

GENERAL NOTES:

1. THE GROSS AREA OF DEVELOPMENT IS 1.82 ACRES.
2. GROSS FLOOR AREA IS 4,000 S.F.
3. FLOOR AREA RATIO FOR THIS DEVELOPMENT IS 0.20.
4. THE GROSS AREA OF ALL IMPERVIOUS SURFACES FOR THIS PROJECT IS 1.34 AC.
5. TOTAL MILES OF NEW PUBLIC AND/OR PRIVATE STREETS FOR THIS DEVELOPMENT IS NONE.
6. THIS PROJECT IS SUBJECT TO THE FOLLOWING: STEAM PUMP VILLAGE PAD DEVELOPMENT PLAN OV1203-16.
7. ASSURANCES FOR SITE IMPROVEMENTS, LANDSCAPING AND RE-VEGETATION BONDS MUST BE POSTED PRIOR TO ISSUANCE OF GRADING PERMITS.

PLANNING GENERAL NOTES:

8. MAXIMUM ALLOWABLE BUILDING HEIGHT FOR THIS DEVELOPMENT IS 39'. PROPOSED BUILDING HEIGHT IS 25'-6".
9. THIS DEVELOPMENT PROVIDES THE FOLLOWING:
 - TOTAL OPEN SPACE REQUIRED: 20% NET LOT AREA (15,855 S.F.)
 - TOTAL OPEN SPACE PROVIDED: 26% NET LOT AREA (20,908 S.F.)
 - TOTAL AMOUNT OF LANDSCAPED COURTYARDS REQUIRED: 1,585 S.F. (2% REQUIRED)
 - TOTAL AMOUNT OF LANDSCAPED COURTYARDS PROVIDED: 3,610 S.F. (4.56% PROVIDED)
 - LANDSCAPED BUFFER YARDS - EXISTING TO REMAIN
 - SETBACKS REQUIRED:
 - FRONT SETBACK: 120' AVERAGE
 - SIDE SETBACK: 0'
 - REAR SETBACK: 30'
10. EXISTING ZONING IS: STEAM PUMP VILLAGE P.A.D. (SECTION 10-301).
11. ALL PUBLIC ART REQUIREMENTS MUST BE MET PRIOR TO FINAL CERTIFICATE OF OCCUPANCY ISSUANCE, PER ORO VALLEY ZONING CODE REVISED SECTION 27.3.
12. ALL SOUNDING AND LIGHTING TO BE ADDRESSED AS PART OF A SEPARATE REVIEW AND APPROVAL PROCESS.

ENGINEER'S GENERAL NOTES:

13. THE DESIGN VEHICLE FOR THIS PROJECT IS SU-30. DESIGN SPEED IS 15 MPH.
14. ALL NEW PUBLIC ROADS WITHIN AND ADJACENT TO THIS PROJECT WILL BE CONSTRUCTED IN ACCORDANCE WITH APPROVED PLANS. SEPARATE PUBLIC IMPROVEMENT AND CONSTRUCTION PLANS WILL BE SUBMITTED TO THE TOWN ENGINEER'S OFFICE FOR REVIEW AND APPROVAL.
15. ANY RELOCATION OR MODIFICATION OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.

ORO VALLEY WATER GENERAL NOTES:

16. THIS DEVELOPMENT MUST COMPLY WITH THE ORO VALLEY WATER UTILITY SPECIFICATIONS MANUAL DURING ALL PHASES OF CONSTRUCTION.
17. THIS PROJECT WILL BE SERVED BY ORO VALLEY WATER UTILITY WHICH HAS BEEN DESIGNATED AS HAVING AN ASSURED 100 YEAR WATER SUPPLY BY THE DIRECTOR OF WATER RESOURCES. ANY AND ALL WELLS MUST BE ABANDONED PER ADOPTED REGULATIONS.
18. A LINE EXTENSION AGREEMENT MUST BE IN PLACE PRIOR TO ANY WORK ON THE WATER INFRASTRUCTURE BEFORE THIS PROJECT BEGINS.
19. ALL METERS SHALL HAVE A BACKFLOW PROTECTION DEVICE INSTALLED ON THE CUSTOMER SIDE OF THE METER.
20. ALL FIRE SERVICES SHALL HAVE A BACKFLOW PROTECTION DEVICE INSTALLED ON THEM.

