

**AGENDA  
ORO VALLEY TOWN COUNCIL  
REGULAR SESSION  
June 1, 2016  
ORO VALLEY COUNCIL CHAMBERS  
11000 N. LA CAÑADA DRIVE**

**REGULAR SESSION AT OR AFTER 6:00 PM**

**CALL TO ORDER**

**ROLL CALL**

**PLEDGE OF ALLEGIANCE**

**UPCOMING MEETING ANNOUNCEMENTS**

**COUNCIL REPORTS**

**DEPARTMENT REPORTS**

**The Mayor and Council may consider and/or take action on the items listed below:**

**ORDER OF BUSINESS: MAYOR WILL REVIEW THE ORDER OF THE MEETING**

**CALL TO AUDIENCE** – At this time, any member of the public is allowed to address the Mayor and Town Council on any issue *not listed on today's agenda*. Pursuant to the Arizona Open Meeting Law, individual Council Members may ask Town Staff to review the matter, ask that the matter be placed on a future agenda, or respond to criticism made by speakers. However, the Mayor and Council may not discuss or take legal action on matters raised during "Call to Audience." In order to speak during "Call to Audience" please specify what you wish to discuss when completing the blue speaker card.

**CONSENT AGENDA  
(Consideration and/or possible action)**

- A. Minutes - May 19, 2016
- B. Fiscal Year 2015/16 Financial Update through March 2016
- C. Fiscal Year 2015/16 Financial Update through April 2016
- D. Resolution No. (R)16-21, authorizing and approving an Intergovernmental Agreement (IGA) between the Town of Oro Valley and the Pima County Recorder to provide election services for the August 30, 2016 Primary Election and the November 8, 2016 General Election

- E. Resolution No. (R)16-22, authorizing and approving an intergovernmental agreement (IGA) between the Town of Oro Valley and the City of Tucson for the use of the City's Alternative to Jail (ATJ) Program
- F. Resolution No. (R)16-23, authorizing and approving a license agreement between the Town of Oro Valley and Maracay 91, LLC for installation and maintenance of improvements within the La Canada Drive and Pebble Creek Drive right-of-ways
- G. Resolution No. (R)16-24, authorizing and approving easements granted by Maracay 91, LLC to the Town of Oro Valley for the purposes of construction and maintenance of drainage facilities located within the La Cañada Drive and Pebble Creek Drive right-of-ways

## **REGULAR AGENDA**

- 1. PUBLIC HEARING: DISCUSSION AND POSSIBLE ACTION REGARDING AN APPLICATION FOR A SERIES 12 (RESTAURANT) LIQUOR LICENSE FOR MOD PIZZA, LOCATED AT 10580 N. ORACLE RD. #150
- 2. PUBLIC HEARING: ORDINANCE NO. (O)16-08, AMENDING SECTION 25.1.V OF THE ORO VALLEY ZONING CODE REVISED REGARDING THE HOURS OF OPERATION FOR MEDICAL MARIJUANA DISPENSARIES
- 3. MOTION FOR RECONSIDERATION OF THE MAY 19, 2016 APPROVAL TO AMEND THE FY 2015/16 ADOPTED BUDGET BY POSTPONING TO FY 2016/17 THE FIRST ANNUAL \$120,000 REPAYMENT OF THE \$1.2 MILLION IN GENERAL FUND CONTINGENCY RESERVES LOANED TO THE COMMUNITY CENTER FUND IN FY 2014/15
- 4. PRESENTATION OF FIVE-YEAR FINANCIAL FORECAST THROUGH FY 2020/21
- 5. PUBLIC HEARING: RESOLUTION NO. (R)16-25, APPROVING THE ADOPTION OF THE FINAL BUDGET OF THE TOWN OF ORO VALLEY FOR THE FISCAL YEAR 2016/17, INCLUDING APPROVAL OF THE 15-YEAR CAPITAL IMPROVEMENT PROGRAM (CIP) FROM FY 2016/17 THROUGH FY 2030/31

**FUTURE AGENDA ITEMS** (The Council may bring forth general topics for future meeting agendas. Council may not discuss, deliberate or take any action on the topics presented pursuant to ARS 38-431.02H)

**CALL TO AUDIENCE** – At this time, any member of the public is allowed to address the Mayor and Town Council on any issue *not listed on today's agenda*. Pursuant to the Arizona Open Meeting Law, individual Council Members may ask Town Staff to review the matter, ask that the matter be placed on a future agenda, or respond to criticism made by speakers. However, the Mayor and Council may not discuss or take legal action on matters raised during "Call to Audience." In order to speak during "Call to Audience" please specify what you wish to discuss when completing the blue speaker card.

## **ADJOURNMENT**

POSTED: 5/25/16 at 5:00 p.m. by ms

When possible, a packet of agenda materials as listed above is available for public inspection at least 24 hours prior to the Council meeting in the office of the Town Clerk between the hours of 8:00 a.m. – 5:00p.m.

