's leased space. Maintain 9' clearance AFF	1 per public entry	4 s.f. Maximum	NA	Non-illuminated	Aluminum, acrylic, painted metal, vinyl graphics
Window Graphics (This is a compilation per Oro Valley Code)	Business Name  Hours of Operation  Sign Band: for displaying either the name of the business or logo in multiple successions.  Display Area: The display area shall be located on the first immediate window to the right or left of the entrance door	1 per frontage	Maximum two (2) square feet  Maximum of one (1) square foot  No higher than the midpoint of the overall height of the windows from grade.  Maximum of six (6) square feet. Business and/or tenants with building frontage in excess of forty (40) feet may have one (1) additional display area.  *Note: if entrance door cannot be utilized, then the sign may be located where it will not interfere with any other sign types, under this provision.	2" high  Copy may not exceed fifty percent (50%) of the total band length	Non-illuminated except for "open" and "closed" signs	Vinyl, paint, gold-leafing, or 3-dimensional manequins or graphics for display
Temporary Signs	On site		For all temporary signage - refer to <b>Section 28.6 Temporary Signs</b> of the Oro Valley Sign Code.			

**Brand Identity**

Copy and/or logos utilized shall be Tenant's choice, subject to the approval of Developer and/or Developer's agents prior to submittal for permitting through the Town of Oro Valley.

All national retailers shall be permitted to utilize their standard corporate identification programs subject to sign area limitations contained in the approved Comprehensive Sign Plan wall signage matrix.

No tenant signage will be allowed to be dominated by the service/or product it provides, nor be the "tenant Identification".

**NAIL SALON**

Bold and blocky san serif as service ID only - not allowed



San serif font used with a name and style - allowed



SALLEY HANSON • LOREAL • LANCOME

**Colors**

Letter face colors are limited to the standards plexiglas and or acrylic color standards (See attached color brochure) with the exception that no fluorescent colors will be allowed. Trim Caps for pan channels must match either letter face or standard duranodic dark bronze return color to match store front finish.

For National Tenants, additional colors for faces, returns and retainers may be per corporate standards after review and approval by Owner and/or Owners Representative.

**Sign Area Calculation**

See matrix for individual sizes and restrictions. A sign mounted on a delineated background panel or area distinctively painted, textured or constructed that integrates with the signage and/or is colored from the tenants corporate standards colors shall be counted as part of the signage area ( See exhibit A).

Calculation of sign area shall be the area within the smallest rectangle to enclose all elements of the graphics, and or two when an icon is separate from the text. (See exhibit B).

**Height and Length Calculation**

In no event shall any sign exceed eighty (80%) percent of the building elevation and/or wall surface upon which it is placed. The available surface area of the architectural sign area shall regulate letter height not exceeding 80% vertical height. (See exhibit C)

A minimum of 1/2 the letter height line spacing shall be used between all multiple lines of signage layouts.

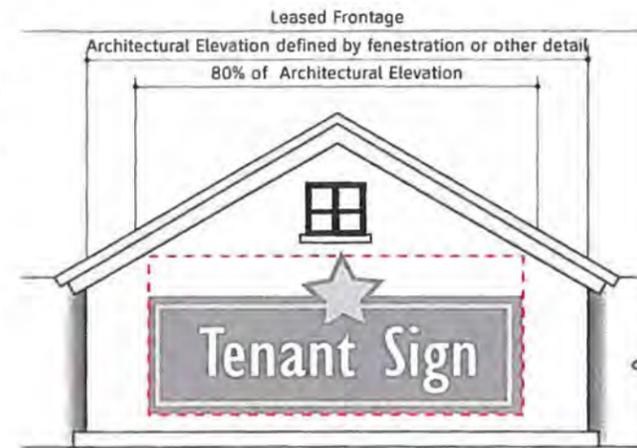


Exhibit A - Panel Calculation



$(H) \times (W) = \text{square footage}$

Exhibit B - Letter Calculation

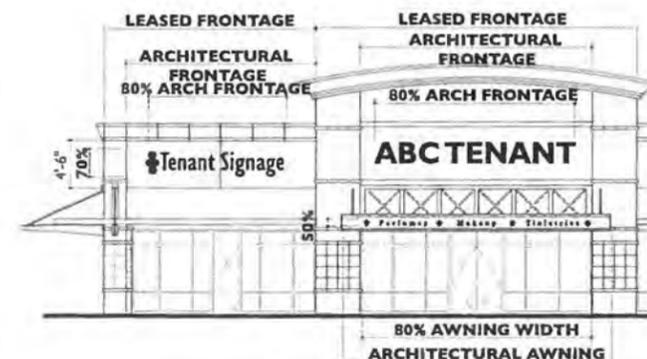


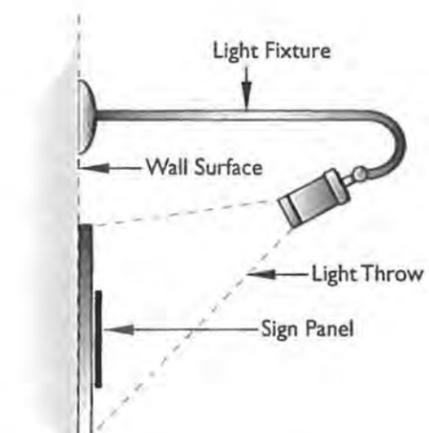
Exhibit C - Height and Length Calculation

**Illumination**

Tenant building signage may be internally illuminated, halo backlit with neon, LED's or other equal sources to create a silhouette, and/ or combination of lighting methods mentioned herein.

For National Tenants and specially approved non-internally illuminated applications, supplemental lighting may be provided for appropriate signage recognition. The supplemental lighting must be incorporated into the facade or wall design either as a concealed feature, design element, or architecturally approved fixture (i.e. decorative accent fixtures, pin down lights, goosenecks, architectural finished cabinets, etc).

Lighting source may include flourescents or LED's and various forms and shapes. Lighting components are not strictly specified. Designs shall be approved by the Owner.



The use of LED's is highly encouraged for energy economics and good "green" building practices. If LED's are used, white GE should be used to ensure color and light metrics provide the best use of materials and resources and consistency.

R&H	Pantone / CYRO	R&H	Pantone / CYRO	R&H	Pantone / CYRO	R&H	Pantone / CYRO	R&H	Pantone / CYRO
2037	Yellow C, 407-2	2115	485	2114	288,605-0	2308	321	2025	Black C, 199-0
2325	106	2283	485,211-1	2329	298	2407	334	7328	-- ,015-2
2465	109	2157	485,205-0	2069	2995	2030	3435	2540	400
2016	123	2793	187,278-0	2287	2627	2108	354,506-1	2094	416
2564	1375	2262	186	2050	280	2024	356	2540	354
2422	151	2415	200	2051	300,607-1		3305,5200-0	2404	404
2119	166	2418	4625					2514	414
3158	1777	2423	202					2539	453
2086	177	2085	232					2146	461

# SAN DORADO

## Tenant Identification Signs



Wall mounted signage is any sign placed or applied directly against a bearing and/or non-bearing wall connected to a building structure, with the exposed face of the sign in a plane approximately parallel to the plane of the wall. Signage shall be allowed to project outward from the wall not more than twelve (12) inches for individual letters, or eighteen (18) inches for custom cabinet signs. Signage may be placed on three elevations.

### Internally Illuminated Letters

The use of a standard or typical pan channel or reverse pan channel letters shall conform to the minimum fabrication standards below.

Returns: minimum of .050 aluminum with a full welded seams.

Faces:

Pan channels - Minimum 1/8", solid color or high quality translucent film.  
No painted finishes will be allowed.

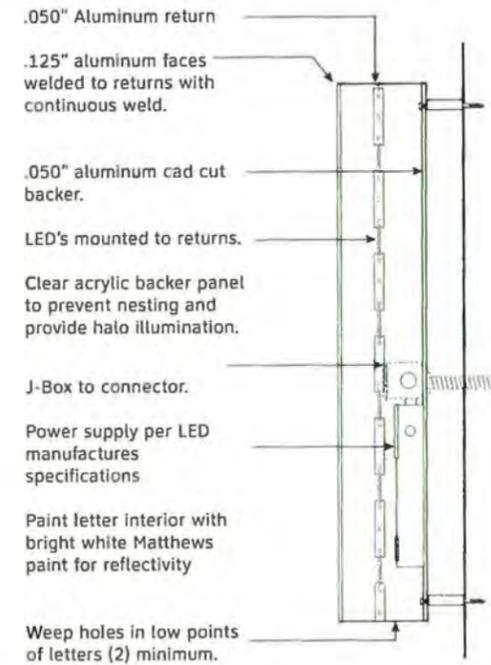
Reverse pan channel letter faces must be a minimum of 1/8" thick aluminum.

Self-contained letter construction is highly recommended where possible to prevent nesting in the backs. No visible raceways are permitted.

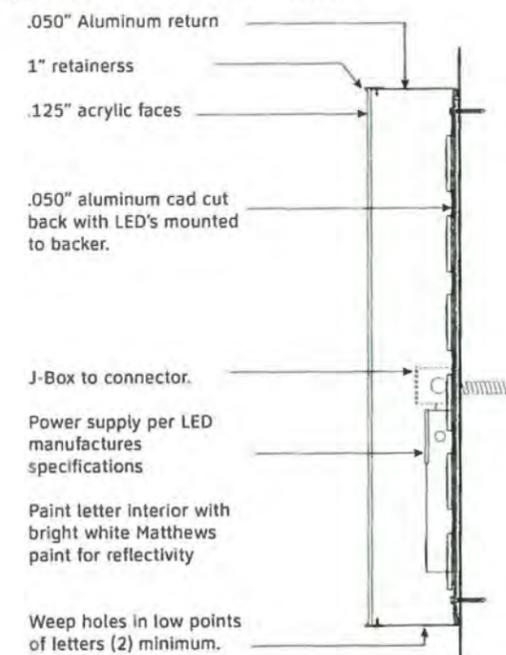
### Illumination

Signs may be internally, externally, indirectly, or a combination thereof. When internal or halo illuminated, the use of GE LED's is the preferred method.

### Typical Reverse Pan Channel Letter With Halo Illumination



### Typical Pan Channel Letter



### Dimensional Letters



Typically cut or cast from all metals, usually aluminum and bronze, or resin composite with specialty finishes, or stone. Other materials may be considered based on the use within the design.

Dimensional letters or graphics less than 1/4" thick will not be permitted. The type of metal and the design of the typography shall be taken into consideration for the minimum depth of material used.

Traditionally mounted or pin mounted to the face of the Storefront area or Base Building façade with external, indirect illumination.

Pin mounted depth should be a maximum of 1" off fascia (based on graphic size) to prevent intense shadowing and illegibility.

Pin mounts shall be located in the least visible location to support the letters. Pin mounts visible within the one-inch dimension between the background surface and the back of the letters shall be painted to match the background surface or to visually disappear.

Flush mounted signs shall use stud or pin mount hardware with silicone fill into pre drilled mounting holes.

### Thin Profile Panels



Designs must be dimensional in nature and respond to the building facade design.

Thin profile panel and cast plaques must be of quality metals and finishes. Signs located at pedestrian levels shall be a maximum of 4 inches deep and ease all edges to ensure ADA compliant requirement and to prevent nicks, cuts or scrapes.

Faces must be opaque and contrasting in color, texture, or material from one another to create depth and dimension. The maximum depth of the cabinet is twelve inches (12") from the wall or sign band behind when installed above 80" on the wall.

Routed metal panels of custom shapes lettering, typically indirectly illuminated but can be internally and halo backlit based on the overall design.

**Custom Wall Unit Signs**



These sign types are multiple layered and sided in design with a mix of opaque, translucent backgrounds and various types of lettering, and illumination methods, fabricated as single units.

Unless part of a nationally registered and/or trademarked logo, rectangular shaped designs are prohibited without Owner's overriding approval.

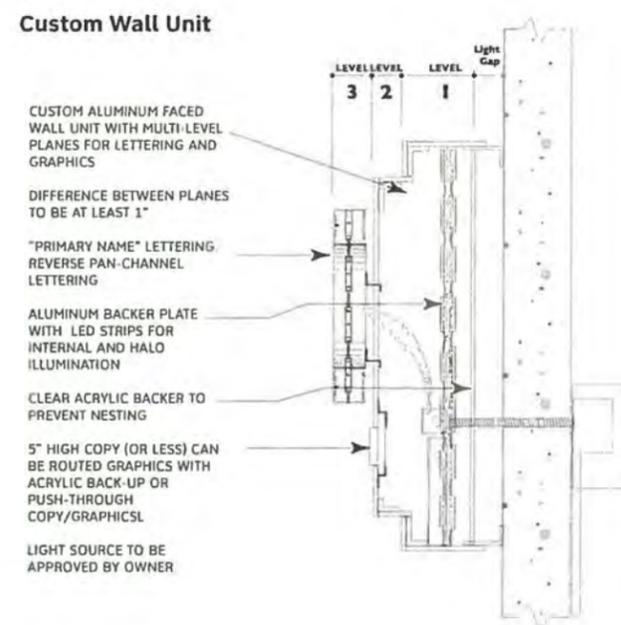
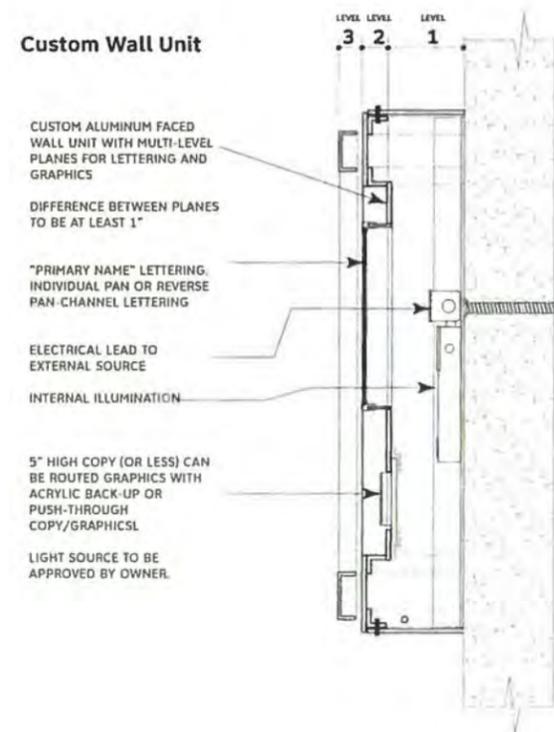
**Construction**

Custom Wall Unit signs are required to have the primary name to be dimensional letters on opaque backgrounds.

Secondary copy less than 5" can be internally illuminated as a routed and push through acrylic process.

**Illumination**

Custom Wall Unit signs may be internally, externally, indirectly, or a combination thereof. When Custom Wall Unit signs are used, the background surface(s) adjacent to the sign should be halo illuminated as well to provide definition of the signs' shape.



**Projecting Signs**

These sign types can be known as marquee or flag-mounted signs, which are double faced and mounted perpendicular to the building front.

Design must include multiple layers with a mix of opaque, translucent backgrounds and various types of lettering, and illumination methods, fabricated as a single unit.

Creative designs and forms are encouraged. Unless part of a nationally registered and/or trademarked logo, rectangular shaped designs are prohibited without Owner's overriding approval.

**Construction**

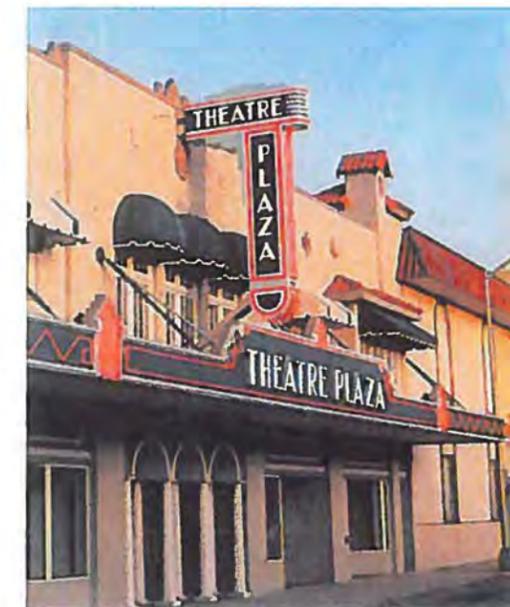
Projecting signs will require the coordination of the architectural drawings for structural integrity. Materials used should be light in weight yet withhold required wind loads for signage.

Added structural design and physical requirements to accommodate 3-D signage installations will be at the tenant's expense.

**Illumination**

Projecting signs may be internally, externally, indirectly, or a combination thereof.

No movement, chasing or flashing lights will be allowed.



# SAN DORADO

## Pedestrian Oriented Signs

### Arcade / Shingle Signs

Under pedestrian arcade/canopy areas, tenants may have one (1) arcade sign located at the primary entry. Tenants with more than one public entry will be allowed a maximum of two (2) arcade signs only if the entries are on different elevations. Both shall be of the same design and construction. The tenant shall be allowed to create their own unique panel appropriate to the store front and their recognized corporate identity and design theme, subject to Owner's approval.

Each Tenant will use a their own design, with approval from the owner prior to permit application. For cost efficiencies and design/construction uniformity, all under canopy blade signs will be manufactured by the Owner/Landlord's project sign contractor.

### Construction

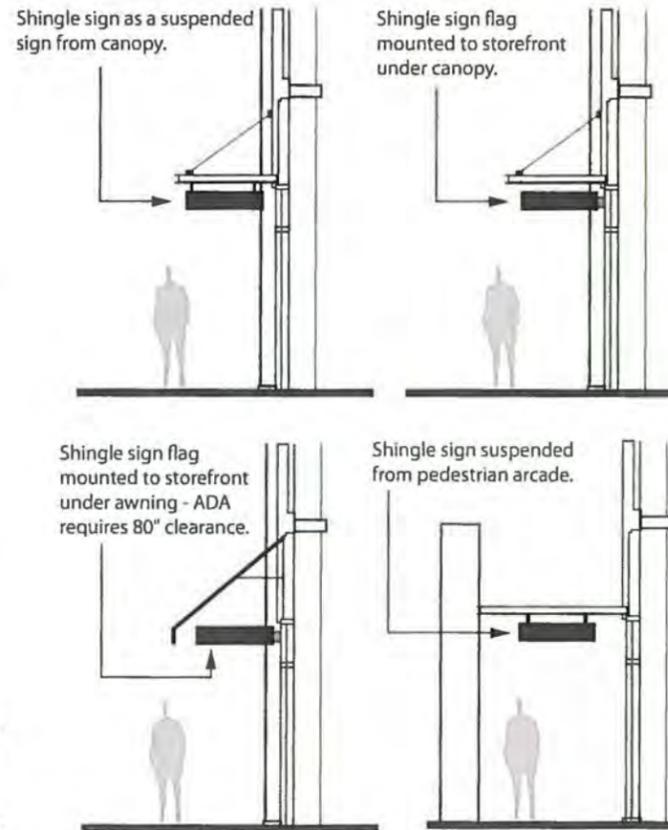
Graphics shall be flat cut out letters and elements, surface applied to both sides of the display. Each shop Tenant shall furnish and install the approved copy for said display at Tenant's sole and separate expense. Tenant shall pay for all costs associated with the production and mounting of Tenant's blade sign copy.