UTILITY GENERAL NOTES:

21. SHOULD AN EASEMENT BE IN CONFLICT WITH ANY PROPOSED BUILDING LOCATION, VACATION OF THE EASEMENT IS TO OCCUR PRIOR TO ISSUANCE OF BUILDING PERMITS.

GOLDER RANCH FIRE:

22. FIRE HYDRANTS CONNECTED TO AN APPROVED WATER SUPPLY OF 1500 GPM FOR FIRE PROTECTION MUST BE INSTALLED AND IN SERVICE PRIOR TO COMBUSTIBLE MATERIAL DELIVERY TO THE SITE. TEMPORARY CONSTRUCTION OFFICE TRAILERS ARE CONSIDERED COMBUSTIBLE MATERIAL.
23. APPROVED FIRE APPARATUS ACCESS ROADS MUST BE INSTALLED AND IN SERVICE PRIOR TO COMBUSTIBLE MATERIAL DELIVERY.
24. APPROVED AUTOMATIC SPRINKLER SYSTEMS IN NEW BUILDINGS AND STRUCTURES SHALL BE PROVIDED THROUGHOUT ALL GROUP A, B, C, E, H, L, M, R, AND S OCCUPANCIES FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING HEREFTER CONSTRUCTED WITHIN OR MOVED INTO THE JURISDICTION.
25. TEMPORARY STREET SIGNS MUST BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE OF VEHICLES. ALL STRUCTURES UNDER CONSTRUCTION MUST BE CLEARLY IDENTIFIED WITH AN APPROVED ADDRESS.
26. THE INSTALLATION OF TRAFFIC CONTROL SIGNALING DEVICES AND/OR ELECTRICALLY OPERATED GATES ON FIRE APPARATUS ACCESS ROADS SHALL INCLUDE PREEMPTIVE CONTROL EQUIPMENT COMPATIBLE WITH THE FIRE DEPARTMENT'S EXISTING SYSTEM.
27. THE FOLLOWING CODES AND STANDARDS SHALL BE APPLICABLE TO THIS DEVELOPMENT:
 - 2012 INTERNATIONAL CODES WITH LOCAL AMENDMENTS
 - 2005 NATIONAL ELECTRIC CODE
 - 2010 AMERICAN DISABILITIES ACT ACCESSIBILITY GUIDELINES
 - 2006 GOLDER RANCH FIRE DISTRICT STANDARDS AND FORMS
 - 2008 TOWN OF ORO VALLEY POOL CODE
 - 2003 IBC/COD STANDARD SPECIFICATIONS & DETAILS FOR PUBLIC IMPROVEMENTS
 - 2010 TOWN OF ORO VALLEY DRAINAGE CRITERIA MANUAL
 - 2004 TOWN OF ORO VALLEY SUBDIVISION STREET STANDARDS AND POLICES MANUAL
 - TOWN OF ORO VALLEY ZONING CODE, CURRENT REVISED
 - ORO VALLEY TOWN CODE, CURRENT REVISED
 - 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

BASSIS OF BEARING:

BASSIS OF BEARING: IS THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 12 SOUTH, RANGE 14 EAST, G.A.S.R.B.M., TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA. SAID BEARING BEING: S 89°47'46" E.