The Town of Oro Valley complies with the Americans with Disabilities Act (ADA). If any person with a disability needs any type of accommodation, please notify the Town Clerk's Office at least five days prior to the Council meeting at 229-4700.

### ***INSTRUCTIONS TO SPEAKERS***

**Members of the public have the right to speak during any posted public hearing. However, those items not listed as a public hearing are for consideration and action by the Town Council during the course of their business meeting. Members of the public may be allowed to speak on these topics at the discretion of the Chair.**

If you wish to address the Town Council on any item(s) on this agenda, please complete a speaker card located on the Agenda table at the back of the room and give it to the Town Clerk. **Please indicate on the speaker card which item number and topic you wish to speak on, or if you wish to speak during "Call to Audience", please specify what you wish to discuss when completing the blue speaker card.**

Please step forward to the podium when the Mayor announces the item(s) on the agenda which you are interested in addressing.

1. For the record, please state your name and whether or not you are a Town resident.
2. Speak only on the issue currently being discussed by Council. Please organize your speech, you will only be allowed to address the Council once regarding the topic being discussed.
3. Please limit your comments to 3 minutes.
4. During "Call to Audience" you may address the Council on any issue you wish.
5. Any member of the public speaking must speak in a courteous and respectful manner to those present.

**Thank you for your cooperation.**



**Town Council Regular Session**

Item # A.

**Meeting Date:** 06/01/2016

**Requested by:** Julie Bower

**Submitted By:** Michelle Stine, Town  
Clerk's Office

**Department:** Town Clerk's Office

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**Information**

**SUBJECT:**

Minutes - May 19, 2016

**RECOMMENDATION:**

Staff recommends approval.

**EXECUTIVE SUMMARY:**

N/A

**BACKGROUND OR DETAILED INFORMATION:**

N/A

**FISCAL IMPACT:**

N/A

**SUGGESTED MOTION:**

I MOVE to approve, (approve with the following changes) the May 19, 2016 minutes

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**Attachments**

5/19/16 Draft Minutes

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**MINUTES  
ORO VALLEY TOWN COUNCIL  
REGULAR SESSION  
May 19, 2016  
ORO VALLEY COUNCIL CHAMBERS  
11000 N. LA CANADA DRIVE**

**REGULAR SESSION AT OR AFTER 5:00 PM**

**CALL TO ORDER**

Mayor Hiremath called the meeting to order at 5:00 p.m.

**ROLL CALL**

**PRESENT:**

Satish Hiremath, Mayor  
Lou Waters, Vice Mayor  
Bill Garner, Councilmember  
Joe Hornat, Councilmember  
Mary Snider, Councilmember  
Mike Zinkin, Councilmember

**ABSENT:**

Brendan Burns, Councilmember

**EXECUTIVE SESSION** - Pursuant to ARS 38-431.03(A)(3) and 431.03(A)(4) for legal advice and contract negotiations for discussion regarding modification of Troon contract

**MOTION:** A motion was made by Councilmember Zinkin and seconded by Councilmember Snider to go into Executive Session at 5:01 p.m. pursuant to ARS 38-431.03(A)(3) and 431.03(A)(4) for legal advice and contract negotiations for discussion regarding modification of Troon contract

**MOTION** carried, 6-0.

Mayor Hiremath said the following staff members would join Council in Executive Session: Town Manager Greg Caton, Town Attorney Gary Verburg, Legal Services Director Tobin Sidles, Police Chief Danny Sharp, Finance Director Stacey Lemos and Deputy Town Clerk Mike Standish.

**REGULAR SESSION AT OR AFTER 6:00 PM**

**CALL TO ORDER**

Mayor Hiremath called the meeting to order at 6:00 p.m.

## **ROLL CALL**

**PRESENT:** Satish Hiremath, Mayor  
Lou Waters, Vice Mayor  
Brendan Burns, Councilmember  
Bill Garner, Councilmember  
Joe Hornat, Councilmember  
Mary Snider, Councilmember  
Mike Zinkin, Councilmember

## **PLEDGE OF ALLEGIANCE**

Mayor Hiremath led the audience in the Pledge of Allegiance.

## **UPCOMING MEETING ANNOUNCEMENTS**

Communications Administrator Misti Nowak announced the upcoming Town meetings and events.

## **COUNCIL REPORTS and Spotlight on Youth**

Vice Mayor Waters reported that he along with Mayor Hiremath, Councilmember Hornat and Councilmember Snider attended the Oro Valley Children's Museum Inaugural Year Celebration.

Vice Mayor Waters reported that he along with Mayor Hiremath, Councilmember Hornat and Councilmember Snider attended the Memorial Service for former Pima County Supervisor Ann Day.

Councilmember Zinkin reported that Ironwood Ridge High School won the Division II State Softball title.

Councilmember Hornat reported that he attended the opening of the Wildlife Crossing located over Oracle Road in Oro Valley.