### Installation

Minimum 9'-0" above finished floor.

Orientation—Perpendicular to storefront.

This signage shall **not** count against the Tenant's square footage allotment.



### Window Graphics & Merchandise Display Area



Suite Numbers shall appear directly over each entry, to be applied white vinyl on the exterior of the glass. 6" high suite numbers to be displayed in Futura Condensed Medium.

Shop Name and Hours of operation shall appear adjacent to each entry, to be applied vinyl on the exterior of the glass. Layout to be approved by Owner/Landlord - see matrix for allowable area.

### Design Restrictions

Storefront graphics may not be "off the shelf" - prefabricated emulating neon tubing elements or use of fluorescent colors.

No printed, hand lettered, window painted sales promotions will be allowed.



TYPICAL STORE FRONT

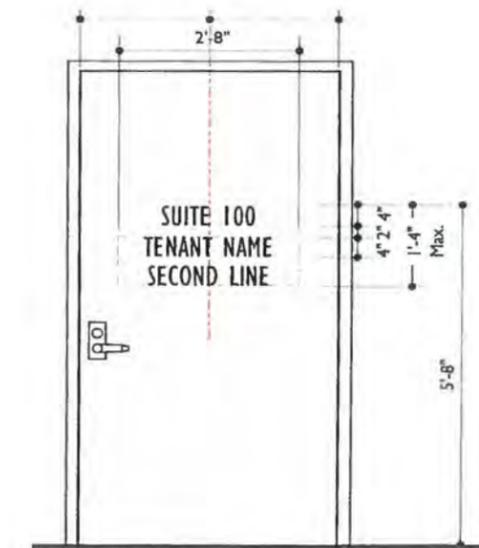
Scale: NTS

Printed menus are not allowed to be taped to windows. Menus for take out or eat in restaurants, or in-store services must be within an architecturally integrated, enclosed design element and shall not exceed the 25% of the window/panel area. These may be internally illuminated.

No continuous "black-out" sheeting will be allowed. Merchandise display areas must be provided of the tenants products/graphics.

### Back Door Signage

All shops and freestanding buildings with exterior, non-public entrances may have identification signage located at the rear of the building. This signage shall be non-illuminated and shall not exceed four (4) square feet in area.



SAN DORADO

Typical Signage /  
Building Elevations

# SAN DORADO

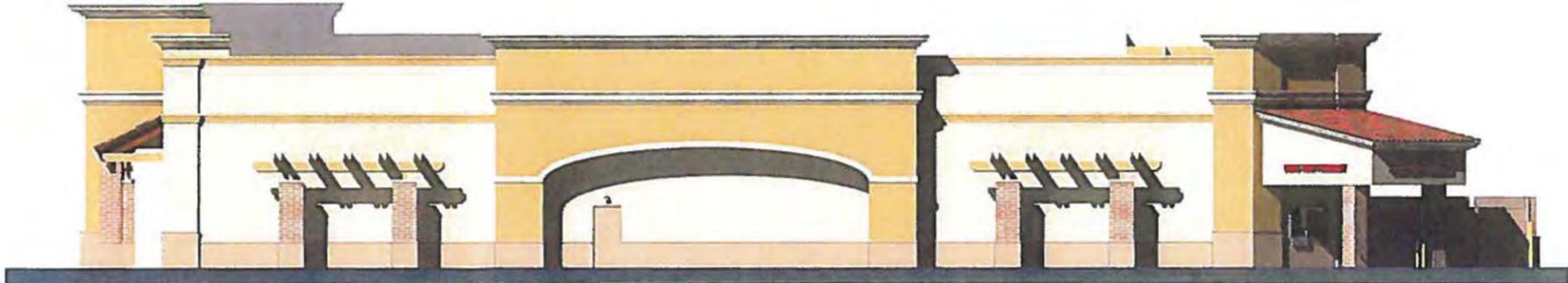
## Typical Signage Elevations - Major | Pad Tenant



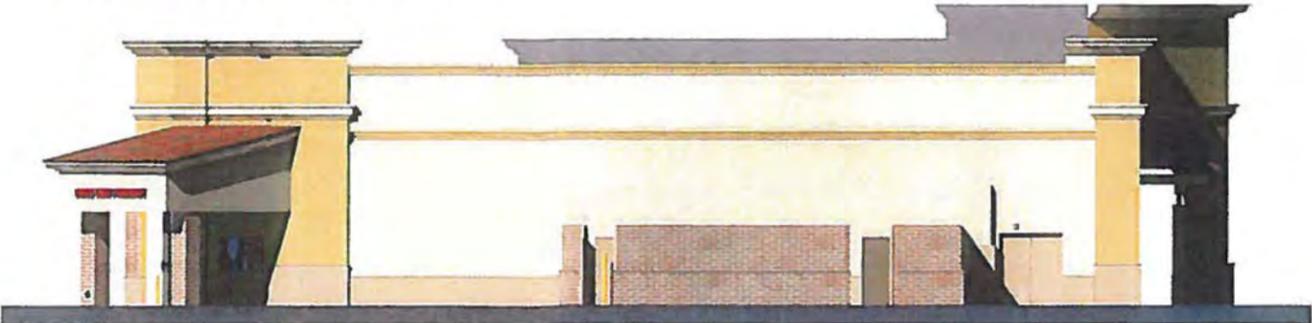
North Elevation (1st Avenue)



West Elevation (Oracle Road)



South Elevation (Internal drive through)



East Elevation (internal)

## Typical Signage Elevations - Shops B

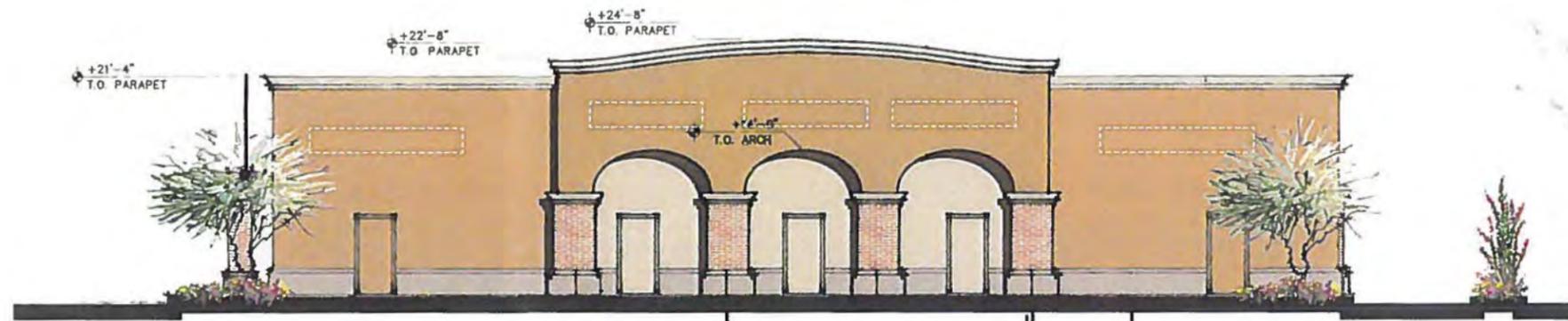
Sign envelope locations shown are for illustrative purposes only. Quantities and location shall be determined by leasing.

Envelopes can be combined for larger tenants with larger store frontages.

Final size shall be determined by the allowable square footage per the tenant signage matrix.



Shops B West Elevation (Oracle Road)



Shops B East Elevation (Internal )



Shops B South Elevation (Internal )



Shops B North Elevation (with Drive-thru )

# SAN DORADO

## Typical Signage Elevations - Shops C

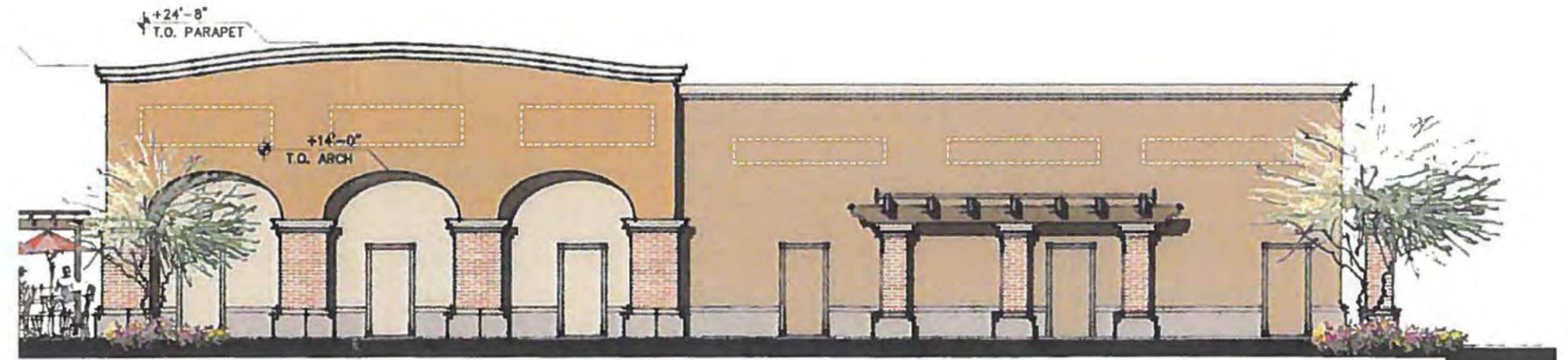
Sign envelope locations shown are for illustrative purposes only. Quantities and location shall be determined by leasing.

Envelopes can be combined for larger tenants with larger store frontages.

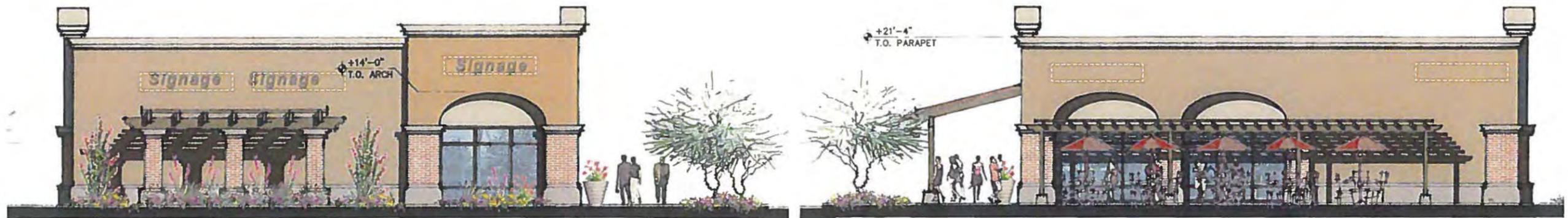
Final size shall be determined by the allowable square footage per the tenant signage matrix.



Shops C West Elevation (Oracle Road)



Shops C East (internal parking)



Shops C North

Shops C South (plaza area)

## Typical Signage Elevations - Shops D

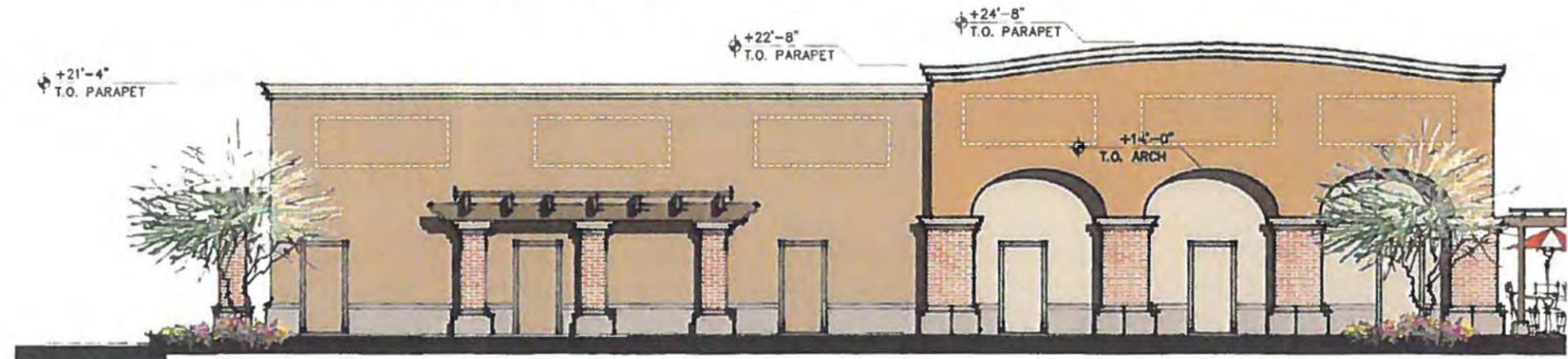
Sign envelope locations shown are for illustrative purposes only. Quantities and location shall be determined by leasing.

Envelopes can be combined for larger tenants with larger store frontages.

Final size shall be determined by the allowable square footage per the tenant signage matrix.



Shops D West Elevation (Oracle Road)



Shops D East Elevation (internal parking)



Shops D North



Shops D South



San Dorado



**Attachment 6  
San Dorado Location Map**



## Town Council Regular Session

Item # **11.**

**Meeting Date:** 01/16/2013  
**Requested by:** David Williams  
**Submitted By:** Hillary Turby, Development Infrastructure Services  
**Department:** Development Infrastructure Services

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### Information

#### **SUBJECT:**

REQUEST FOR APPROVAL OF CONCEPTUAL SITE PLAN FOR THE RANCHO DE PLATA SUBDIVISION, LOCATED ON THE WEST SIDE OF LA CHOLLA BOULEVARD, APPROXIMATELY ¼ MILE SOUTH OF TANGERINE ROAD

#### **RECOMMENDATION:**

At the November 13, 2012 meeting, the Conceptual Design Review Board (CDRB) voted to recommend approval of the Conceptual Site Plan for the Rancho de Plata subdivision, subject to the conditions shown in Attachment 1.

The staff report to the CDRB is included as Attachment 2 and the draft CDRB minutes are included as Attachment 3.

#### **EXECUTIVE SUMMARY:**

This project entails development of a 19.5 acre property into a 50 lot single-family residential subdivision (Attachment 4). The project includes two (2) recreation areas, including a tot lot as well as a passive recreation area. Additionally, lots have been placed and oriented on the site to efficiently utilize the property, conserve the two Critical Resource Areas (riparian areas), and provide for additional open space areas.

#### **BACKGROUND OR DETAILED INFORMATION:**

##### Site Conditions:

- Site is 19.4 acres
- Zoning is R1-7 (Medium Density Residential)
- Residential uses, and Wilson K-8 School are located adjacent to this project
- Property is currently vacant
- No overlay zones impact this property
- Two riparian corridors flowing north/south are present on the site
- Significant native vegetation is present throughout the site

##### Proposed Improvements:

- Fifty (50) lot single-family residential subdivision
- Allowed building height: 25' (specific lots limited to single story based on rezoning conditions).
- Proposed building height: 25' (not to exceed two (2) stories (limited to one (1) story on the southern tier lots (lots 1, 30, 29, 26, 33) and eastern tier lots (lots 2-7)).
- This project is in conformance with the Zoning Code setback requirements:
  - Front 20'

- Side 5' (allowed by Conservation Subdivision design standards)
- Rear 20'
- Minimum lot size: 5,500 s.f. (allowed by Conservation Subdivision standards) Proposal meets this standard.
- Project is designed to comply with ESL Regulations:
- Critical Resource Areas (CRA) shall be preserved at 95% or 3.15 acres (3.21 acres of CRA have been provided)
- The remainder of the site is defined as a Resource Management Area. 25% of this area shall be preserved as additional Open Space, or 3.86 acres
- Landscape concept includes:
  - Native Plant Preservation Plan
  - Required buffer yards around the property
  - Two (2) recreation areas (.61 acres are required, project includes .71 acres), including a tot lot recreation area as well as a passive recreation area
- Trails, public use path, and a bicycle/pedestrian path have also been included in the plan

**Conceptual Site Plan:**

The CDRB found that the Conceptual Site Plan (see Attachment 4) will be in substantial conformance with the Design Principles and applicable Design Standards, and has recommended approval. The CDRB added an extra condition related to providing an emergency access connecting the subdivision to the Wilson K-8 School, if agreed to by the Amphi School District.

**Approvals to Date**

- A Major General Plan Amendment changing the land use designation from Neighborhood Commercial/Office (NCO) to Medium Density Residential was approved by Town Council in 2011
- Rezoning from R1-144 to R1-7 was approved by Town Council in 2012

**PUBLIC NOTIFICATION AND COMMENT:**

Notice to the public was provided consistent with Town-adopted procedures, which includes the following:

- Notification of residents within 600 feet (40 residents total)
- Posting at Town Hall
- All registered HOAs

A neighborhood meeting was held on October 30, 2012. One resident commented at this meeting. A summary of the neighborhood meeting is included as Attachment 5. Most of the comments and concerns were related to architectural context, and a potential for increased traffic. The architectural concern was addressed in the Conceptual Model Home Architecture submittal approved by CDRB. The traffic concern was addressed by the traffic impact analysis which shows that no major traffic impact will be created by this development and required improvements (onsite and offsite) will adequately mitigate additional traffic.

**FISCAL IMPACT:**

N/A

**SUGGESTED MOTION:**

I MOVE to (approve or deny) the Conceptual Site Plan for the Rancho de Plata subdivision, located on the west side of La Cholla Boulevard, approximately ¼ mile south of Tangerine Road, subject to the conditions in Attachment 1, finding that the Conceptual Site (meets or does not meet) applicable Design Principles and Standards.