BASSIS OF ELEVATION:

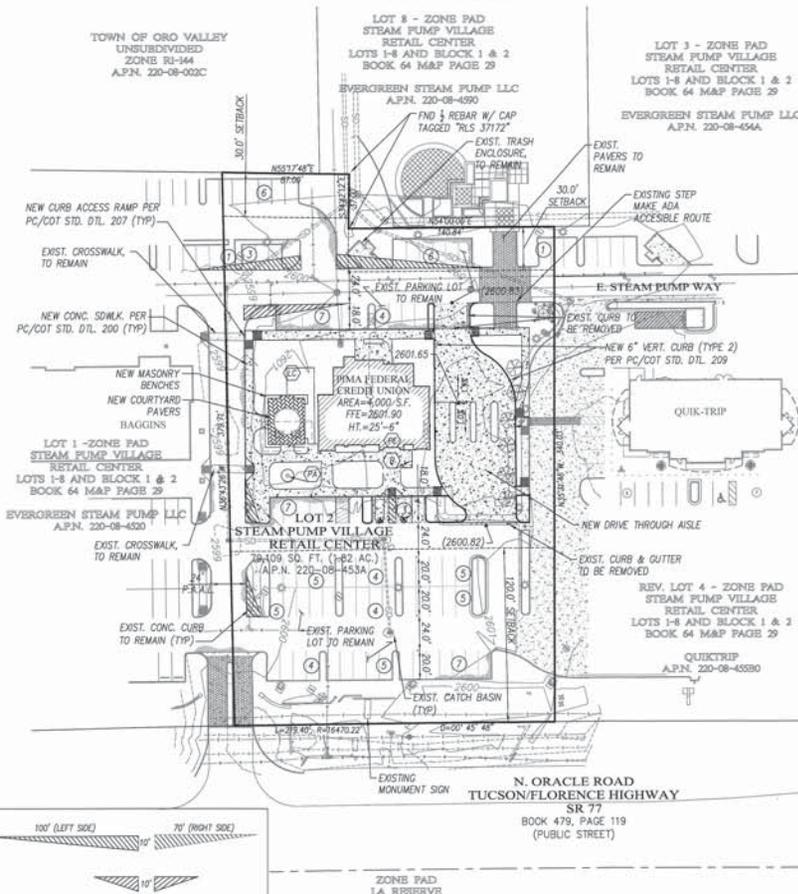
BASSIS OF ELEVATION: 2583.76, NAVD83, PIMA COUNTY GEODETIC CONTROL POINT "7221", A BRASS CAP ON THE NORTHWEST CORNER OF NARANJA DR. & MONTERRA VISTA DR.

NOTE: (PER STEAM PUMP VILLAGE SPECIFIC PLAN)

THE FOLLOWING PROVISIONS AND DESIGN REQUIREMENTS OF THE OVDZB SHALL APPLY, WITH THE FOLLOWING EXCEPTIONS:

1. A 1-1 SPACE PER 300 SQ. FT. PARKING RATIO SHALL APPLY.
2. THE LOCATION OF THE PARKING SPACES ARE TO BE DISTRIBUTED ACROSS THE SITE, WITH A GOAL OF 75% MAXIMUM OF THE SPACES OCCURRING FRONT OF THE BUILDINGS, AND 25% MINIMUM OF THE PARKING SPACES LOCATED TO THE SIDES AND REAR OF THE STRUCTURES.

CONCEPTUAL SITE PLAN FOR PIMA FEDERAL CREDIT UNION STEAM PUMP VILLAGE BRANCH OV1500642



THIS PROJECT

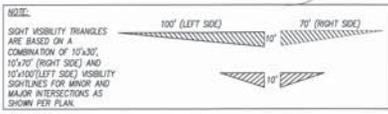
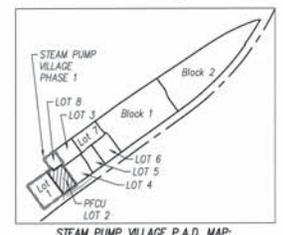


Legend:

- Property Boundary
- ▨ Existing Curb & Pavement
- ▨ New Curb & Concrete Pavement
- ▨ Existing Concrete
- ▨ New Concrete
- ⊕ Existing Water Valve
- ⊕ Existing Water Meter Box
- ⊕ Existing Fire Hydrant
- ⊕ Existing Back Flow Preventor
- ⊕ Existing Storm Drain
- ⊕ Existing Water
- ⊕ Existing Sewer
- ⊕ Existing Electric Transformer
- ⊕ Existing Irrigation Control Valve
- ⊕ Existing Sewer Manhole
- ⊕ Existing Sewer Clean-Out
- ⊕ Existing Storm Sewer Manhole
- ⊕ Existing Utility Pole with Riser
- ⊕ Existing Guy Wire Anchor
- ⊕ Existing Lightpole
- ⊕ Existing Electric Pullbox
- ⊕ Existing Communication Vault
- ⊕ Existing Sign
- ⊕ Existing CATV Pedestal
- ⊕ Existing Telephone Pedestal
- ⊕ Existing Storm Drain Catch Basin
- ⊕ Existing Gas Marker
- ⊕ Existing Handicap Parking
- ⊕ Existing Patio Verde Tree
- ⊕ Parking Count
- ⊕ Landscaped Courtyards
- ⊕ Primary Building Entrance
- ⊕ New Public Art
- ⊕ New Class B Bicycle Parking



LOCATION PLAN
A PORTION OF SECTION 7, TOWNSHIP 12 SOUTH, RANGE 14 EAST, G.A.S.R.B.M., TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA
SCALE: 1" = 1 MILE



BUILDING USE AND PARKING CALCULATIONS FOR STEAM PUMP VILLAGE PHASE 1

BUILDING	SQ. FT.	USES	REQUIRED PARKING
PAD 1	8,000	2-STORY OFFICE	8,000 S.F. / (1 SPACE PER 300 S.F.) = 27
CARPET ONE	8,000	RETAIL SHOPS	8,000 S.F. / (1 SPACE PER 300 S.F.) = 27
RETAIL 1 A	9,785	RETAIL SHOPS	9,785 S.F. / (1 SPACE PER 300 S.F.) = 33
PIMA FEDERAL CREDIT UNION	4,000	FINANCIAL INSTITUTION	4,000 S.F. / (1 SPACE PER 300 S.F.) = 14
QUICK TRIP	5,668	GAS STATION	5,668 S.F. / (1 SPACE PER 300 S.F.) = 19
TOTAL	35,453		120

USES	REQUIRED PARKING	PARKING PROVIDED
TOTAL PARKING	(120 STBL. PARK + 7 TRC) = 127	253
STANDARD AUTOMOBILE PARKING	120	244
HANDICAP PARKING	7	9
BICYCLE PARKING		8
LOADING ZONES	2	2

OWNER:
PIMA FEDERAL CREDIT UNION
6850 N. ORACLE ROAD
TUCSON, ARIZONA 85705
CONTACT: BRUCE BACA
PHONE: (320) 887-5010
EMAIL: BBACA@PIMAFEDERAL.ORG

DEVELOPER:
EVERGREEN
2300 EAST CAMELBACK ROAD
SUITE 410
PHOENIX, ARIZONA 85016
CONTACT: ANDREW GASPARRO
PHONE: (602) 808-8650
EMAIL: AGASPARRO@EVERGREEN.COM

ARCHITECT:
ROBERT BROWN ARCHITECTS
549 SOUTH 48TH STREET, SUITE 108
TUCSON, ARIZONA 85701
CONTACT: KELLY FERGUSON, AIA
PHONE: (480) 377-2222
EMAIL: KELLYFERGON@ROBARCH.COM

ENGINEER:
MARUM & ASSOCIATES ENGINEERING
2730 E. BROADWAY BLVD., STE. 250
TUCSON, AZ 85718
CONTACT: PATRICK MARUM, P.E.
PHONE: (520) 307-1832
EMAIL: PMARUM@MARUMENG.COM