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**Attachments**

Attachment 1 - Conditions of Approval

Attachment 2 - Staff Report

Attachment 3 - Draft Minutes

Attachment 4 - Conceptual Site Plan

Attachment 5 - Neighborhood Meeting Notes

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**Attachment 1  
Conditions of Approval  
Rancho de Plata  
Conceptual Site Plan  
OV1212-17  
November 13, 2012 CDRB**

Engineering:

1. Grading adjacent to homes shall meet the requirements of the International Building Code. These requirements include a 5% slope away from the home to a swale parallel to the home that is sloped a minimum of 2%.
2. Provide erosion hazard setback calculations and necessary erosion mitigation recommendations that will be necessary to protect lots that are within an erosion hazard area.
3. Provide diverter swales/channels along the north side of the development to convey incoming off-site drainage to the existing washes.
4. Extend the proposed sidewalk on both sides of the entry road to intersect with the proposed path along La Cholla Boulevard.
5. The existing driveway connection to La Cholla Boulevard on the north side of the development shall be removed with the development.
6. The proposed decomposed granite path will be required to be stabilized with a binder or other similar treatment to be approved by the Town Engineer. The portions of the path within the floodplain area shall be paved and protected with toe downs or other similar methods as recommended by the drainage report and approved by the Town Engineer.
7. Guardrail shall be provided in those areas adjacent to the existing power poles where the roadway edge line is shifted west to accommodate the proposed left turn lane into the development.

Planning:

1. Provide conceptual plan for walls and screening throughout the subdivision.
2. A primitive trail shall be provided from the recreation areas to the adjacent washes.
3. Detention basin floors shall be replanted with native vegetation and trees to the greatest extent possible while still allowing for maintenance access.
4. Provide an emergency access point connecting the subdivision to the Wilson K-8 School, if agreed to by the Amphi School District.

Water:

Water mains shall not be provided under pavement.

Fire:

The width of the roads specified on the submitted plans will allow for parking on only one side of the road and will not allow parking in the cul-de-sac and knuckle areas. Please meet with the fire plans examiner and fire inspector to discuss the areas that will require no parking signage in accordance with IFC Sections 503.3 and D103.6, as amended.

## TOWN OF ORO VALLEY

CONCEPTUAL DESIGN REVIEW BOARD

MEETING DATE: November 13, 2012

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**TO:** CONCEPTUAL DESIGN REVIEW BOARD

**FROM:** Hillary Turby, Senior Planner

**SUBJECT:** **Conceptual Site Plan for the Rancho De Plata subdivision**, located on the west side of La Cholla Boulevard, approximately ¼ mile south of Tangerine Road, OV 1212-17.

**SUMMARY:**

This project includes the development of a 19.45 acre property into a 50 lot subdivision. This review entails the Conceptual Site Plan. The CDRB review is focused on the fundamental elements of the design, including: site layout; drainage/grading; connectivity; architectural design; and landscape concept. The information must be sufficient to demonstrate that the design concept is achievable and to ensure community fit.

Many design issues raised by staff and the neighbors, and the rezoning conditions of approval, including site layout, bufferyards, and building height, have been integrated into the design of the project. The Conceptual Site Plan has been evaluated for conformance to the R1-7 Zoning District standards, Design Principles found in Section 22.5.D.5 of the Zoning Code, the Design Standards found in Addendum "A", and the Town ESL requirements found in Section 27.10 of the Zoning Code.

This report contains staff analysis, proposed conditions of approval and suggested motions for the Conceptual Site Plan. The Conceptual Design Principles are utilized as primary guidance for staff and CDRB evaluation of the application. The Addendum "A" Design Standards are used as secondary guidance, as appropriate.

### BACKGROUND

#### Site Conditions

- Site is 19.44 acres ( net area after ROW dedication is 18.76 acres)
- Zoning is R1-7 (Medium Density Residential)
- Residential uses, and Wilson K-8 are located in proximity to this project
- Property is currently vacant
- No overlay zones impact this property
- Two large washes running north/south are present on the site
- Significant native vegetation is present throughout the site

#### Proposed Improvements

- Fifty (50) lot single-family residential subdivision
- Allowed building height: 25' or two (2) stories (specific lots limited to single story based on rezoning conditions).
- Proposed building height: 2 stories (limited to one (1) story on the southern tier lots (lots 1, 30, 29, 26, 33) and eastern tier lots (lots 2-7)).
- This project is in conformance with the Zoning Code setback requirements:
  - Front 20'
  - Side 5' (allowed by Conservation Subdivision design standards)
  - Back 20'
- Minimum allowed lot size: 5,500 s.f. (allowed by Conservation Subdivision standards) Proposal meets this standard.
- Project is designed to comply with ESL Regulations:
  - Critical Resource Areas (CRA) shall be preserved at 95% or 3.15 acres (3.21 acres of CRA have been provided)

## TOWN OF ORO VALLEY

### CONCEPTUAL DESIGN REVIEW BOARD

Page 2 of 7

- The remainder of the site is defined as a Resource Management Area. 25% of this area shall be preserved as Tier 2 Open Space, or 3.86 acres (4.28 acres of Tier 2 Open Space are provided).
- Landscape concept includes:
  - Native Plant Preservation Plan
  - Required buffer yards around the property
  - Two (2) recreation areas (.61 acres are required, project includes .71 acres), including a tot lot recreation area as well as a passive recreation area.
  - Trails, public use path, and a bicycle/pedestrian path have also been included.

#### Approvals to Date

- A Major General Plan Amendment changing the land use designation from Neighborhood Commercial/Office (NCO) to Medium Density Residential was approved by Town Council in 2011.
- Rezoning from R1-144 to R1-7 was approved by Town Council in 2012.

#### Surrounding Land Uses

Direction	Zoning	Land Use
North	R1-144	State Trust Land: undeveloped Tangerine Overlay Zone
South	R1-144	Large Lot Single Family Residential Ironwood Ranch Subdivision
East	R1-20	Single Family Residential: undeveloped (approved Rancho del Cobre Subdivision)Wilson K-8 School
West	R1-144	Wilson K-8 School

### CONCEPTUAL SITE PLAN

#### A. Oro Valley Zoning Code Conceptual Site Design Principles, Section 22.9.D.5.a

The Conceptual Site Plan is in substantial conformance with all applicable Conceptual Site Design Principles. Following are key Design Principles (*in italics*), followed by staff evaluation of how the design addresses the principles:

1. *Building orientation: the location, orientation and size of structures shall promote a complementary relationship of structures to one another.*

The subdivision has been designed as a Conservation Subdivision as provided in the ESL zoning standards. Lots have been placed and oriented on the site to efficiently utilize the property, conserve the two Critical Resource Areas, and provide for additional open space areas. The single-story height on the south and eastern tier lots aims to reduce the visual impact for neighboring residential areas and from La Cholla Boulevard.

2. *Drainage/grading: site grading shall minimize impacts on natural grade and landforms and provide for subtle transitions of architectural elements to grade. Significant cuts and fills in relation to natural grade shall be avoided or minimized to the extent practical given property constraints.*

The project design preserves the two natural wash corridors through the site. The wash corridors will enter, flow through and leave the subject parcel, while remaining relatively undisturbed. The ESOS substantially protects the natural wash corridors.

Development of this parcel will increase runoff due to the addition of non-permeable surfaces associated with residential structures and subdivision streets. To help offset this increase, detention basins have been included in the design.

A full drainage report will be required as part of the Final Design review submittal. All post-development flow shall be mitigated and released in the same manner and quantity as the existing conditions.

*3. Connectivity: strengthen the usability and connectivity of the pedestrian environment internally and externally by enhancing access to the public street system, transit, adjoining development and pedestrian and bicycle transportation routes. Where appropriate, buildings and uses should provide access to adjacent open space and recreational areas.*

The internal pedestrian facilities for this project are intended to connect residents and visitors to the recreation areas, adjacent washes, and to the Wilson K-8 School to the west of the subdivision. A condition of the rezoning required the following improvements will serve to improve the pedestrian/ bicycle environment for residents.

B. Rezoning Conditions

Several conditions were attached to this project during the rezoning process. Notable conditions address building height, vegetated buffers, and pedestrian improvements. Some of these conditions include:

- o A primitive trail shall be provided from the recreation areas to the adjacent washes
- o A public-use path shall be provided along the project's La Cholla Boulevard frontage
- o A bicycle/pedestrian pathway connecting to the Wilson K-8 school shall be provided along the southwest corner of the property
- o Southern buffer yard shall be augmented with native vegetation to the greatest extent possible

C. Oro Valley Zoning Code Subdivision and Site Plans, Chapter 26

The Conceptual Site Plan is in substantial conformance with all applicable Subdivision and Site Plan Standards. The following Standards (*in italics*) are followed by staff evaluation of how the design addresses the regulation:

*1. An area shall be devoted to and designated as "recreational area" on the conceptual site plan final subdivision plat which equals a ratio of one (1) acre to every eighty-five (85) dwelling units.*

The subdivision is required to provide .61 acres for recreational use. The project will provide two recreation areas totaling .71 acres. The two recreation areas exceed the recreation requirements outlined in Chapter 26 of the Zoning Code. The recreation areas will be a focal point for passive and active recreational activities and will provide a meaningful place for neighborhood gatherings and activities. To increase connectivity, as stated previously as a condition of the rezoning, a primitive trail shall be provided from the recreation areas to the adjacent washes.

D. Oro Valley Zoning Code General Development Standards

The Conceptual Site Plan is in substantial conformance with all applicable General Development Standards. The following Standards (*in italics*) are followed by staff evaluation of how the design addresses the regulation:

*1. Preservation of significant native on-site vegetation, as characterized in subsection B.3.b of this section, shall be a primary objective of site planning for development. Mature native trees shall be given particular consideration for retention in place. All saguaro cacti shall be preserved in place or relocated on site, unless otherwise approved by the Planning and Zoning Administrator.*

This site contains significant native vegetation. Areas outside of the Critical Resource Areas are designated Tier 2 -Resource Management Area (RMA) on the Town's ESL map. Significant vegetation exists throughout the site and will either be preserved in place, salvaged on site, or removed off-site. Mitigation of the significant vegetation shall occur at the appropriate rate, as defined in the ESL ordinance.

*2. All existing native plants shall be preserved in their original location, except within those areas permitted to be graded. Any areas of disturbance outside of significant vegetation shall be inventoried for protected native plants and mitigated according to the standards set forth in subsection B.4.d of this section.*

A Native Plant Preservation Plan was submitted to the Town as a part of the Conceptual Design submittal. The NPPP defines the applicants plans for native plant preservation. Because of the significant amount of native vegetation present on the site, the applicant, in coordination with the Town, has proposed a variety of mitigation techniques in an attempt to salvage as much of the native vegetation as possible. Those mitigation techniques include:

- Salvage vegetation and for use on-site within the Tier 2 Open Space, as a part of the landscape plan for the front yards of new homes, and throughout the recreation areas
- Parks and Recreation will receive salvaged native vegetation, and mitigated vegetation for replanting in the James D. Kriegh Park pool expansion project, as well as for other Town projects
- The applicant will, in coordination with the Town, hold a Save-a-Plant function, where members of the public will be allowed to come and remove excess native vegetation from the property

E. Addendum A Design Standards

The Conceptual Site Plan is in substantial conformance with applicable Design Standards.

*Section 3.1.A.1, Open Space shall be used to enhance and organize the community through use of one or more of the following design strategies: a. Place open space elements visible from roadways within residential areas, b. Clustering of lots to preserve open space, c. Provide open space at project entries.*

The subdivision has been designed as a Conservation Subdivision. This requires that the new home lots are placed and oriented on the site to efficiently utilize the property, conserving the two Critical Resource Areas and other open space areas on-site.

3.1.H.3.a, *Break up long, solid perimeter walls by using the following techniques: a. Wall segments greater than the minimum lot width for the applicable zoning district shall utilize at least two of the following features: 1. decorative features, 2. use of swales, berms and landscaping, 3. undulations or offsets, 4. vary setbacks.*

The proposed subdivision does not include a perimeter wall. Any interior walls longer than the minimum lot width will implement decorative features or use of supplemental vegetation. Since most of the lots back up to the CRA areas, ample vegetation as a visual buffer is built into the proposal.

F. Engineering Division Comments

**DRAINAGE**

Existing stormwater runoff flows through the site in a southerly direction, predominately by natural swales, washes, and overland sheet flow. Two washes enter the site from the north and convey flows that are categorized as local floodplains. The first wash is along the east side of the property, partially within the future right-of-way, and provides separation between the residential homes and La Cholla Boulevard. The second wash bisects the property, providing a natural area that separates the west third of the development from the remainder of the site.

The drainage system for the proposed development shall be designed per the Town's Drainage Criteria Manual and Floodplain Ordinance to ensure among other requirements that all habitable structures adjacent to the washes will be protected from flooding and erosion. The developer will construct drainage improvements consisting of swales, channels, culverts, and roadway sections designed to convey stormwater runoff to three proposed detention basins and the two existing washes. The detention basins attenuate stormwater discharge so that there is no increase in peak flow or negative impacts to downstream areas. Under post-developed conditions, all flows shall be mitigated to discharge to the south in the same or reduced intensity, manner and location as in the existing form.

**GRADING**

A Type 2 Grading Permit will be required to construct the drainage structures, utilities, public streets, building pads and any other structures requiring grading on the project site. The grading represented within the Conceptual Site Plan conforms to the requirements of Chapter 27.9 of the Town's Zoning Code as well as the stipulations and development criteria of the Town's Subdivision Street Standards.

**TRAFFIC**

A traffic assessment was prepared for this project and reviewed by the Town Engineer. The proposed subdivision will have a single public access connection to the west side of La Cholla Boulevard which will align with the future access connection for Rancho del Cobre on the east side. Construction of this subdivision will include the widening of La Cholla Boulevard for the addition of a new northbound left-turn lane. Furthermore, a direct pedestrian connection with Wilson K-8 School will be provided so that future residents have an alternative to driving for getting children to the adjacent school. All required public roadway improvements shall be the responsibility of the developer and all constructed improvements within the La Cholla Boulevard right-of-way will require a permit issued from the Town Engineer's office.

**SECTION III: PUBLIC NOTIFICATION AND COMMENT**

**TOWN OF ORO VALLEY**

**CONCEPTUAL DESIGN REVIEW BOARD**

**Page 6 of 7**

Notice to the public was provided consistent with Town-adopted noticing procedures, which includes the following:

- Notification of residents within 600 feet
- Posting at Town Hall
- All registered HOAs

No letters have been received in support or opposition to the proposal.

**CONCLUSION/RECOMMENDATION:**

Based on a review of relevant standards, staff finds that the Conceptual Site Plan is in substantial conformance with rezoning conditions, the Zoning Code including ESL, Design Principles and applicable Design Standards. A number of mitigation measures have been incorporated which will enhance compatibility with the existing residential area including building height restrictions, open space buffers, and preserving natural areas of the site. Staff recommends approval of the Conceptual Site Plan subject to the attached Conditions of Approval (see Attachment 1).

**SUGGESTED MOTION:**

The CDRB may wish to consider one of the following suggested motions:

I move to recommend [approval OR approval with conditions] of the Conceptual Site Plan for Rancho de Plata, subject to the conditions in Attachment 1, finding that:

- The proposed Conceptual Site Plan meets the applicable Zoning Code Review criteria.

OR

I move to recommend denial of the Conceptual Site Plan Rancho de Plata, finding that the proposal does not meet the applicable Zoning Code Review Criteria.

**Attachments:**

1. Conditions of Approval
2. Conceptual Site Plan
3. Conceptual Landscape Plan
4. Conditions of Rezoning

cc: Ron Asta, [ron.asta@cpeconsultants.com](mailto:ron.asta@cpeconsultants.com)

\_\_\_\_\_  
David A. Williams, AICP, Planning Manager

**MINUTES  
ORO VALLEY CONCEPTUAL DESIGN REVIEW BOARD  
REGULAR SESSION  
NOVEMBER 13, 2012  
ORO VALLEY COUNCIL CHAMBERS  
11000 N. LA CAÑADA DRIVE**

**CALL TO ORDER AT OR AFTER 6:00 P.M.**

Chair Sakellar called the meeting to order at 6:00PM

**ROLL CALL**

**PRESENT:** Dino Sakellar, Chair  
David Atler, Vice-Chair  
Gil Alexander, Member  
Harold Linton, Member  
Nathan Basken, Member  
Richard Eggerding, Member

**ABSENT:** Kit Donley, Member

**ALSO PRESENT:** Lou Waters, Councilmember

**PLEDGE OF ALLEGIANCE**

Chair Sakellar led the audience in the Pledge of Allegiance.

**CALL TO AUDIENCE -**

There were no speaker requests.

**1. REVIEW AND/OR APPROVAL OF THE OCTOBER 09, 2012 REGULAR SESSION MEETING MINUTES**

**MOTION:** A motion was made by Gil Alexander, Member and seconded by Nathan Basken, Member to approve the October 09, 2012 Regular Session Meeting Minutes.

**MOTION** carried, 6-0.

**2. CONCEPTUAL PUBLIC ART FOR THE "SAN DORADO" COMMERCIAL DEVELOPMENT, LOCATED AT ORACLE ROAD AND FIRST AVENUE, OV1212-08**

Matt Michels, Senior Planner, presented the following:

- Applicant's Request
- Location Map
- Art Locations
- Phase I Art Concept and Location
- Phase II Art Concept and Location
- Review Criteria
- Conclusion
- Conditions of Approval

Brad Anderson, Kitchell Development, representing the land owner, presented the following:

- Approved Conceptual Site Plan
- Public Art Locations
- Artist (Mark Rossi)
- Design Concept
- Representative Images
- Shop Building Architecture
- Questions

Mark Rossi, Artist, commented on the material and maintenance of the sculptures.

**MOTION:** A motion was made by Harold Linton, Member and seconded by Gil Alexander, Member to Amend Attachment 1 to add a third condition to require four pieces of art, with two art works each at two locations.

**MOTION** carried, 6-0.

**MOTION:** A motion was made by Harold Linton, Member and seconded by Gil Alexander, Member to approve the Conceptual Public Artwork for the San Dorado commercial development with the Conditions in Attachment 1, finding that the proposed Conceptual Public Artwork meets the Zoning Code Review Criteria and applicable Design Standards.

**Attachment 1  
Conditions of Approval  
San Dorado Commercial Area Public Art  
OV1212-08  
November 13, 2012 CDRB**

1. *The public art locations shown on the Final Landscape and Irrigation Plan.*
2. *Seating areas and shading elements (i.e. shade trees) shall be placed in close proximity to the public art to allow visitors and the public to enjoy the public art in a comfortable setting.*
3. *Four (4) art pieces shall be provided with two pieces of art provided at each location shown in the conceptual public art submittal.*

**MOTION** carried, 6-0.

**3. REVIEW AND POSSIBLE ACTION FOR RANCHO DE PLATA SUBDIVISION, LOCATED ON THE WEST SIDE OF LA CHOLLA BOULEVARD, 1/4 MILE SOUTH OF TANGERINE ROAD, OV1212-17**

**3a. CONCEPTUAL SITE PLAN**

Hillary Turby, Senior Planner, presented the following Conceptual Site Plan:

- Request Summary
- Location & Context Map
- Zoning Context
- Background
- Conceptual Site Plan
- R1-7 Zoning Standards
- ESL Requirements
- ESL Conservation Subdivision Design
- Conditions of Approval
- Summary/Recommendation

Ron Asta, CPE Consultants, LLC., elaborated on the Conceptual Site Plan and Landscape Plan.

**MOTION:** A motion was made by David Adler, Vice-Chair and seconded by Richard Eggerding, Member to Amend Attachment 1 to include a condition requiring an emergency access connecting the subdivision streets to Wilson K-8 School.

Chair Sakellar offered a friendly amendment, if agreed upon by the Amphi School District.

Friendly amendment was accepted by Vice-Chair Adler and member Eggerding.

**MOTION** carried, 6-0.

**MOTION:** A motion was made by Gil Alexander, Member and seconded by Richard Eggerding, Member to recommend approval of the Conceptual Site Plan for Rancho de Plata, subject to the conditions in Attachment 1, finding that the proposed Conceptual Site Plan meets the applicable Zoning Code Review criteria.

***Attachment 1  
Conditions of Approval***

**Rancho de Plata  
Conceptual Site Plan  
OV1212-17  
November 13, 2012 CDRB**

**Engineering:**

1. Grading adjacent to homes shall meet the requirements of the International Building Code. These requirements include a 5% slope away from the home to a swale parallel to the home that is sloped a minimum of 2%.
2. Provide erosion hazard setback calculations and necessary erosion mitigation recommendations that will be necessary to protect lots that are within an erosion hazard area.
3. Provide diverter swales/channels along the north side of the development to convey incoming off-site drainage to the existing washes.
4. Extend the proposed sidewalk on both sides of the entry road to intersect with the proposed path along La Cholla Boulevard.
5. The existing driveway connection to La Cholla Boulevard on the north side of the development shall be removed with the development.
6. The proposed decomposed granite path will be required to be stabilized with a binder or other similar treatment to be approved by the Town Engineer. The portions of the path within the floodplain area shall be paved and protected with toe downs or other similar methods as recommended by the drainage report and approved by the Town Engineer.
7. Guardrail shall be provided in those areas adjacent to the existing power poles where the roadway edge line is shifted west to accommodate the proposed left turn lane into the development.

**Planning:**

1. Provide conceptual plan for walls and screening throughout the subdivision.
2. A primitive trail shall be provided from the recreation areas to the adjacent washes.
3. Detention basin floors shall be replanted with native vegetation and trees to the greatest extent possible while still allowing for maintenance access.
4. Requiring an emergency access connecting the subdivision streets to Wilson K-8 School.

**Water:**

Water mains shall not be provided under pavement.

**Fire:**

The width of the roads specified on the submitted plans will allow for parking on only one side of the road and will not allow parking in the cul-de-sac and knuckle areas. Please meet with the fire plans examiner and fire inspector to discuss the areas that will require no parking signage in accordance with IFC Sections 503.3 and D103.6, as amended.

**MOTION** carried, 5-1 with Harold Linton, Member opposed.

**3b. CONCEPTUAL MODEL HOME ARCHITECTURE**

Hillary Turby, Senior Planner, presented the following on Conceptual Model Home Architecture:

- Conceptual Architecture Review
- Context: Homes in surrounding neighborhoods
- Applicant's Proposal
- Design Review Principles
- Design Standards

- Ranch Style Plan - 145-2278
- Spanish Colonial Plan - 145-485
- Early California Plan - 245-3220
- Ranch Style Plan - 245-3686
- Conditions of Approval
- Summary

Ron Asta, commented on the following Conceptual Model Home Architecture:

- Typical single story homes
- Typical two story homes

Jeff Grobstein, representing Meritage Homes, commented on use of mirror images design of plans and details on corner lots.

**MOTION:** A motion was made by Nathan Basken, Member and seconded by David Adler, Vice-Chair to recommend approval of the Conceptual Architecture for Rancho de Plata, subject to the conditions in Attachment 1, finding that the proposed Conceptual Architecture meets the applicable Zoning Code Review criteria.

**Attachment 1  
Conditions of Approval  
Rancho de Plata  
Conceptual Architecture  
OV1212-17  
November 13, 2012 CDRB**

1. *The same color scheme and elevation shall not be repeated in adjacent homes or homes directly across the street from one another.*
2. *"Four-sided architecture" should be considered for all homes through out the subdivision especially those homes located on corner lots. Specifically, right side elevations on all models must provide at least one of the following elements to be visible above the 5' fence line:*
  - *Stucco pop-outs, lintels, or sills on all windows and doors; or*
  - *Decorative elements matching the front facades, such as corbels, canales, wrought iron, "X" Deco tiles, and rafter tails**Additionally, wainscoting and or banding, present on the front façade, shall be extended to meet the sidewalk.*
3. *Two-story homes shall not be located on corner lots (Lots 3, 4, 32, 13, 14, 27, 26, and 50), and no more than 2 two-story homes shall be located side by side on the same street.*
4. *Corner side yard elevations shall be articulated consistent with condition 2 and shall be provided for administrative approval.*

**MOTION** carried, 6-0.

**GENERAL NOTES**

- GROSS AREA OF DEVELOPMENT IS 19.44 ACRES. NET AREA AFTER ROW DEDICATION IS 18.76 AC.
- RESIDENTIAL UNITS PER ACRE IS 2.57.
- TOTAL MILES OF NEW PUBLIC STREETS IS 0.46.
- NO OVERLAY ZONES IMPACT THIS PROPERTY.
- PRIVATE RECREATION AREA REQUIRED 0.61 AC. RECREATION AREA PROVIDED 0.71 AC.
- ASSURANCES FOR WATER SERVICE, SITE STABILIZATION AND LANDSCAPING MUST BE POSTED PRIOR TO THE ISSUANCE OF GRADING PERMIT.
- ALL DWELLINGS SHALL BE PROVIDED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM UNLESS A SECONDARY POINT OF EMERGENCY ACCESS CAN BE PROVIDED.
- FIRE HYDRANTS CONNECTED TO AN APPROVED WATER SUPPLY OF 1000 GPM FOR FIRE PROTECTION SHALL BE INSTALLED AND IN SERVICE PRIOR TO COMBUSTIBLE MATERIAL DELIVERY TO THE SITE. TEMPORARY CONSTRUCTION OFFICE TRAILERS AREA CONSIDERED COMBUSTIBLE MATERIAL.
- APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE INSTALLED AND IN SERVICE PRIOR TO COMBUSTIBLE MATERIAL DELIVERY TO THE SITE.
- TEMPORARY STREET SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE OF VEHICLES. ALL STRUCTURES UNDER CONSTRUCTION SHALL BE CLEARLY IDENTIFIED WITH AN APPROVED ADDRESS.
- MASONRY MONUMENT SIGN WITH STONE ACCENT 3' - 4' HIGH TO BE INSTALLED AT 45° ANGLE NORTH AND SOUTH OF ENTRY.

**PLANNING NOTES**

- THE MAXIMUM ALLOWABLE BUILDING HEIGHT IS 25' OR 2 STORIES. THE MAXIMUM HEIGHT PROPOSED IS 2 STORIES.
- THERE ARE NO PRIVATE STREETS PROPOSED.
- THERE ARE NO LOTS PROPOSED WITHIN THE GENERAL PLAN SIGNIFICANT RESOURCE AREAS.
- THIS PROJECT IS DESIGNED TO COMPLY WITH REGULATION 27.10, ENVIRONMENTALLY SENSITIVE LANDS (ESL). NO LOTS ARE PROPOSED WITHIN THE 95% CRITICAL RESOURCE CATEGORY NOR WITHIN THE 25% TIER 2 RESOURCE MANAGEMENT CATEGORY. COMPLIANCE WITH ESL OPEN SPACE FOLLOWS:

**CRITICAL RESOURCE OPEN SPACE (COMMON AREA A)**  
 3.32 AC @ 95% = 3.15 AC (REQUIRED)  
 3.21 AC (PROVIDED)

**CRITICAL RESOURCE DISTURBANCE AREA @ WASH CROSSINGS IS 0.11 ACRES**

**TIER 2 OPEN SPACE (COMMON AREA B)**  
 18.76 AC - 3.32 AC = 15.44 AC  
 15.44 AC @ 25% = 3.86 AC (REQUIRED)  
 4.28 AC (PROVIDED)

**REZONING CONDITIONS (0V911-005)**

**PLANNING CONDITIONS**

- A BICYCLE/PEDESTRIAN PATHWAY CONNECTING TO WILSON K-8 SCHOOL SHALL BE PROVIDED ALONG THE SOUTHWESTERN CORNER OF THE PROPERTY AS SHOWN ON EXHIBIT I.B (SHEET 1). THE AMPHI SCHOOL DISTRICT SHALL BE REQUESTED TO PROVIDE INPUT ON THE DESIGN AND CONNECTION POINT OF THE PATH.
- A PRIMITIVE TRAIL SHALL BE PROVIDED FROM THE RECREATION AREAS TO THE ADJACENT WASHES.
- A SCHOOL BUS STOP SHALL BE PROVIDED ADJACENT TO THE EASTERN RECREATION AREA ADJACENT TO A CUL-DE-SAC TURNAROUND. THE EXACT PLACEMENT AND DESIGN OF THE BUS STOP SHALL BE DETERMINED BY THE AMPHI SCHOOL DISTRICT. THE BUS STOP SHALL BE LABELED ON EXHIBIT I.B (SHEET 1).
- THE HOME ARCHITECTURE SHALL INCLUDE TRADITIONAL SOUTHWESTERN STYLES, INCLUDING PUEBLO OR TERRITORIAL, TO BE ARCHITECTURALLY CONSISTENT WITH EXISTING HOMES IN THE AREA. EXHIBIT I.B (SHEET 2) SHALL INCLUDE EXAMPLES OF THESE STYLES.
- THE MINIMUM LOT SIZE SHALL BE 5,500 S.F. USING THE CONSERVATION DESIGN LOT REDUCTION INCENTIVE PROVIDED IN TABLE 27.10-6 (SECTION 27.10.F.2.D) OF THE ZONING CODE.
- ADD DIMENSIONS OF THE BUFFER YARDS AROUND THE PROPERTY ON THE TOP AND THE BUFFER YARDS EXHIBIT (EXHIBIT I.H.1).
- BUILDING HEIGHT SHALL BE LIMITED TO ONE (1) STORY ON THE SOUTHERN TIER OF LOTS (LOTS 1, 24, 27, 28, 31-35) AND EASTERN TIER OF LOTS (LOTS 1-6). NOTE: THESE LOTS HAVE BEEN RENAMED 1, 30, 29, 28 AND 33 ON THE SOUTHERN TIER AND LOTS 2 THRU 7 ON THE EASTERN TIER.
- THE SOUTHERN BUFFER YARD SHALL BE AUGMENTED WITH NATIVE VEGETATION TO THE GREATEST EXTENT POSSIBLE.

**ENGINEERING CONDITIONS**

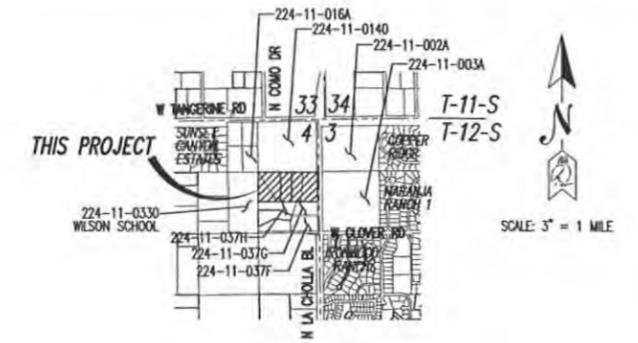
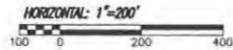
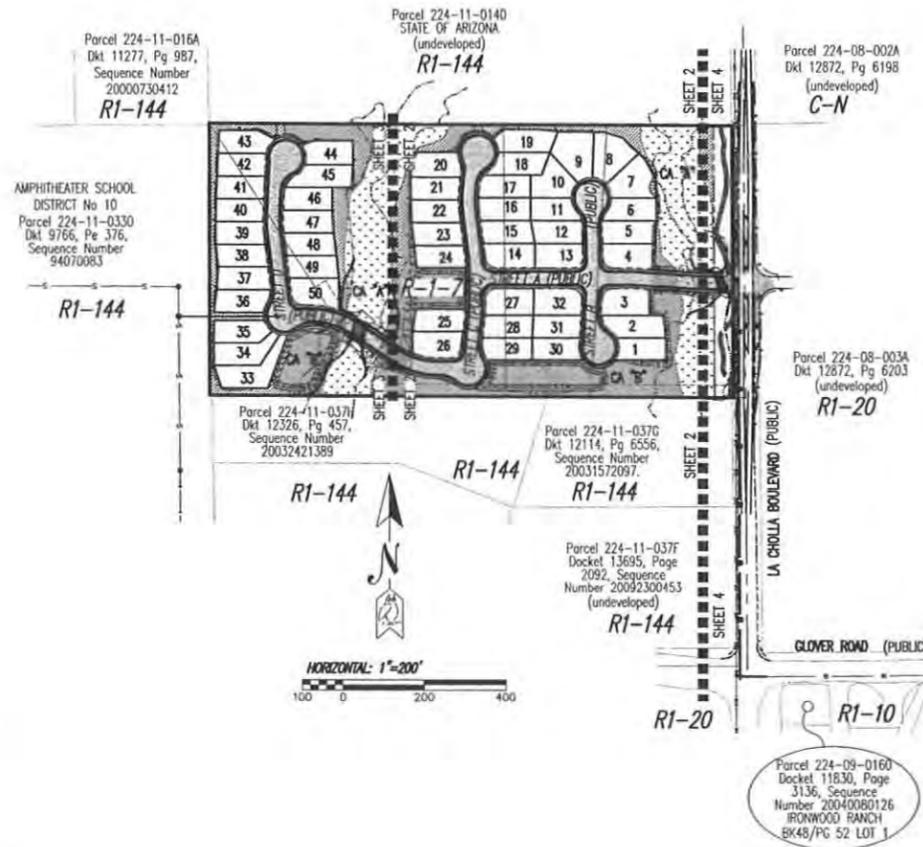
- A FULL TRAFFIC IMPACT ANALYSIS (TIA) PREPARED BY AN ARIZONA REGISTRANT SHALL BE REQUIRED AS PART OF ANY FUTURE CONCEPTUAL DESIGN REVIEW SUBMITTAL. THIS DEVELOPMENT SHALL BE RESPONSIBLE TO DESIGN AND PAY FOR ANY IMPROVEMENTS TO LA CHOLLA BOULEVARD AS DETERMINED TO BE REQUIRED BY THE TIA.
- A FULL DRAINAGE REPORT SHALL BE REQUIRED AS PART OF ANY FUTURE FINAL DESIGN REVIEW SUBMITTAL. ALL POST DEVELOPMENT FLOW SHALL BE MITIGATED AND RELEASED IN THE SAME MANNER AND QUANTITY AS THE EXISTING CONDITION.
- A NORTHBOUND LEFT TURN LANE ALONG LA CHOLLA BOULEVARD INTO THE SUBDIVISION SHALL BE REQUIRED. THIS DEVELOPMENT SHALL BE RESPONSIBLE FOR ALL DESIGN AND CONSTRUCTION COSTS ASSOCIATED WITH THE ADDITION OF THE LEFT-TURN LANE.
- THE INGRESS/EGRESS ACCESS DRIVE FOR THE SITE SHALL LINE-UP WITH THE RANCHO DEL COBRE (KHAN PROPERTY) ACCESS DRIVE ON THE OPPOSITE SIDE OF LA CHOLLA BOULEVARD.
- THIS PROJECT SHALL DEDICATE 45 FEET ALONG THE EAST PROJECT BOUNDARY TO THE TOWN OF ORO VALLEY FOR THE PURPOSE OF ADDITIONAL PUBLIC RIGHT-OF-WAY FOR LA CHOLLA BOULEVARD.
- THIS PROJECT SHALL PROVIDE A PUBLIC-USE PATH ALONG THE PROJECT'S LA CHOLLA BOULEVARD FRONTAGE. THE PROJECT SHALL MEET THE CONSTRUCTION REQUIREMENTS AS DETERMINED BY THE TOWN ENGINEER (E.G. ASPHALT, STABILIZED GRANITE, WIDTH, ETC) AND SHALL MEANDER TO FIT FIELD CONDITIONS SO AS TO MINIMIZE THE IMPACT TO THE EXISTING RIPARIAN AREA. THE APPLICANT MAY CHOOSE TO PROVIDE AN ALTERNATIVE IN-LIEU FEE FOR THE REQUIRED PATH, THE AMOUNT OF WHICH IS TO BE APPROVED BY THE TOWN ENGINEER.
- EXHIBIT 1.6.H.1. IDENTIFY THAT LA CHOLLA BOULEVARD HAS A SHARED USE PATH SOUTH OF GLOVER ROAD. FURTHERMORE, DELETE THE EXHIBIT SECTION THAT INCORRECTLY IDENTIFIES TANGERINE ROAD AS HAVING A SHARED USE PATH WEST OF LA CHOLLA BOULEVARD.
- A SECTION OF TEXT DESCRIBING THE ELEMENTS OF THE SUBDIVISION'S TYPICAL STREET SECTION WAS MANUALLY STRUCK OUT. RE-INSTATE THE TEXT BUT DELETE THE SECTION DESCRIBING A BIKE PATH WITHIN THE TYPICAL SECTION.