OV1500642 CONCEPTUAL SITE PLAN FOR PIMA FEDERAL CREDIT UNION STEAM PUMP VILLAGE BRANCH

A PORTION OF LOT 2 OF THE FINAL PLAN FOR STEAM PUMP VILLAGE RETAIL CENTER, LOTS 1 THRU 8 AND BLOCKS 1 AND 2, AS RECORDED IN BOOK 64 OF MAPS & PLATS, PAGE 26, AND LYING WITHIN SECTION 7, TOWNSHIP 12 SOUTH, RANGE 14 EAST, G.A.S.R.B.M., TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

REF: OV115-004
OV1203-16

REV #	DESCRIPTION	DATE

PROJECT NO: 11002
DATE: 07-23-15 SCALE: AS SHOWN
DRAWN BY: PJM
CHECKED BY: AJM
THE DATE: 07-23-15
CONCEPTUAL SITE PLAN

SHT C.0

CONCEPTUAL SITE PLAN

Attachment #3

SCALE: 1" = 40'

MARUM & ASSOCIATES ENGINEERING
B.N. MARUM
2730 E. BROADWAY BLVD., SUITE 250, TUCSON, AZ 85718
PHONE: (520) 307-1832

REGISTERED PROFESSIONAL ENGINEER
NO. 1245
P.A.C.E. # 10000
EXPIRES 09-30-15

PFCU
PIMA FEDERAL CREDIT UNION
11025 N ORACLE RD
TUCSON AZ 85737-5610

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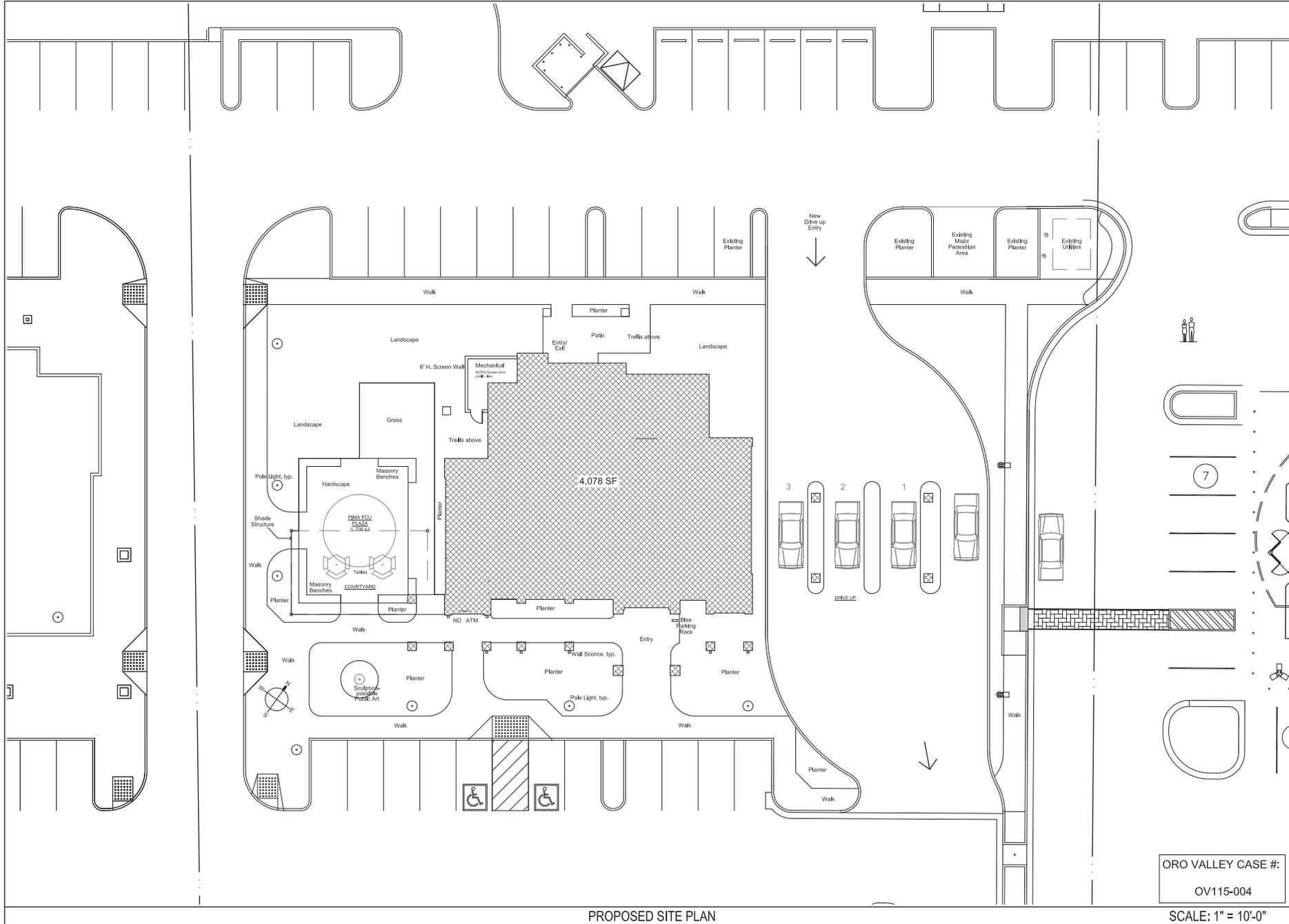
REV #	DESCRIPTION	DATE