**ORO VALLEY WATER UTILITY CONDITIONS**

- THE DEVELOPER SHALL EXTEND THE 12 INCH WATER MAIN IN THE GLOVER ROAD RIGHT-OF-WAY WEST ACROSS LA CHOLLA AND NORTH TO SUPPLY DOMESTIC WATER TO THIS SUBDIVISION. THE WATER MAIN SHALL BE PLACED OUTSIDE OF PAVEMENT IN THE WESTERN LA CHOLLA RIGHT OF WAY.
- THE WATER MAIN EXTENSION SHALL BE DESIGNED SO THAT CONNECTIONS AT GLOVER AND THE ENTRY ROAD HAVE MODIFIED DRAIN VALVE ASSEMBLIES WEST AND NORTH, RESPECTIVELY.
- EASEMENTS SHALL BE GRANTED TO THE ORO VALLEY WATER UTILITY AT THE NORTHERN END OF THE EAST AND WEST CUL-DE-SACS TO THE NORTHERN PROPERTY LINE. THE WATER MAINS IN THESE TWO STREETS SHALL BE CONSTRUCTED WITH MODIFIED DRAIN VALVE ASSEMBLIES AND BE SIZED FOR FUTURE EXTENSIONS TO THE NORTH.

# CONCEPTUAL SITE PLAN RANCHO DE PLATA

## LOTS 1 THROUGH 50 AND COMMON AREAS A THROUGH B OV112-022



**LEGEND**

- DIRECTION OF STORM WATER FLOW
- CENTERLINE
- SECTION LINE
- BUILDING SETBACK LINE (20' FRONT YARD, 20' REAR YARD, 5' SIDEYARDS)
- LOT LINES
- PROPERTY BOUNDARY
- EXISTING RIGHT OF WAY LINE
- PROPOSED RIGHT OF WAY LINE
- GRADING LIMIT - DAYLIGHT LINE (CUT AREA)
- GRADING LIMIT - DAYLIGHT LINE (FILL AREA)
- EXISTING SEWER MAIN
- PROPOSED SEWER MAIN
- EXISTING WATER MAIN
- PROPOSED WATER MAIN
- EXISTING 100 YR. FLOOD PLAINS W/DISCHARGE GREATER THAN 50 CFS
- PROPOSED 100 YR. FLOOD PLAINS W/DISCHARGE GREATER THAN 50 CFS
- EXISTING OVERHEAD ELECTRIC LINE
- SHEET MATCH LINE
- LOT NUMBER
- ZONING
- CRITICAL RESOURCES OPEN SPACE (COMMON AREA "A")
- TIER 2 OPEN SPACE (COMMON AREA "B")
- IMPROVED WALKING PATH
- RIP RAP
- PROPOSED PAVEMENT
- LOT GRADING HIGH POINT/ GRADE BRAKE, ELEVATION, AND DIRECTION OF FLOW
- SITE GRADING LOW POINT, ELEVATION, AND DIRECTION OF FLOW

**SHEET INDEX**

- CSP-1 COVER SHEET
- CSP-2 ONSITE PLAN
- CSP-3 ONSITE PLAN
- CSP-4 OFF-SITE PLAN



**OWNER**  
 RANCHO DE PLATA LLC, 378 N. MAIN AVE., TUCSON, AZ, 85701, ylevy@comcast.net, 520-400-6064.

**DEVELOPER**  
 MERITAGE HOMES CONSTRUCTION, 3275 W. INA RD., STE. 220, TUCSON, AZ, 85741, jeff.grostein@meritagehomes.com, 520-225-6822

**ENGINEER**  
 CPE CONSULTANTS LLC, 378 N. MAIN AVE., TUCSON, AZ, 85701, ron.asto@cpeconsultants.com, 520-545-7001



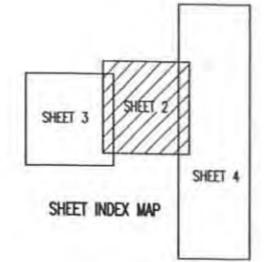
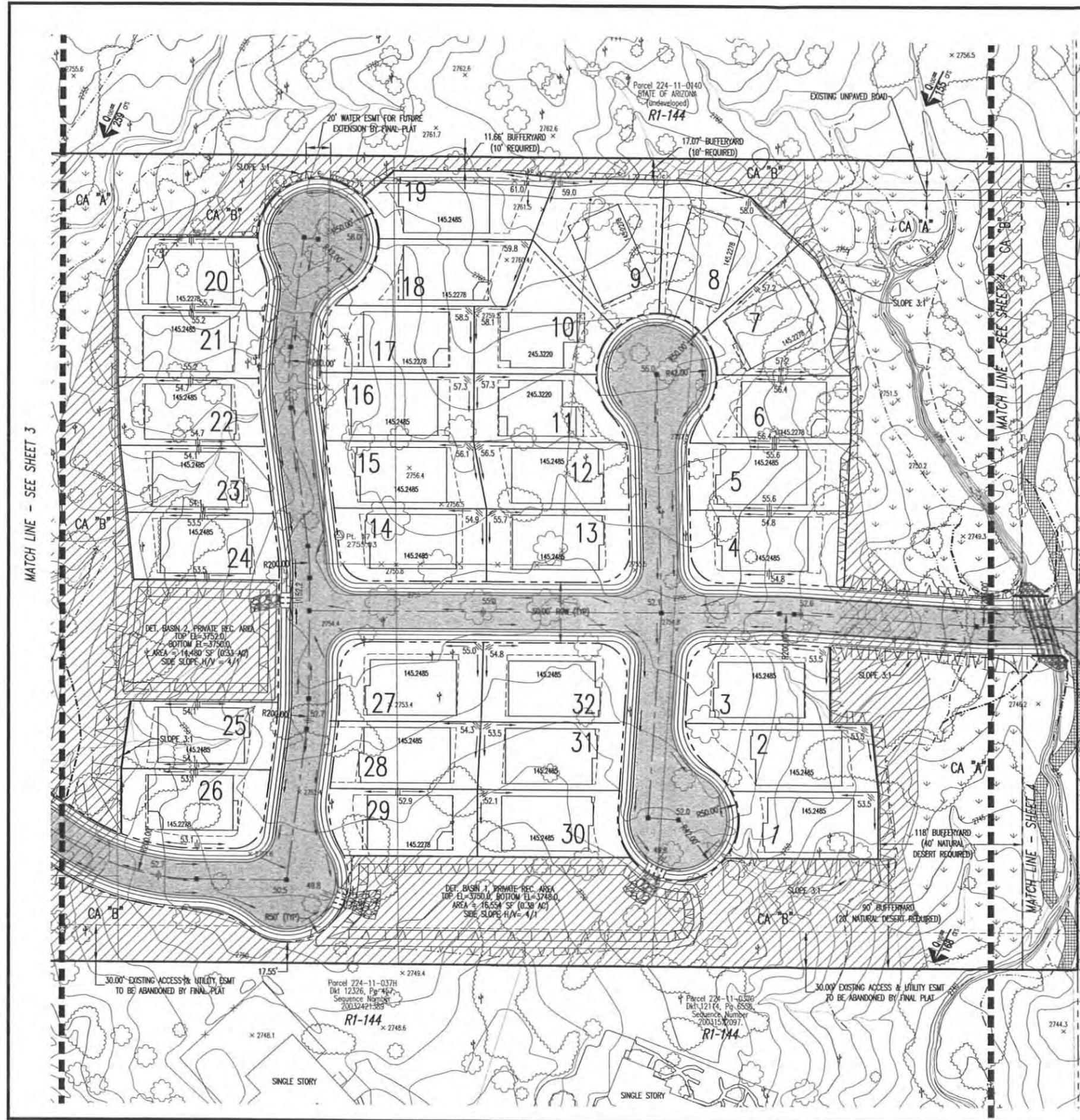
OV1111-001; OV911-05

**CONCEPTUAL SITE PLAN  
RANCHO DE PLATA**

LOTS 1 THROUGH 50 AND COMMON AREAS A THROUGH B  
 A PORTION OF SECTION 4, T-12-S, R-13-E, G & S. R. M.,  
 TOWN OF ORO VALLEY, PIMA COUNTY, AZ

DATE: 10/2012
CPE J# 292
SCALE:
CONTOUR INTERVAL:
SHEET   OF

PROJECT CASE NUMBER: **ATTACHMENT 2**



MATCH LINE - SEE SHEET 3

MATCH LINE - SEE SHEET 4

MATCH LINE - SHEET 5

**CPE CONSULTANTS**

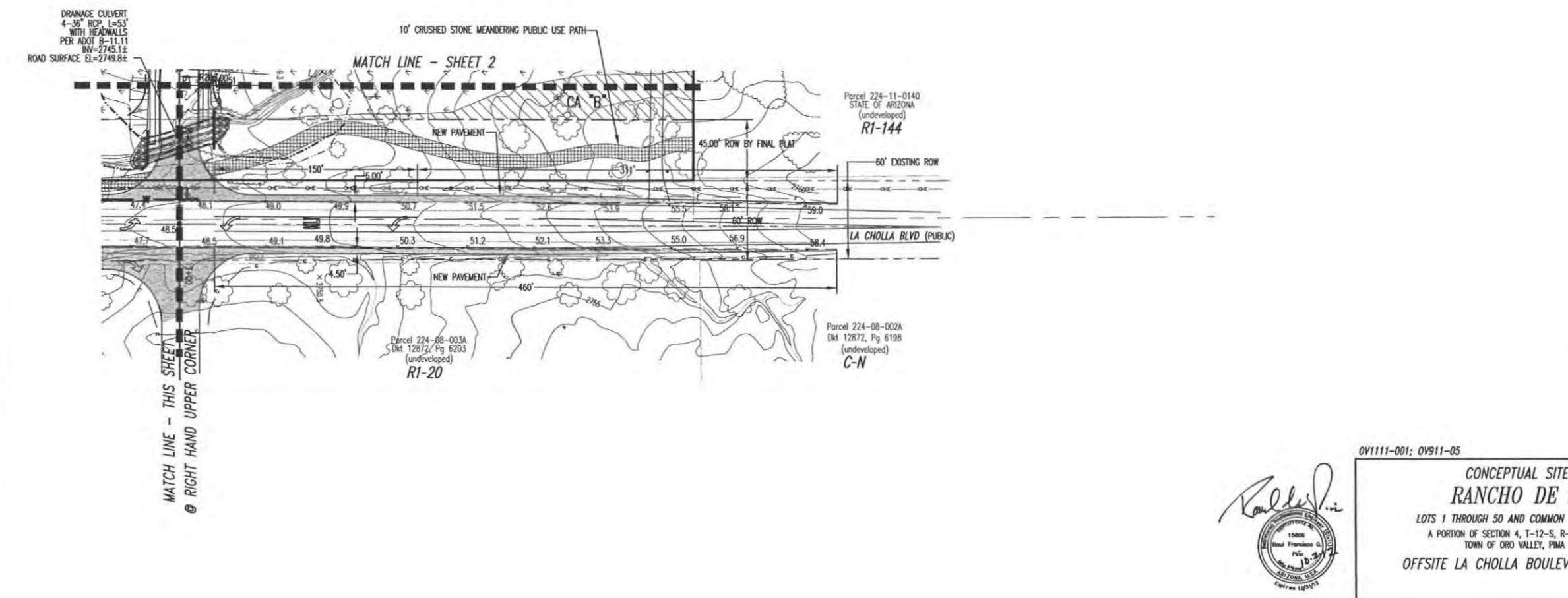
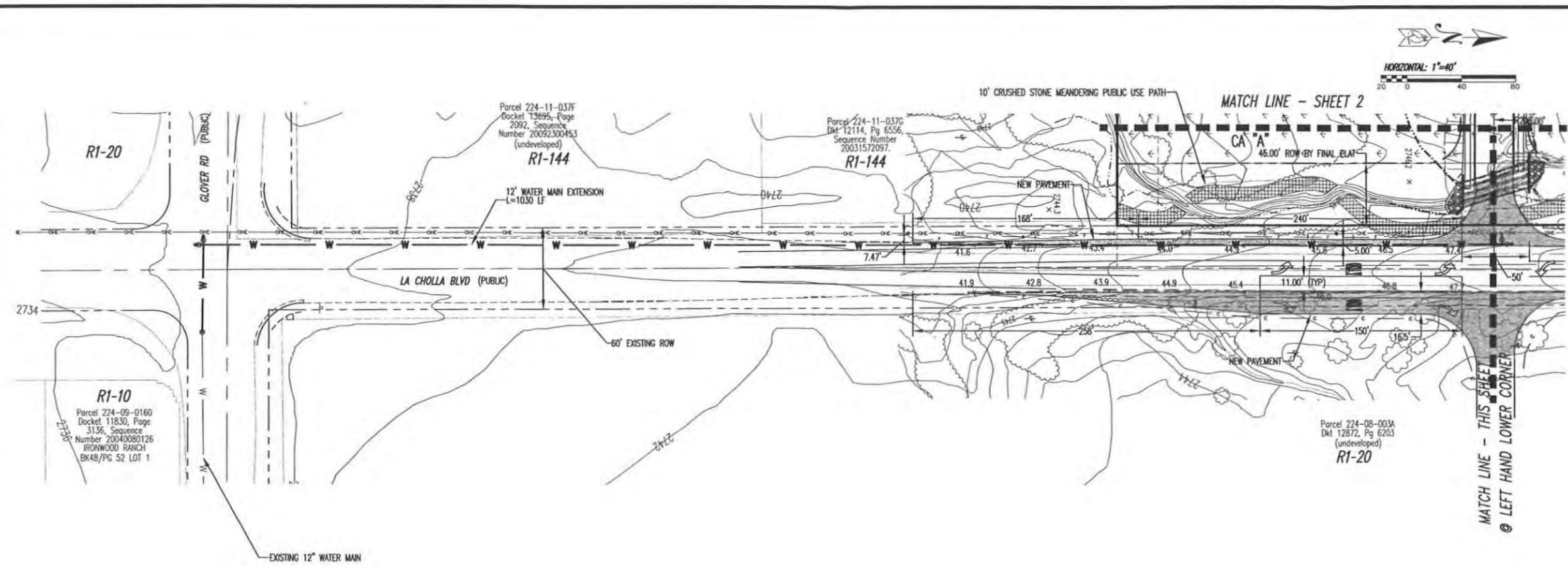
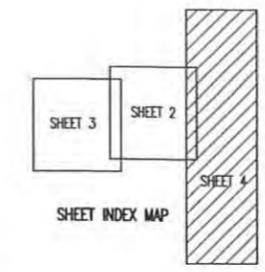
CPE CONSULTANTS, L.L.C.  
378 NORTH MAIN AVENUE  
TUCSON, ARIZONA 85701  
520.545.7001



OV1111-001; OV9111-05

CONCEPTUAL SITE PLAN <b>RANCHO DE PLATA</b> LOTS 1 THROUGH 30 AND COMMON AREAS A THROUGH B A PORTION OF SECTION 4, T-12-S, R-13-E, G & S. R. M., TOWN OF ORO VALLEY, PIMA COUNTY, AZ		DATE: 10/2012
SITE LAYOUT (EAST PART) LOTS 1 THRU 32		CPE J# 292
PROJECT CASE NUMBER: OV112-022		SCALE: 1"=40'
		CONTOUR INTERVAL: 1 F
SHEET	OF	
2	4	





**CPE CONSULTANTS**

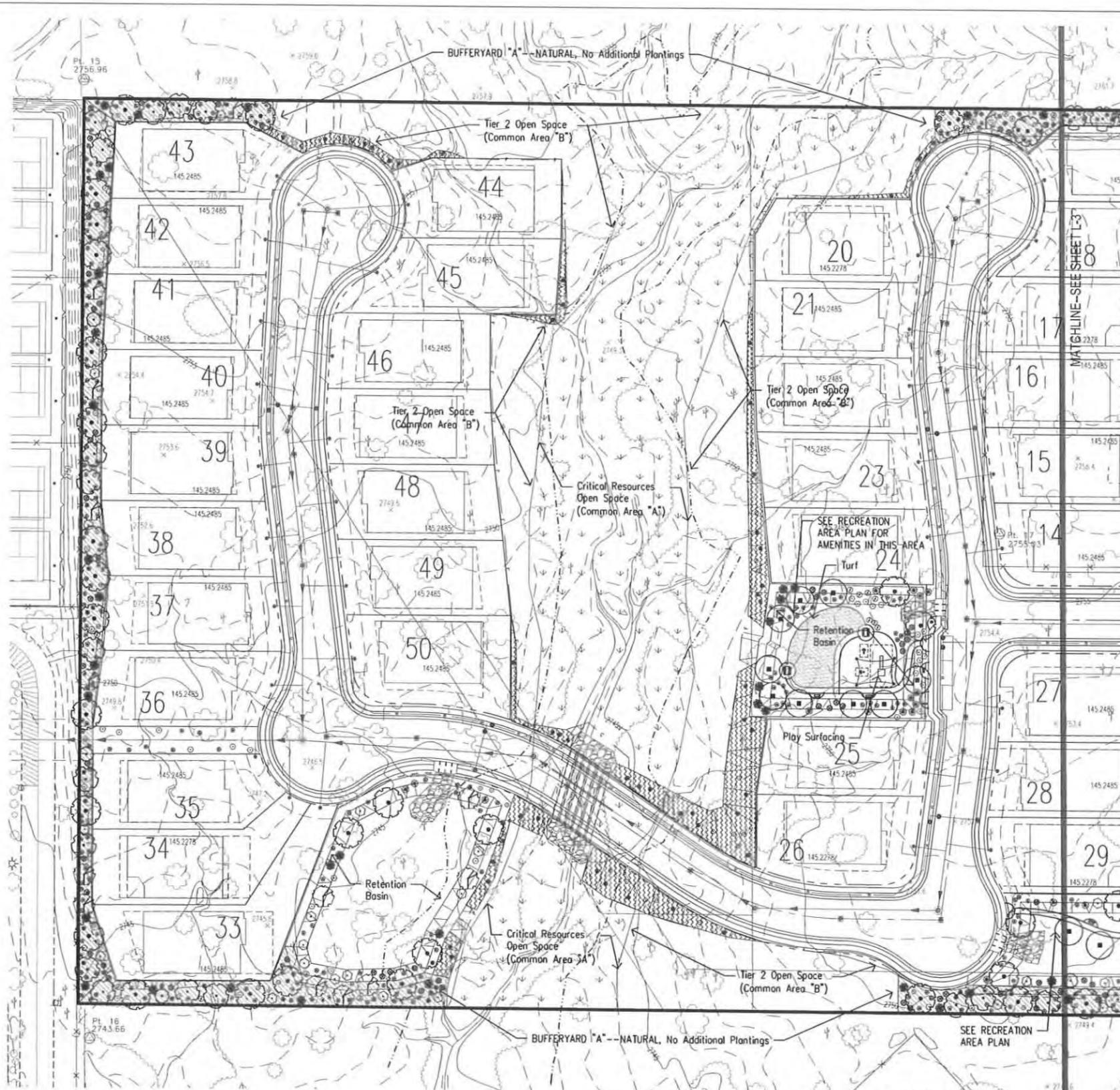
CPE CONSULTANTS, LLC.  
378 NORTH MAIN AVENUE  
TUCSON, ARIZONA 85701  
520.545.7001



OV1111-001; OV9111-05

<b>CONCEPTUAL SITE PLAN</b> <b>RANCHO DE PLATA</b> LOTS 1 THROUGH 50 AND COMMON AREAS A THROUGH B A PORTION OF SECTION 4, T-12-S, R-13-E, G & S. R. M., TOWN OF ORO VALLEY, PINA COUNTY, AZ <b>OFFSITE LA CHOLLA BOULEVARD IMPROVEMENT</b>		DATE: 10/2012
		CPE # 292
PROJECT CASE NUMBER: OV112-022		SCALE: 1"=40'
SHEET 4 OF 4		CONTOUR INTERVAL: 1 F





### PLANT SCHEDULE

Botanical Name	Common Name	Quantity	Size	Water Use Type (needs)	ADWR Annual Use at Maturity (gallons)	Annual Water Use (gallons)	Monthly Water Use (gallons)
<b>Trees:</b>							
Acacia constricta	Whitehorn Acacia	10	5 gallon	1	1754	17540	1462
Acacia greggii	Catalaw Acacia	15	15 gallon	1-2	1754	25310	2103
Cercidium floridum	Blue Palo Verde	15	15 gallon	2-3	5702	85530	7128
Cercidium microphyllum	Foothills Palo Verde	26	15 gallon	1	1754	45604	3800
Prosopis velutina	Velvet Mesquite	41	15 gallon	2	5702	233762	19482
<b>Shrubs:</b>							
Calliandra eriophylla*	Fairy Duster Desert	76	5 gallon	1	70	5320	443
Celtis pallida*	Hackberry	31	5 gallon	1-2	634	19854	1638
Dalea frutescens	Black Dalea	25	5 gallon	2	158	3950	329
Larrea tridentata*	Creosote Bush	40	5 gallon	1	632	25280	2107
<b>Accents/Cacti:</b>							
Baileya multiradiata*	Desert Marigold	234	1 gallon	2	13	3042	254
Carnegia gigantea	Saguaro	80	transplant	1	2741	219260	18273
Ferocactus wislizenii	Barrel Cactus	137	transplant	1	10	1370	114
Hesperaloe parryi	Cholla	24	5 gallon	1-2	110	2640	220
Penstemon parryi	Parry's Penstemon	102	1 gallon	2	13	1326	111
Sphaeralcea ambigua	Globe Mallow	37	1 gallon	1	39	1443	120
<b>Total Water at Maturity</b>						692071	57674

\* Fulfills Understory Requirement for Mitigation Trees

- Revegetation Area--
- Graded Cut and Fill Slopes to be Native Seeded (non-irrigated)
- Transplanted Cacti from Site--Saguaros and Barrels

### REVEGETATION SEED MIX

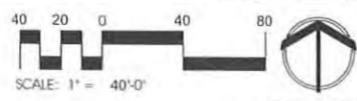
Botanical Name	Common Name	PLS per Acre
<b>Shrubs:</b>		
Ambrosia deltoidea	Triangle Leaf Bursage	1.0
Atriplex canescens	Salt Bush	1.0
Encelia farinosa	Brittlebush	1.0
Larrea tridentata	Creosote Bush	2.0
<b>Small Perennials:</b>		
Baileya multiradiata	Desert Marigold	1.0
Datura wrightii	Sacred Datura	1.0
Glandularia gooddingii	Goodding's Verbena	1.0
Sphaeralcea ambigua	Desert Globemallow	2.0
<b>Perennial Grasses:</b>		
Aristida purpurea	Purple Three Awn	1.5
Bouteloua curtipendula	Side Oats Grama	1.0
Leptochloa dubia	Green Sprangletop	1.0
Sporobolus cryptandrus	Sand Dropseed	1.5
<b>Annual Herbs and Grasses:</b>		
Eschscholtzia mexicana	Mexican Poppy	1.0
Lupinus sparsiflorus	Desert Lupine	1.0
Penstemon parryi	Parry's Penstemon	1.0
Plantago insularis	Indian Wheat	1.0
Proboscidea parviflora	Devil's Claw	1.0

### SIGNIFICANT VEGETATION SUMMARY

Significant Cacti Inventoried	Preserve in Place (PIP)	Transplant on Site (TOS)	Total Disturbed (M)	% Disturbed	Mitigation Ratio	Mitigation Total	Mitigation Size	Understory Mitigation
178	37	116	22	11%	1:1	22	See Landscape Plan	
Significant Plants Inventoried	Preserve in Place (PIP)	Transplant on Site (TOS)	Total Disturbed (M)	% Disturbed	Mitigation Ratio	Mitigation Total	Mitigation Size	Understory Mitigation
5 Cercidium microphyllum	0	3	5	100%	2:1	10	70% 36" box 7 30% 48" box 3	50
2 Prosopis velutina	0	0	2	100%	2:1	4	70% 36" box 3 30% 48" box 1	30

**LANDSCAPE NOTES:**  
 1. All planted bufferyards to have 2" of decomposed granite or screened landscape rock as the groundplane treatment. Color to be desert tan.  
 2. Retention basin groundplane treatment to be raked earth in the bottom and decomposed granite or screened landscape rock on the side slopes and top areas. The middle basin is a special case where turfgrass is installed in the bottom for recreation use. This recreation use basin will also have play surfacing in place under the proposed play equipment (See Recreation Area Plans).

THIS PLAN IS FOR GOVERNMENT REVIEW ONLY. NOT FOR CONSTRUCTION.



REVIEWS / SUBMITTALS  
 10/22/12 Revised per On Valley Planning comments

**Novak Environmental, Inc.**  
 4574 North First Avenue, Suite #100  
 Tucson, AZ 85718  
 Tel: 520.206.0591  
 Fax: 520.882.3006

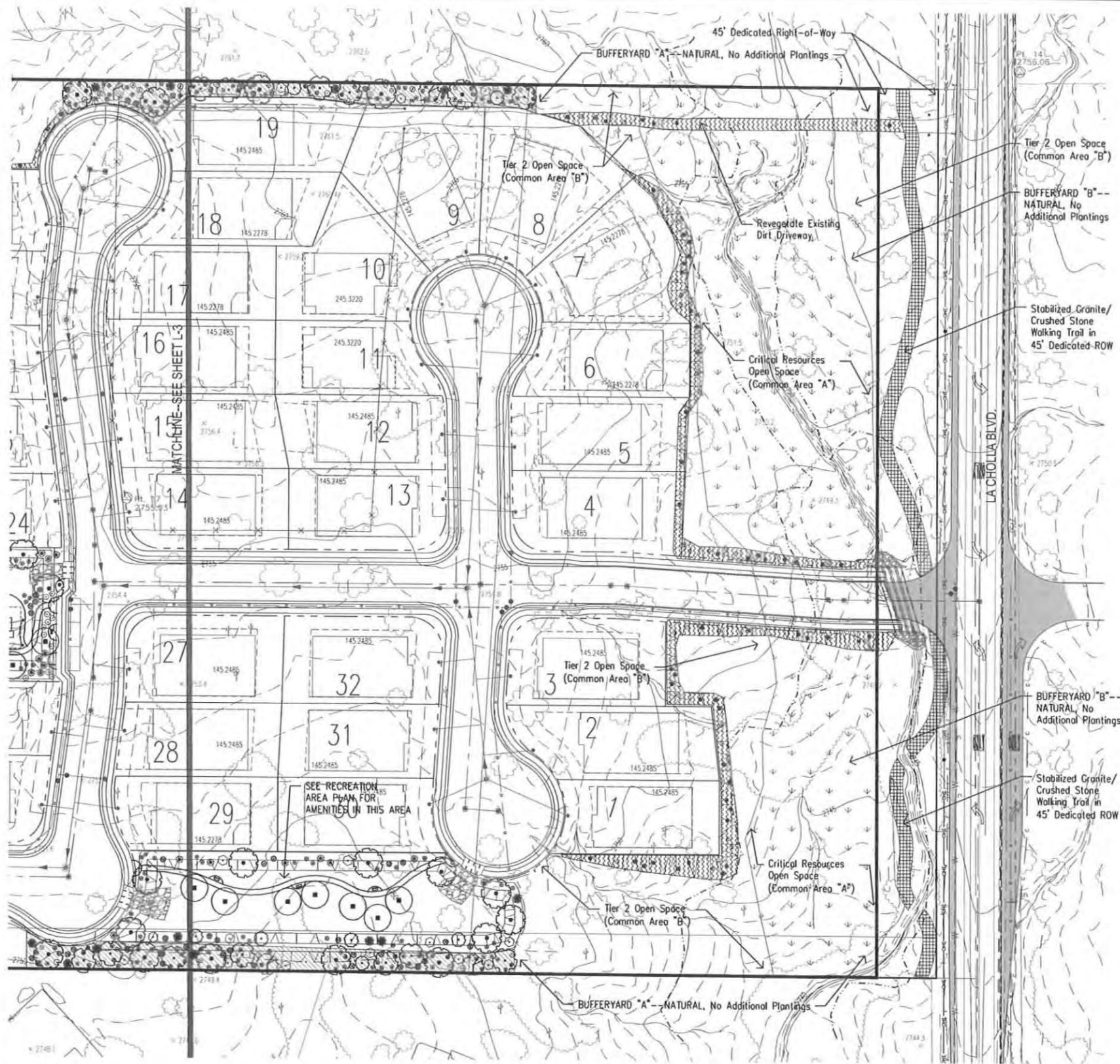
Landscaping Architecture • Natural Resources • Planning • Mitigation

**RANCHO DE PLATA**  
 11791 N. La Cholla Blvd.  
**LANDSCAPE PLAN**



DESIGNED BY: TC  
 DRAWN BY: TC  
 CHECKED BY: KMC  
 DATE: 10/2/12  
 JOB NO.: 12022  
 SHEET NUMBER  
**L-2**  
 2 OF 5

NOTICE OF PREPARATION, AUTHORIZATION, INCORPORATION, AND SUBMITTALS: THE DESIGNER HAS CONDUCTED VISUAL AND PHYSICAL IMPACT ANALYSES AND HAS PREPARED THIS LANDSCAPE ARCHITECTURE PLAN. THE DESIGNER HAS CONDUCTED VISUAL AND PHYSICAL IMPACT ANALYSES AND HAS PREPARED THIS LANDSCAPE ARCHITECTURE PLAN. THE DESIGNER HAS CONDUCTED VISUAL AND PHYSICAL IMPACT ANALYSES AND HAS PREPARED THIS LANDSCAPE ARCHITECTURE PLAN.



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**PLANT SCHEDULE**

Botanical Name	Common Name	Quantity	Size	Water Use Type (needs)	ADWR Annual Use at Maturity (gallons)	Annual Water Use (gallons)	Monthly Water Use (gallons)
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Acacia greggii	Catclaw Acacia	15	15 gallon	1-2	1754	26310	2193
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Cercidium microphyllum	Foothills Palo Verde	20	15 gallon	1	1754	45004	3800
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<b>Total Water at Maturity*</b>						692071	57674

\* Fulfills Understory Requirement for Mitigation Trees

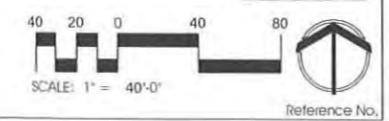
Revegetation Area-- Graded Cut and Fill Slopes to be Native Seeded (non-irrigated)

Transplanted Cacti from Site--Saguaros and Barrels

**REVEGETATION SEED MIX**

Botanical Name	Common Name	PLS per Acre
<b>Shrubs:</b>		
Ambrosia deltoidea	Triangle Leaf Bursage	1.0
Atriplex canescens	Salt Bush	1.0
Encelia farinosa	Brittlebush	1.0
Larrea tridentata	Creosote Bush	2.0
<b>Small Perennials:</b>		
Baileya multiradiata	Desert Marigold	1.0
Datura wrightii	Sacred Datura	1.0
Glandularia gooddingii	Goodding's Verbena	1.0
Sphaeralcea ambigua	Desert Globemallow	2.0
<b>Perennial Grasses:</b>		
Aristida purpurea	Purple Three Awn	1.5
Bouteloua curtipendula	Side Oats Grama	1.0
Leptochloa dubia	Green Spangletop	1.0
Sporobolus cryptandrus	Sand Dropseed	1.5
<b>Annual Herbs and Grasses:</b>		
Eschscholtzia mexicana	Mexican Poppy	1.0
Lupinus sparsiflorus	Desert Lucine	1.0
Penstemon parryi	Parry's Penstemon	1.0
Plantago insularis	Indian Wheat	1.0
Proboscidea parviflora	Devil's Claw	1.0

THIS PLAN IS FOR GOVERNMENT REVIEW ONLY. NOT FOR CONSTRUCTION.



REVISIONS / SUBMITTALS  
 10/22/12 Revised per On-Valley Planning comments

**Novak Environmental, Inc.**  
 4574 North First Avenue, Suite #100  
 Tucson, AZ 85718  
 Tel: 520.206.0591  
 Fax: 520.882.3006  
 Landscape Architecture • Planning • Mitigation



**RANCHO DE PLATA**  
 11791 N. La Cholla Blvd.  
**LANDSCAPE PLAN**

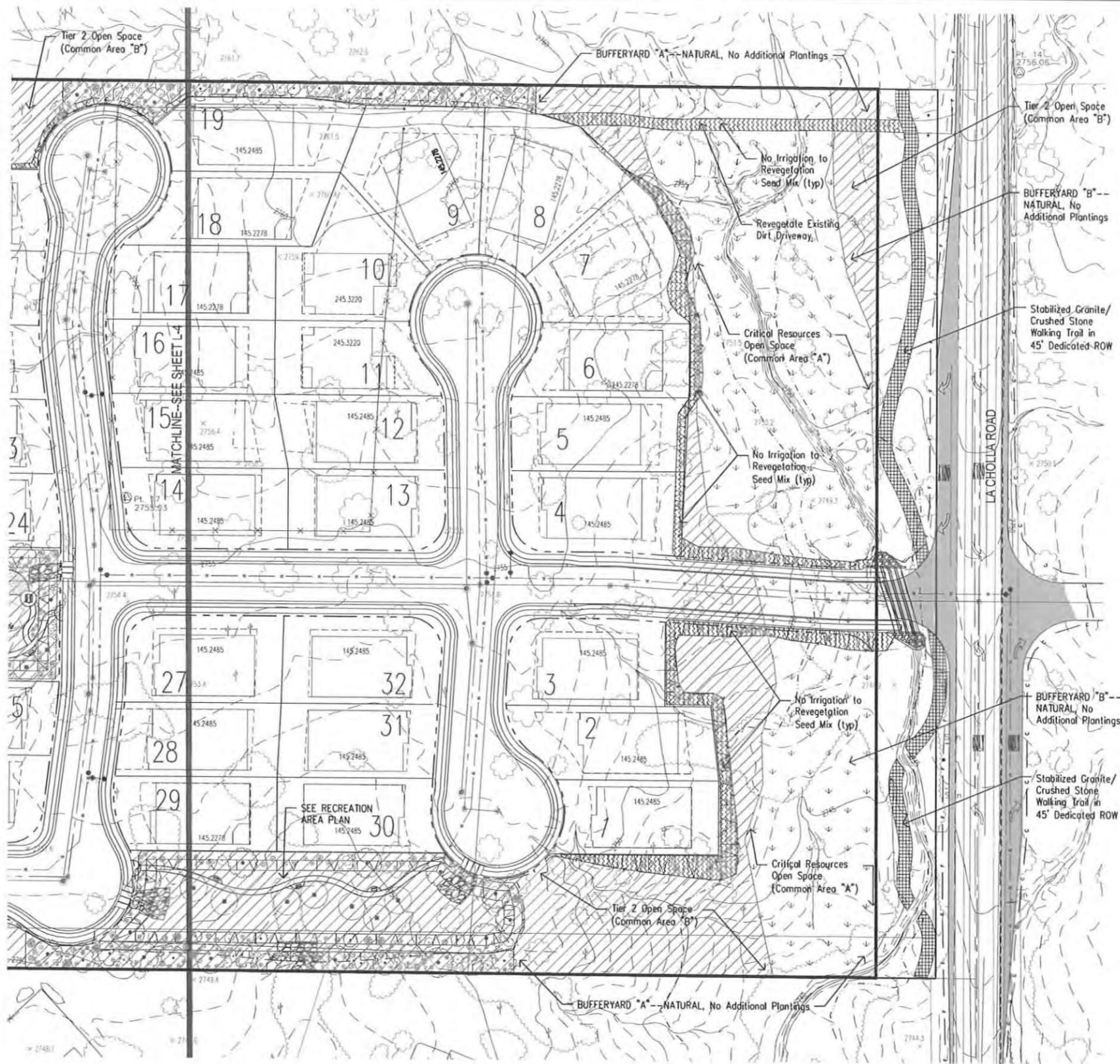


DESIGNED BY: TC  
 DRAWN BY: TC  
 CHECKED BY: KMC  
 DATE: 10/2/12  
 JOB NO.: 12022  
 SHEET NUMBER

**L-3**  
 3 OF 5



IRRIGATION SCHEDULE



REVISIONS / SUBMITTALS

**Novak Environmental, Inc.**  
 4574 North First Avenue, Suite # 100  
 Tucson, AZ 85718  
 Tel: 520.206.0591  
 Fax: 520.882.3006  
 Landscape Architecture • Natural Resources • Planning • Migration

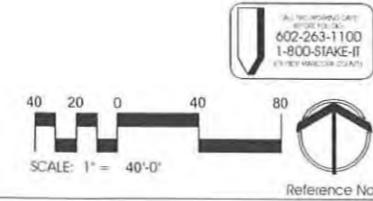


**RANCHO DE PLATA**  
 11791 N. La Cholla Blvd.  
 IRRIGATION PLAN



DESIGNED BY: TC  
 DRAWN BY: TC  
 CHECKED BY: KMC  
 DATE: 10/2/12  
 JOB NO.: 12022

SHEET NUMBER  
**L-5**  
 5 OF 5

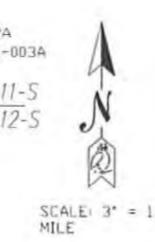
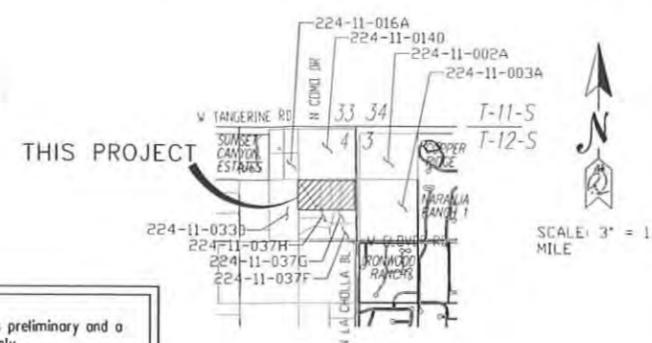


NOTICE OF DEANING AUTHORITY: THE ENGINEER IS A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF ARIZONA. ALL WORK SHALL BE IN ACCORDANCE WITH THE PROFESSIONAL ENGINEERING ACT AND THE RULES OF THE BOARD OF PROFESSIONAL ENGINEERS OF THE STATE OF ARIZONA. THE ENGINEER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ENGINEER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ENGINEER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.