PROJECT NO:
 DATE: 07/2015 SCALE: AS SHOWN
 DRAWN BY:
 CHECKED BY:
 SITE PLAN

ORO VALLEY CASE #:
 OV115-004

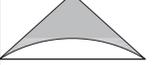
SCALE: 1" = 10'-0"

A 1.0

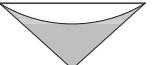


PROPOSED SITE PLAN

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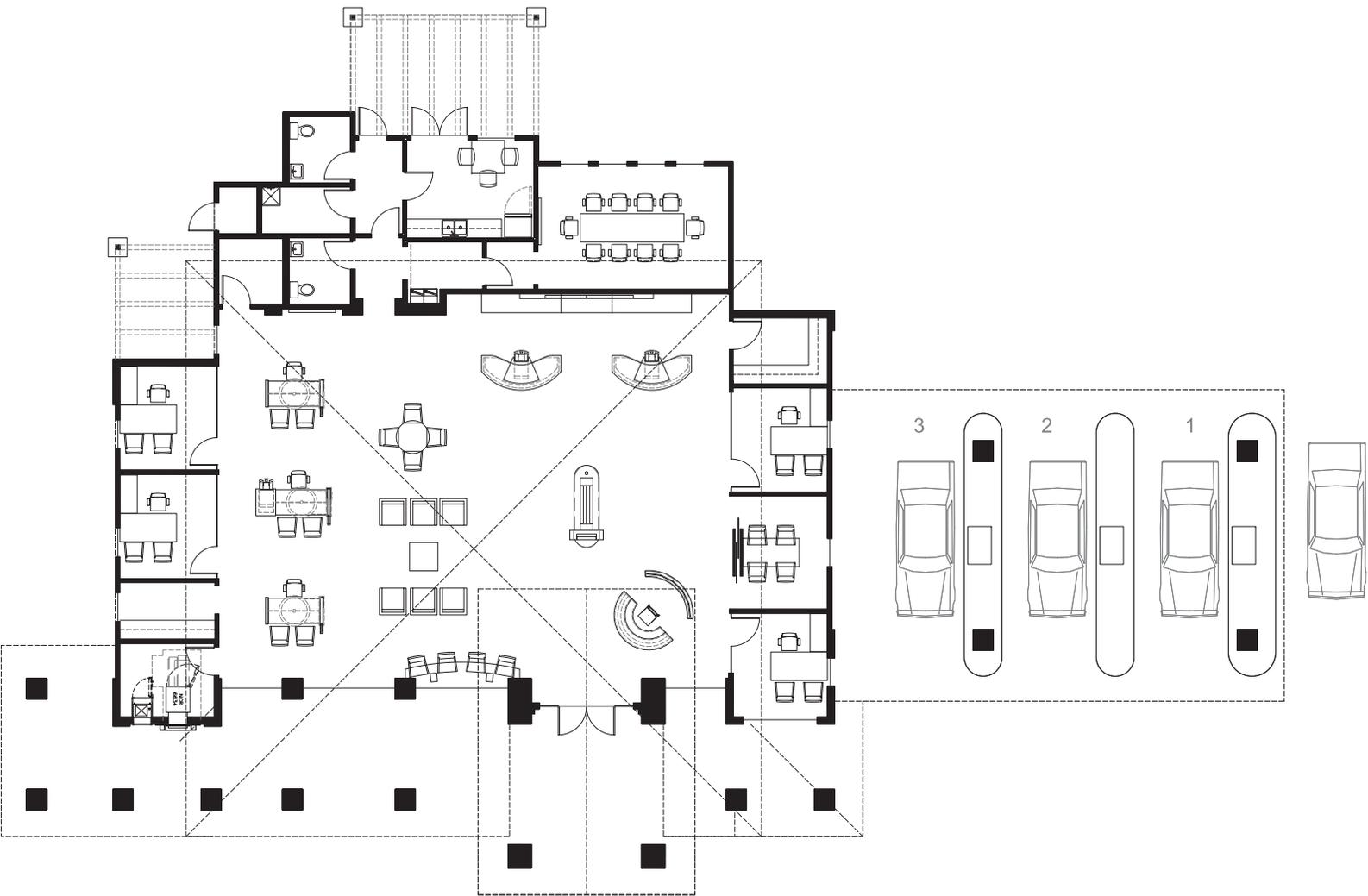


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REV #	DESCRIPTION	DATE

PROJECT NO:
 DATE: 07/2015 SCALE: AS SHOWN
 DRAWN BY:
 CHECKED BY:
 PROPOSED FLOOR PLAN

07/20/15 **A 2.0**



ORO VALLEY CASE #:
 OV115-004

PROPOSED FLOOR PLAN

SCALE: 3/16" = 1'-0"



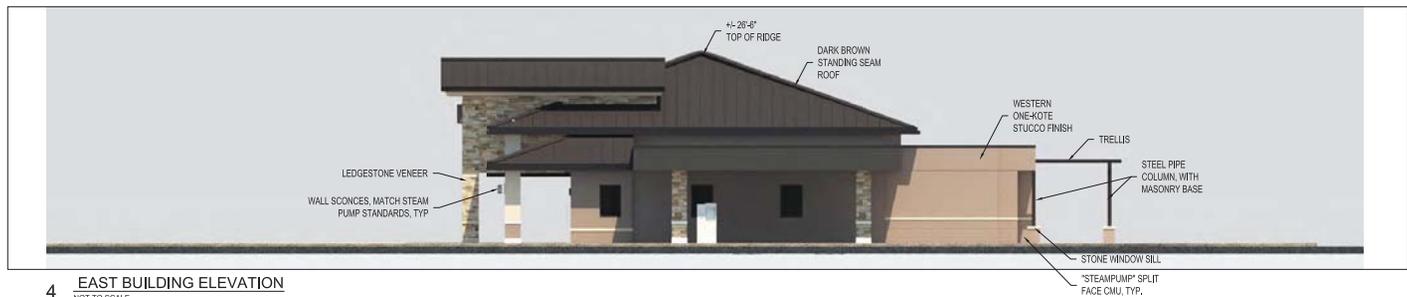
1 SOUTH BUILDING ELEVATION
NOT TO SCALE



2 WEST BUILDING ELEVATION
NOT TO SCALE



3 NORTH BUILDING ELEVATION
NOT TO SCALE



4 EAST BUILDING ELEVATION
NOT TO SCALE

PROPOSED BUILDING ELEVATIONS

FINISH SCHEDULE:

MAIN BODY STUCCO:
DRYVIT COLOR
CAYF 616

MAIN BODY PAINT (CMU):
DUNN EDWARDS
STONISH BEIGE
DEC 716 (LRV 44)

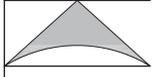
ACCENT PAINT:
DUNN EDWARDS
LOG CABIN
DEA 162 (LRV 11)

STONE VENEER:
CULTRURED STONE
CEDAR DRYPACK
LEDGESTONE
CSV-2011

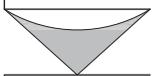
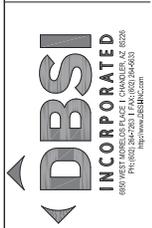
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OV115-004

SCALE: NOT TO SCALE

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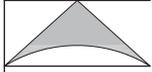
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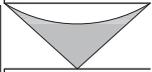
PROJECT NO:
DATE: 07/2015 SCALE: AS SHOWN
DRAWN BY:
CHECKED BY:
DATE: BUILDING ELEVATIONS

000156 **A 3.0**

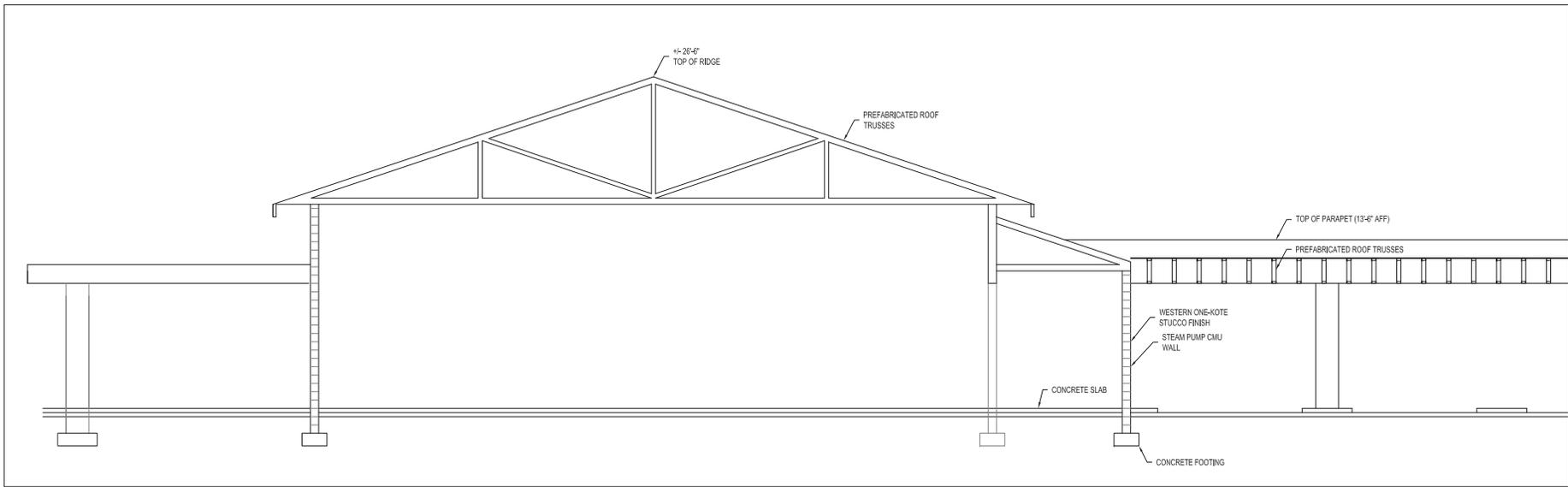
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1 BUILDING SECTION
 1/4" = 1'-0"

ORO VALLEY CASE #:
 OV115-004

PROPOSED BUILDING SECTION

SCALE: 1/4" = 1'-0"

REV #	DESCRIPTION	DATE

PROJECT NO:
 DATE: 07/2015 SCALE: AS SHOWN
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 CHECKED BY:
 TITLE: BUILDING SECTION

DATE: **A 4.0**