# RECREATION AREA-- ACTIVE PLAY

## RECREATION AREA PLANS for RANCHO DE PLATA

LOTS 1 THROUGH 50 AND COMMON AREAS A THROUGH B  
OVXXXX-XX

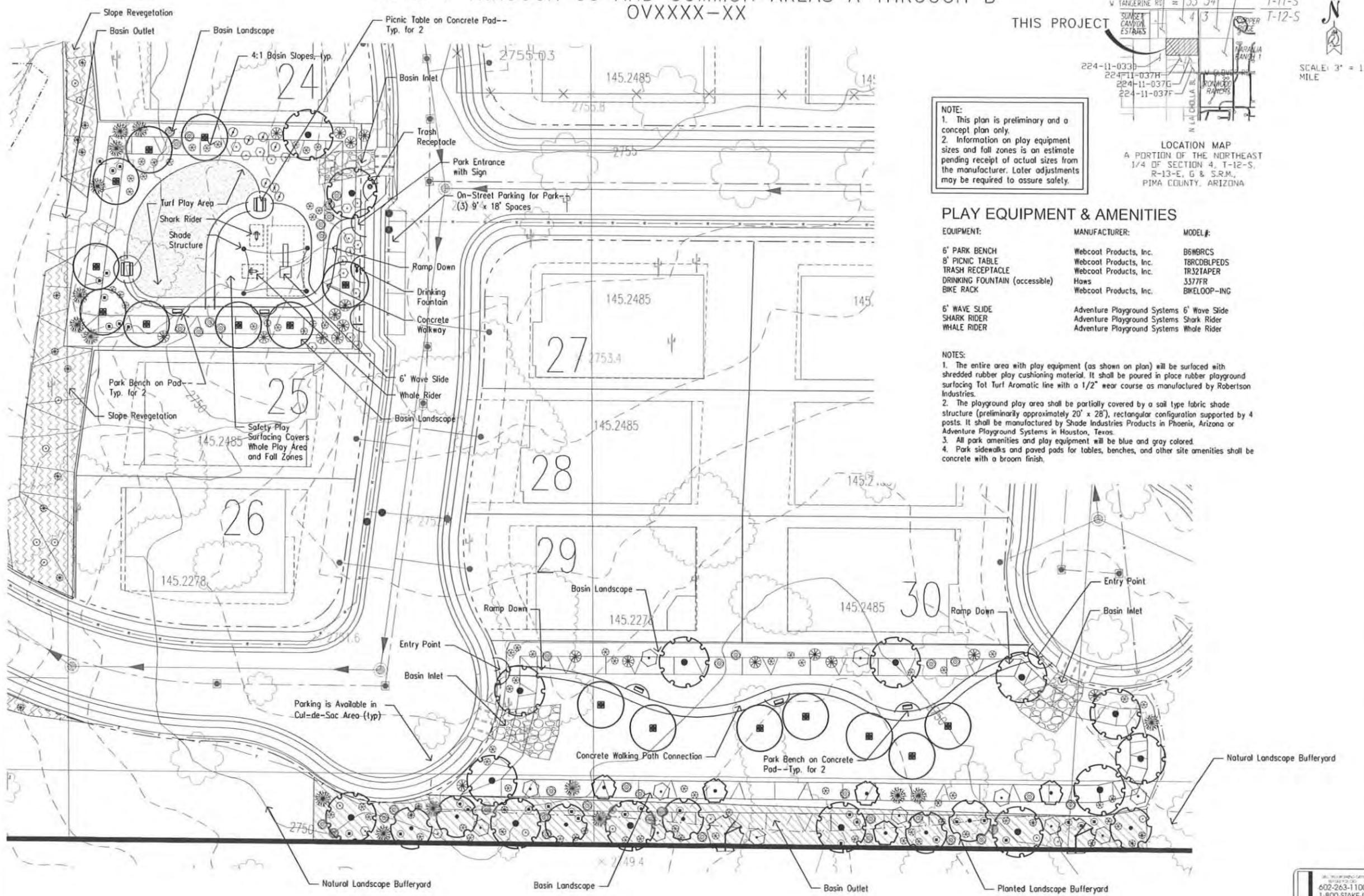


**NOTE:**  
1. This plan is preliminary and a concept plan only.  
2. Information on play equipment sizes and fall zones is an estimate pending receipt of actual sizes from the manufacturer. Later adjustments may be required to assure safety.

**PLAY EQUIPMENT & AMENITIES**

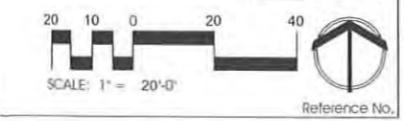
EQUIPMENT:	MANUFACTURER:	MODEL#:
6' PARK BENCH	Webcoat Products, Inc.	B6WBRCS
8' PICNIC TABLE	Webcoat Products, Inc.	T8RCDBLPEDS
TRASH RECEPTACLE	Webcoat Products, Inc.	TRJ2TAPER
DRINKING FOUNTAIN (accessible)	Haws	3377FR
BIKE RACK	Webcoat Products, Inc.	BKELoop-ING
6' WAVE SLIDE	Adventure Playground Systems	6' Wave Slide
SHARK RIDER	Adventure Playground Systems	Shark Rider
WHALE RIDER	Adventure Playground Systems	Whale Rider

**NOTES:**  
1. The entire area with play equipment (as shown on plan) will be surfaced with shredded rubber play cushioning material. It shall be poured in place rubber playground surfacing Tot Turf Aromatic line with a 1/2" wear course as manufactured by Robertson Industries.  
2. The playground play area shall be partially covered by a sail type fabric shade structure (preliminarily approximately 20' x 28'), rectangular configuration supported by 4 posts. It shall be manufactured by Shade Industries Products in Phoenix, Arizona or Adventure Playground Systems in Houston, Texas.  
3. All park amenities and play equipment will be blue and gray colored.  
4. Park sidewalks and paved pads for tables, benches, and other site amenities shall be concrete with a broom finish.



THIS PLAN IS FOR GOVERNMENT REVIEW ONLY. NOT FOR CONSTRUCTION.

# RECREATION AREA-- PASSIVE USE



REVISING / SUBMITTALS  
10/22/12 Revised per City Valley Planning comments

**Novak Environmental, Inc.**  
4574 North First Avenue, Suite #100  
Tucson, AZ 85718  
Tel: 520.206.0591  
Fax: 520.882.3006  
Landscape Architecture • Planning • Migration

**RANCHO DE PLATA**  
11791 N. La Cholla Blvd.  
RECREATION AREA PLAN

DESIGNED BY: TC  
DRAWN BY: TC  
CHECKED BY: KMC  
DATE: 10/2/12  
JOB NO.: 12022  
SHEET NUMBER  
**R-1**  
1 of 1

NOTICE OF DESIGN, SURVEYING, ENGINEERING, ARCHITECTURE, AND LANDSCAPE ARCHITECTURE: THIS PLAN IS A PRELIMINARY CONCEPT PLAN. IT IS NOT TO BE USED FOR CONSTRUCTION. ANY CHANGES TO THIS PLAN SHALL BE MADE BY THE DESIGNER. THE DESIGNER IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS PLAN. THE DESIGNER'S LIABILITY IS LIMITED TO THE SERVICES PROVIDED BY THE DESIGNER. THE DESIGNER'S LIABILITY IS LIMITED TO THE SERVICES PROVIDED BY THE DESIGNER. THE DESIGNER'S LIABILITY IS LIMITED TO THE SERVICES PROVIDED BY THE DESIGNER.



Development and Infrastructure Services

Rancho de Plata Neighborhood Meeting: Summary Notes  
October 30<sup>th</sup>, 2012, 6:00-7:00PM

Two interested parties were in attendance.

Vice Mayor Lou Waters and Council Members Mike Zinkin and Joe Hornat were also in attendance.

### Introductions

Chad Daines, Principal Planner, provided a meeting overview and explained the meeting format.

### Part I Process Overview

Hillary Turby, Senior Planner, provided a power point presentation on the following topics:

- Location
- Process
- Public Participation Opportunities
- Conceptual Design Evaluation Criteria
- Next Steps

### Part II Discussion

A question was raised about potential traffic increases.

David Laws, Town Engineer, responded that a TIA report was submitted with the application.

A question was raised about the projects conceptual architecture and how the designs relate to the existing flat roof homes south of the site.

A representative with Meritage Homes responded, by saying that the builder was providing 12 distinct elevations, and that each was compliant with the southwestern style proscribed in the Town Council's rezoning conditions.

A comment was made about wall height and "four-sided" architecture.

The applicant responded that all corner lots, those which would be affected by "four-sided" regulations, would be single story and would fully address this design stipulation.

The meeting was adjourned at 8:30PM.

Planning (520) 229-4821    Permitting (520) 229-4815    Inspection & Compliance (520) 229-4815    Engineering (520) 229-4894    Operations (520) 229-5070    Transit (520) 229-4990

*Caring for our heritage, our community, our future.*

11000 N. La Cañada Drive • Oro Valley, Arizona 85737  
fax: (520) 742-1022 • [www.orovalleyaz.gov](http://www.orovalleyaz.gov)



**Town Council Regular Session**

**Item # 12.**

**Meeting Date:** 01/16/2013

**Requested by:** Amanda Jacobs **Submitted By:** Amanda Jacobs, Town Manager's Office

**Department:** Town Manager's Office

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**Information**

**SUBJECT:**

DISCUSSION AND POSSIBLE ACTION REGARDING EXTENSION OF THE TEMPORARY USE OF A-FRAMES, NON-PROFIT SIGNS AND OUTDOOR DISPLAYS UNTIL FEBRUARY 3, 2014

**RECOMMENDATION:**

Staff recommends the temporary use of A-frames, non-profit signs and outdoor displays be extended for one year, until February 3, 2014.

**EXECUTIVE SUMMARY:**

The Oro Valley Zoning Code Revised (OVZCR) does not permit outdoor displays or A-frames; however, on September 21, 2011, Council approved the temporary use of outdoor displays and A-frames for Oro Valley businesses. On February 1, 2012, Council expanded the temporary use of A-frame signs to include non-profit organizations. As part of the temporary relief, certain fees and administrative reviews are waived and the only requirement is a permit for tracking purposes. These temporary sign relief measures are scheduled to expire February 1, 2013.

**BACKGROUND OR DETAILED INFORMATION:**

Since Council approved the temporary use of A-frames, non-profit signs and outdoor displays, the following permits have been received:

A-frames: 47 businesses

Non-profit: 2 businesses

Outdoor displays: 21 businesses

Staff analyzed a sampling of 12 sales tax generating businesses in each of the following categories: 1) businesses that applied for A-frame sign permits; and 2) businesses that applied for outdoor display permits. The analysis showed that the businesses that applied for A-frame sign permits averaged a \$3,000 annual increase in reported sales taxes to the Town from FY 10/11 to FY 11/12. Those businesses that applied for outdoor display permits averaged an \$8,174 annual increase in reported sales taxes to the Town from FY 10/11 to FY 11/12.

Fees and administrative reviews have been waived for outdoor display and non-profit A-frame permits. A one-time \$50 fee is charged for users of A-frame signs. and an over-the-counter (or walk-in) review is completed prior to permit issuance.

**FISCAL IMPACT:**

The Town currently collects a one time \$50 permit fee for A-frames and waives the permit fee for outdoor displays and non-profit A-frames.

**SUGGESTED MOTION:**

I MOVE to (approve or deny) the extension the temporary use of A-frame signs, non-profit signs and outdoor displays until February 3, 2014.

---



**Town Council Regular Session**

Item # **13. a.**

**Meeting Date:** 01/16/2013  
**Requested by:** Catherine Vorrasi  
**Submitted By:** Catherine Vorrasi, Parks Recreations Library CR  
**Department:** Parks Recreations Library CR

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**Information**

**SUBJECT:**

RESOLUTION NO. (R)13-05, DECLARING AS A PUBLIC RECORD THAT CERTAIN DOCUMENT OF THE ORO VALLEY TOWN CODE ENTITLED CHAPTER 16, PARKS AND RECREATION, SECTION 6-1-2 PARK OPERATIONS, ATTACHED HERETO AS EXHIBIT "A" AND FILED WITH THE TOWN CLERK

**RECOMMENDATION:**

Staff recommends approval.

**EXECUTIVE SUMMARY:**

This is a procedural item to declare the Town Code amendment for Chapter 16, Parks and Recreation, Section 6-1-2, Park Operations a matter of public record. The draft amendment is available for public inspection in the office of the Town Clerk. If adopted, the final version, as approved by Town Council, will be made available in the same manner.

**BACKGROUND OR DETAILED INFORMATION:**

This proposed resolution will become a public record upon adoption by Town Council. The Town will save on advertising costs, since if the Town Council adopts this Resolution, the Town will forgo publishing the entire amendment (Exhibit A) in print form. The adopted version will be published on the Town website.

**FISCAL IMPACT:**

The Town will save on advertising costs by meeting publishing requirements by reference, without including the pages of amendments.

**SUGGESTED MOTION:**

I MOVE to (adopt or deny) RESOLUTION NO. (R)13-05, DECLARING AS A PUBLIC RECORD THAT CERTAIN DOCUMENT OF THE ORO VALLEY TOWN CODE ENTITLED CHAPTER 16, PARKS AND RECREATION, SECTION 6-1-2 PARK OPERATIONS, ATTACHED HERETO AS EXHIBIT "A" AND FILED WITH THE TOWN CLERK.

---

**Attachments**

(R)13-05 Declaring Section 6-1-2 a Public Record  
EXHIBIT A

---

**RESOLUTION NO. (R)13-05**

**A RESOLUTION OF THE MAYOR AND COUNCIL OF THE TOWN OF ORO VALLEY, ARIZONA, DECLARING AS A PUBLIC RECORD THAT CERTAIN DOCUMENT OF THE ORO VALLEY TOWN CODE ENTITLED CHAPTER 16, PARKS AND RECREATION, SECTION 6-1-2 PARK OPERATIONS, ATTACHED HERETO AS EXHIBIT "A" AND FILED WITH THE TOWN CLERK**

**BE IT RESOLVED BY THE MAYOR AND COUNCIL OF THE TOWN OF ORO VALLEY, ARIZONA**, that certain document of the Oro Valley Town Code, entitled Chapter 16, Parks and Recreation, Section 16-1-2, Park Operations, attached hereto as Exhibit "A", three copies of which are on file in the Office of the Town Clerk, is hereby declared to be a public record, and said copies are ordered to remain on file with the Town Clerk.

**PASSED AND ADOPTED** by the Mayor and Town Council of the Town of Oro Valley, Arizona this 16<sup>th</sup> day of January, 2013.

**TOWN OF ORO VALLEY**

\_\_\_\_\_  
Dr. Satish I. Hiremath, Mayor

**ATTEST:**

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Julie K. Bower, Town Clerk

\_\_\_\_\_  
Tobin Sidles, Interim Town Attorney

Date: \_\_\_\_\_

Date: \_\_\_\_\_

# EXHIBIT “A”

**ORDINANCE NO. (O)13- \_\_\_\_\_**

**AN ORDINANCE OF THE TOWN OF ORO VALLEY, ARIZONA  
AMENDING ORO VALLEY TOWN CODE, SECTION 16-1-2,  
PARK OPERATIONS, AND REPEALING ALL RESOLUTIONS,  
ORDINANCES AND RULES OF THE TOWN OF ORO VALLEY  
IN CONFLICT THEREWITH**

**WHEREAS**, on December 18, 1996, the Town Council adopted (R)96-54 that enacted the Parks and Recreation's Park Operations; and

**WHEREAS**, the Mayor and Council desire to amend the Oro Valley Town Code, Chapter 16, Parks and Recreation, Section 16-1-2 Park Operations in order to establish hours of operations for the new Aquatics Center under subsection 16-1-2 (C); and

**WHEREAS**, the proposed park hours for the Oro Valley Aquatics Center will be from 5:00 am to 10:00 pm, Monday through Sunday; and

**WHEREAS**, the Parks and Recreation Director will be given discretion to modify the new hours and for all programs and special events at the Oro Valley Aquatics Center

**NOW, THEREFORE BE IT ORDAINED** by the Mayor and Council of the Town of Oro Valley, Arizona, that certain document known as the "Oro Valley Town Code", Section 16-1-2, Park Operations is hereby amended as follows:

**SECTION 1.** Section 16-1-2 is amended to read as follows, with additions being shown in ALL CAPS and deletions being shown in ~~Strikethrough text~~:

**16-1-2 Park Operations**

A. Hours. No person shall trespass upon or be on the grounds, of any municipal park between the hours of 10:00 p.m. and 6:00 a.m. Sunday through Saturday, unless such person has received written permission from the Town. All activities sponsored or co-sponsored by the Town of Oro Valley, are exempt. However, the park in question will close immediately upon completion of the activity. The total number of people admitted for any usage shall not exceed the capacity of the facility involved as determined by an official designated by the ~~Parks and Recreation Administrator~~ **PARKS AND RECREATION DIRECTOR** or the Fire District.

B. Closing of Parks. Any park or portion of a park may be declared closed to the public by the Town or any agent of the Town, including the police department at any time and for any interval of time, either temporarily or at regular and stated intervals (daily or

otherwise), and either entirely or merely to certain users, as the Town shall find reasonably necessary; no person shall enter any closed area of a park if such entry is prohibited; nor shall any person utilize any portion of a park if such utilization is prohibited.

C. ORO VALLEY AQUATICS CENTER HOURS OF OPERATION. THE ORO VALLEY AQUATICS CENTER SHALL BE OPEN TO THE PUBLIC FROM THE HOURS OF 5:00 A.M. TO 10:00 P.M., MONDAY THROUGH SUNDAY. THE ORO VALLEY PARKS AND RECREATION DIRECTOR SHALL HAVE DISCRETION TO MODIFY THESE NORMAL HOURS FOR ALL PROGRAMS AND/OR SPECIAL EVENTS HELD AT THE ORO VALLEY AQUATICS CENTER.

**SECTION 2.** Pursuant to ARS § 41-1346, the Town shall maintain efficient record management for local public records and it has been determined that this Ordinance is a public record with three copies of said Ordinance to remain on file in the office of the Town Clerk.

**SECTION 3.** All Oro Valley Ordinances, Resolutions, or Motions and parts of Ordinances, Resolutions, or Motions of the Council in conflict with the provisions of this Ordinance are hereby repealed.

**SECTION 4.** If any section, subsection, sentence, clause, phrase or portion of this Ordinance is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions thereof.

**PASSED AND ADOPTED** by Mayor and Town Council, the Town of Oro Valley, Arizona, this \_\_\_\_ day of \_\_\_\_\_, 2013.

**TOWN OF ORO VALLEY**

\_\_\_\_\_  
Dr. Satish I. Hiremath, Mayor

**ATTEST:**

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Julie K. Bower, Town Clerk

\_\_\_\_\_  
Tobin Sidles, Interim Town Attorney

Date: \_\_\_\_\_

Date: \_\_\_\_\_



**Town Council Regular Session**

Item # **13. b.**

**Meeting Date:** 01/16/2013

**Submitted By:** Catherine Vorrasi, Parks Recreations Library CR

**Department:** Parks Recreations Library CR

---

**Information**

**SUBJECT:**

PUBLIC HEARING: ORDINANCE NO. (O)13-01, AMENDING ORO VALLEY TOWN CODE, SECTION 16-1-2, PARK OPERATIONS, AND REPEALING ALL RESOLUTIONS, ORDINANCES AND RULES OF THE TOWN OF ORO VALLEY IN CONFLICT THEREWITH

**RECOMMENDATION:**

Staff recommends approval.

**EXECUTIVE SUMMARY:**

Currently, the Oro Valley Aquatics Center hours are not set forth in Town Code. With no previously established hours, the facility has historically followed the operational hours as set forth in the Code for parks, which is 6:00 A.M. to 10:00 P.M.

The attached Ordinance will amend Town Code, Section 16-1-2 and establish Aquatics Center operational hours from 5:00 A.M. to 10:00 P.M., Monday through Sunday. Additionally, the Parks and Recreation Director will have discretion to modify the hours of operation based on events or programming needs.

**BACKGROUND OR DETAILED INFORMATION:**

The Aquatics Center expansion will be completed in March of 2013 and will include significant improvements and additions to the facility. The Department is already experiencing an increase in interest at the local, national and international level in utilizing the Aquatics Center as a training and event location. The recommended hours of operation will provide opportunities to capture the market of swimmers, teams, training groups, schools, universities, event promoters and other organizations who are looking for this type of training, competition and recreation facility.

**FISCAL IMPACT:**

Hours of operation from 5:00 A.M. to 10:00 P.M., Monday through Sunday will allow greater flexibility in programming and scheduling of swim teams, especially during peak seasons. The Aquatics Center's cost recovery levels are expected to maintain and, over time, improve based on this programming flexibility and the fact that the Center is attractive to a wider customer base because of the potential for a 5:00 A.M. start time.

**SUGGESTED MOTION:**

I MOVE to (adopt or deny) ORDINANCE NO. (O)13-01, AMENDING ORO VALLEY TOWN CODE, SECTION 16-1-2, PARK OPERATIONS, AND REPEALING ALL RESOLUTIONS, ORDINANCES AND RULES OF THE TOWN OF ORO VALLEY IN CONFLICT THEREWITH.

---

**Attachments**

(O)13-01 Amending Section 16-1-2 Park Operations

---

**ORDINANCE NO. (O)13-01**

**AN ORDINANCE OF THE TOWN OF ORO VALLEY, ARIZONA  
AMENDING ORO VALLEY TOWN CODE, SECTION 16-1-2,  
PARK OPERATIONS, AND REPEALING ALL RESOLUTIONS,  
ORDINANCES AND RULES OF THE TOWN OF ORO VALLEY  
IN CONFLICT THEREWITH**

**WHEREAS**, on December 18, 1996, the Town Council adopted (R)96-54 that enacted the Parks and Recreation's Park Operations; and

**WHEREAS**, the Mayor and Council desire to amend the Oro Valley Town Code, Chapter 16, Parks and Recreation, Section 16-1-2 Park Operations in order to establish hours of operations for the new Aquatics Center under subsection 16-1-2 (C); and

**WHEREAS**, the proposed park hours for the Oro Valley Aquatics Center will be from 5:00 am to 10:00 pm, Monday through Sunday; and

**WHEREAS**, the Parks and Recreation Director will be given discretion to modify the new hours and for all programs and special events at the Oro Valley Aquatics Center

**NOW, THEREFORE BE IT ORDAINED** by the Mayor and Council of the Town of Oro Valley, Arizona, that certain document known as the "Oro Valley Town Code", Section 16-1-2, Park Operations is hereby amended as follows:

**SECTION 1.** Section 16-1-2 is amended to read as follows, with additions being shown in ALL CAPS and deletions being shown in ~~Strikethrough text~~:

**16-1-2 Park Operations**

A. Hours. No person shall trespass upon or be on the grounds, of any municipal park between the hours of 10:00 p.m. and 6:00 a.m. Sunday through Saturday, unless such person has received written permission from the Town. All activities sponsored or co-sponsored by the Town of Oro Valley, are exempt. However, the park in question will close immediately upon completion of the activity. The total number of people admitted for any usage shall not exceed the capacity of the facility involved as determined by an official designated by the ~~Parks and Recreation Administrator~~ **PARKS AND RECREATION DIRECTOR** or the Fire District.

B. Closing of Parks. Any park or portion of a park may be declared closed to the public by the Town or any agent of the Town, including the police department at any time and for any interval of time, either temporarily or at regular and stated intervals (daily or

otherwise), and either entirely or merely to certain users, as the Town shall find reasonably necessary; no person shall enter any closed area of a park if such entry is prohibited; nor shall any person utilize any portion of a park if such utilization is prohibited.

C. ORO VALLEY AQUATICS CENTER HOURS OF OPERATION. THE ORO VALLEY AQUATICS CENTER SHALL BE OPEN TO THE PUBLIC FROM THE HOURS OF 5:00 A.M. TO 10:00 P.M., MONDAY THROUGH SUNDAY. THE ORO VALLEY PARKS AND RECREATION DIRECTOR SHALL HAVE DISCRETION TO MODIFY THESE NORMAL HOURS FOR ALL PROGRAMS AND/OR SPECIAL EVENTS HELD AT THE ORO VALLEY AQUATICS CENTER.

**SECTION 2.** Pursuant to ARS § 41-1346, the Town shall maintain efficient record management for local public records and it has been determined that this Ordinance is a public record with three copies of said Ordinance to remain on file in the office of the Town Clerk.

**SECTION 3.** All Oro Valley Ordinances, Resolutions, or Motions and parts of Ordinances, Resolutions, or Motions of the Council in conflict with the provisions of this Ordinance are hereby repealed.

**SECTION 4.** If any section, subsection, sentence, clause, phrase or portion of this Ordinance is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions thereof.

**PASSED AND ADOPTED** by Mayor and Town Council, the Town of Oro Valley, Arizona, this 16<sup>th</sup> day of January, 2013.

**TOWN OF ORO VALLEY**

\_\_\_\_\_  
Dr. Satish I. Hiremath, Mayor

**ATTEST:**

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Julie K. Bower, Town Clerk

\_\_\_\_\_  
Tobin Sidles, Interim Town Attorney

Date: \_\_\_\_\_

Date: \_\_\_\_\_



## Town Council Regular Session

Item # **14.**

**Meeting Date:** 01/16/2013  
**Submitted By:** Catherine Vorrasi, Parks Recreations Library CR  
**Department:** Parks Recreations Library CR

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### Information

#### **SUBJECT:**

RESOLUTION NO. (R)13-06, AMENDING THE EXISTING PARKS AND RECREATION FEE SCHEDULE TO INCREASE THE AQUATIC FACILITY USAGE FEES

#### **RECOMMENDATION:**

Staff recommends approval.

#### **EXECUTIVE SUMMARY:**

The Aquatics Center expansion will be completed in March of 2013 and will include significant improvements and additions to the facility. A new fee structure has been developed to complement the new facility and is included as Attachment 2.

Several factors were considered in the development of the recommended fees including the existing Revenue and Fee Policy, the Oro Valley Municipal Pool Study, comparison with other facilities in the market and input from the Oro Valley Pool Users Group. Finally, these fees are structured to ensure that the General Fund subsidy for the Aquatics Facility does not exceed amounts required prior to making the improvements at the facility. The fundamental goal is to provide the highest level of cost recovery for the facility while still providing an important community amenity at a reasonable cost for patrons.

#### **BACKGROUND OR DETAILED INFORMATION:**

Current and recommended fees are provided in Attachment 2. A summary of the recommended fees is shown below.

#### **DAILY ADMISSION**

Town Council-approved daily admission rates are the foundation used to develop the rate structure for the annual memberships, month-to-month memberships and punch passes. These rates are recommended at a level that will encourage patrons to select one of the membership options described below.

##### Regular Rates

YOUTH (17 & under) \$5.00  
ADULT (18-49) \$7.00  
SENIOR (50+) \$6.00

##### Oro Valley Resident\* (Discounted Rates)

YOUTH (17 & under) \$4.00  
ADULT (18-49) \$6.00  
SENIOR (50+) \$5.00

\*Proof of Town residency (Driver's license or utility bill) required to receive discounted rate.

## **ORO VALLEY AQUATICS CENTER MEMBERSHIP OPTIONS**

These options were developed for the enhanced and expanded Aquatics Center:

- **Yearly Membership:** A yearly membership includes free use of fitness equipment, such as kick boards, pull buoys and water exercise equipment. Also, members receive a 15% discount on in-house programs and multi-purpose room rentals. This membership must be paid in full at time of purchase and is non-refundable. Key fob activation fee is required.
- **Month-to-Month Membership:** A month-to-month membership includes free use of fitness equipment, such as kick boards, pull buoys and water exercise equipment. Also, members receive a 10% discount on in-house programs and multi-purpose room rentals. Membership may be cancelled anytime after first 3 months. Key fob activation fee required.
- **Punch Pass:** A 30-visit punch pass at 50% off the daily admission rate. This pass expires 60 days from the purchase date. These passes are transferable to others within the same age category.

## **LANE USAGE**

The hourly fees shown below are for the rental of pool lanes for lap swimming:

Short Course Lane (25yd)

Non-Profit: \$6/hour

For-Profit \$25/hour

Long Course Lane (50m)

Non-Profit: \$12/hour

For-Profit \$50/hour

## **FISCAL IMPACT:**

The recommended fees are structured to provide sufficient revenue to maintain the Aquatics Center General Fund subsidy at the FY 2010/11 level, which was approximately \$305,000. When the facility is fully operational next fiscal year 2013/14, the increased costs of the expanded facility will be covered by a subsidy from the Bed Tax Fund of \$150,000, with the full year operational budget for the Aquatics Center estimated at \$740,000.

## **SUGGESTED MOTION:**

I MOVE to (adopt or deny) Resolution No. (R)13-06, AMENDING THE EXISTING PARKS AND RECREATION FEE SCHEDULE TO INCREASE THE AQUATIC FACILITY USAGE FEES.

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### **Attachments**

Attachment 1 - (R)13-06 Aquatic Facility Fees

Attachment 2 - Current & Recommended Fees

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**RESOLUTION NO. (R)13-06**

**A RESOLUTION OF THE TOWN OF ORO VALLEY, ARIZONA,  
AMENDING THE EXISTING PARKS AND RECREATION FEE  
SCHEDULE TO INCREASE THE AQUATIC FACILITY USAGE  
FEES**

**WHEREAS** on October 16, 2002, the Town Council adopted Ordinance No. (O) 02-32, granting the Town Council authority to establish Parks and Recreation Facility Usage Fees by resolution; and

**WHEREAS**, on December 5, 2008 the Town Council approved Resolution No. ( R) 08-88 adopting the Town of Oro Valley Parks and Recreation Department Revenue and Fee Policy; and

**WHEREAS**, the proposed amendment to the existing Parks and Recreation fee schedule to increase the aquatic facility usage fees, attached hereto as Exhibit "A" and incorporated herein by this reference, for open/lap swim and pool lane rentals, will allow additional revenues in compliance with the Parks and Recreation Revenue and Fee Policy.

**NOW THEREFORE, BE IT RESOLVED by the Mayor and Town Council of the Town of Oro Valley, Arizona that:** the proposed amendment to the existing Parks and Recreation fee schedule, attached hereto as Exhibit "A" and incorporated herein by this reference, is hereby authorized and approved.

**PASSED AND ADOPTED** by the Mayor and Town Council of the Town of Oro Valley, Arizona, this 16<sup>th</sup> day of January, 2013.

**TOWN OF ORO VALLEY**

\_\_\_\_\_  
Dr. Satish I. Hiremath, Mayor

**ATTEST:**

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Julie K. Bower, Town Clerk

\_\_\_\_\_  
Tobin Sidles, Interim Town Attorney

Date: \_\_\_\_\_

Date: \_\_\_\_\_

# EXHIBIT A

## Daily Admission

### RECOMMENDED:

	Regular Rate	Oro Valley Resident* (Discounted Rates)
YOUTH (17 & under)	\$5.00	\$4.00
ADULT (18-49)	\$7.00	\$6.00
SENIOR (50+)	\$6.00	\$5.00

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## Lane Usage

### RECOMMENDED:

	<u>Non-Profit</u>	<u>For-Profit</u>
Short Course Lane (25yd)	\$6/hour	\$25/hour
Long Course Lane (50m)	\$12/hour	\$50/hour

## Attachment B

### Proposed Aquatic Center Fee Increases March 8, 2013

#### Daily Admission

**Current:**

	Regular Rate	Oro Valley Resident* (Discounted Rates)
CHILDREN (12 & under)	\$2.25	\$1.75
ADULT (18-49)	\$4.00	\$3.50
SENIOR/TEEN	\$2.75	\$2.25

**RECOMMENDED:**

	Regular Rate	Oro Valley Resident* (Discounted Rates)
YOUTH (17 & under)	\$5.00	\$4.00
ADULT (18-49)	\$7.00	\$6.00
SENIOR (50+)	\$6.00	\$5.00

#### Lane Usage

**Current:**

	<u>Non-Profit</u>	<u>For-Profit</u>
Short Course Lane (25yd)	\$5/hour	\$25/hour
Long Course Lane (50m)	\$10/hour	\$50/hour

**RECOMMENDED:**

	<u>Non-Profit</u>	<u>For-Profit</u>
Short Course Lane (25yd)	\$6/hour	\$25/hour
Long Course Lane (50m)	\$12/hour	\$50/hour

#### \*NEW\* Membership Options

	Punch Pass	Month-to-Month	Yearly (15% OFF!)	Oro Valley Resident* (Discounted Rates)		
				Punch Pass	Month-to-Month	Yearly (15% OFF!)
ADULT (18-49)	\$105	\$40	\$408	<b>\$90</b>	<b>\$35</b>	<b>\$357</b>
SENIOR/YOUTH	\$90	\$30	\$306	<b>\$75</b>	<b>\$25</b>	<b>\$255</b>
COUPLE	N/A	\$52	\$530	<b>N/A</b>	<b>\$47</b>	<b>\$480</b>
FAMILY (up to four)	N/A	\$85	\$867	<b>N/A</b>	<b>\$80</b>	<b>\$816</b>
+ FAMILY MEMBER	N/A	\$20	\$204	<b>N/A</b>	<b>\$15</b>	<b>\$153</b>

\*Proof of Town residency (Driver's license or utility bill) required to receive discounted rate.



**Town Council Regular Session**

**Item # 15.**

**Meeting Date:** 01/16/2013  
**Requested by:** Councilmember Bill Garner & Councilmember Brendan Burns  
**Submitted By:** Julie Bower, Town Clerk's Office  
**Department:** Town Clerk's Office

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**Information**

**SUBJECT:**

REAPPOINTMENT OF GIL ALEXANDER TO THE CONCEPTUAL DESIGN REVIEW BOARD (CDRB)

**RECOMMENDATION:**

N/A

**EXECUTIVE SUMMARY:**

Mr. Alexander was appointed to the newly formed CDRB on June 1, 2011 for a term expiring December 31, 2012. On October 5, 2012 Mr. Alexander requested reappointment to the CDRB; however, he was not reappointed at the regular Council meeting on December 5, 2012. Councilmember Garner and Councilmember Burns have requested that his reappointment be considered at the January 16, 2013 regular Council meeting. Members of the CDRB serve 3-year terms. Therefore, if Mr. Alexander is reappointed it would be to a term expiring December 31, 2015.

**BACKGROUND OR DETAILED INFORMATION:**

N/A

**FISCAL IMPACT:**

N/A

**SUGGESTED MOTION:**

I MOVE to (approve or deny) the reappointment of Gil Alexander to the Conceptual Design Review Board for a term expiring December 31, 2015.

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**Attachments**

Reappointment Request

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1546 W Moore Rd  
Oro Valley, Arizona 85755  
October 5, 2012

Julie K. Bower, MMC  
Oro Valley Town Clerk  
11000 N. La Canada Dr.  
Oro Valley, AZ 85737

Julie,

Please consider this letter as a request for the Town Council to consider my reappointment to the Oro Valley Conceptual Design Review Board at the expiration of my partial term on December 31, 2012.

It has been a rewarding effort sitting on the newly created Conceptual Design Review Board and I would like to continue my service. I believe the Board has become an effective part of the streamlined building process envisioned by the Town Council at it's creation.

I would appreciate the opportunity to participate in retaining Oro Valley's unique character.

Sincerely,



Gil Alexander

Cc: David Williams, Planning Division Manager

Greg Canton, Town Manager

TOWN OF ORO VALLEY CLERK'S OFFICE DATE RECEIVED: OCT 08 2012 BY: 
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