Councilmember Hornat reported that the recently approved State budget included a onetime funding amount of eight million dollars for the University of Arizona Veterinary School, located in Oro Valley.

Councilmember Snider reported on the success of Project Graduation for Ironwood Ridge and Canyon Del Oro High School seniors. She also thanked the community for their continued support of this event.

Councilmember Snider recognized Eric Birtcil, a junior from Basis Oro Valley, for his outstanding academic and extra-curricular achievements, leadership, kindness and compassion skills.

## **DEPARTMENT REPORTS**

No reports were received.

## **ORDER OF BUSINESS**

Mayor Hiremath reviewed the order of business and stated the order would stand as posted.

## **INFORMATIONAL ITEMS**

1. Public Safety Providers Quarterly Reports

## **CALL TO AUDIENCE**

Oro Valley resident Ken Ayers was concerned the blacktop on his neighborhood streets was not completed correctly.

Oro Valley resident Monica Ismay expressed her concerns for Catalina Care Dispensaries limited hours of operation and asked that consideration be made for an extension of hours for this business.

## **PRESENTATIONS**

1. Proclamation - Oro Valley American Legion Auxiliary Poppy Days

Mayor Hiremath proclaimed May 27-29, 2016 as Oro Valley American Legion Auxiliary Poppy Days.

Onita Davis, Oro Valley American Legion Auxiliary, gave a presentation on the symbolism of the Poppy and encouraged citizens to support the American Legion by donating during their Poppy Days Fundraiser. All proceeds would go to local veteran services.

2. The Oro Valley Historic Preservation Commission's annual 4th Grade, Historical Expository Writing Contest Award Presentation

Parks and Recreation Director Kristy Diaz-Trahan an overview of the Historical Expository Writing Contest.

Historic Preservation Commission Chair Marilyn Lane and Vice Chair Jenni Sunshine gave an overview of the qualifications to enter the contest and recognized the following contest winners:

1st Place - Colin Rizley and Oliver Prosen  
2nd Place - Luke Zimmer

3rd Place - Joey Rossetti

Honorable Mention - Christian Durazo, Anastasia Nuzzo, Camryn Miller, Devon Green and Dylan Thiel

Mayor Hiremath recessed the meeting at 6:37 p.m.

Mayor Hiremath reconvened the meeting at 6:40 p.m.

## **CONSENT AGENDA**

Vice Mayor Waters requested that item (B) be removed from the Consent Agenda for discussion.

- A. Minutes - April 27 and May 4, 2016
- C. Greater Oro Valley Chamber of Commerce Quarterly Report: January 1, 2016 - March 31, 2016
- D. Resolution No. (R)16-17, authorizing and approving a High Intensity Drug Trafficking Area (HIDTA) grant agreement with the City of Tucson, allowing for one (1) officer to be assigned to the Pima County HIDTA Investigative Task Force
- E. Resolution No. (R)16-18, authorizing and approving a High Intensity Drug Trafficking Area (HIDTA) grant agreement with the City of Tucson, allowing for two (2) officers to be assigned to the Pima County/Tucson Metropolitan Counter Narcotics Alliance (CNA)

**MOTION:** A motion was made by Councilmember Snider and seconded by Councilmember Garner to approve Consent Agenda items (A),(C-E).

**MOTION** carried, 7-0.

- B. Visit Tucson Quarterly Report: January 1, 2016 - March 31, 2016

Vice Mayor Waters gave an overview of the Town's investment in Visit Tucson and addressed the direct tangibles to Oro Valley associated with their sports tourism campaigns and marketing ideas.

President and CEO of Visit Tucson Brent DeRaad gave an overview of Visit Tucson's advertising campaigns.

Discussion ensued amongst Council, staff and Mr. DeRaad regarding the Visit Tucson Quarterly Report.

**MOTION:** A motion was made by Vice Mayor Waters and seconded by Councilmember Snider to approve the Visit Tucson Quarterly Report: January 1, 2016 - March 31, 2016.

**MOTION** carried, 7-0.

## **REGULAR AGENDA**

### **1. RESOLUTION NO. (R)16-19, APPROVING THE NAME OF A PARK LOCATED AT THE NORTH END OF STEAM PUMP VILLAGE**

Parks and Recreation Director Kristy Diaz-Trahan gave an overview of the naming of a park located at the north end of Steam Pump Village that included the following:

- Background
- Naming a Park
- Youth Advisory Council Recommendations
- Parks & Recreation Advisory Board Recommendations

**MOTION:** A motion was made by Vice Mayor Waters and seconded by Mayor Hiremath to approve Resolution No. (R)16-19, officially naming the park located at the north end of Steam Pump Village as Tho'ag Park.

Discussion ensued amongst Council regarding approving the name of a park located at the north end of Steam Pump Village.

**MOTION** carried, 7-0.

### **2. DISCUSSION AND POSSIBLE ACTION REGARDING AN ENERGY EFFICIENCY IMPROVEMENT PROJECT AT THE ORO VALLEY COMMUNITY CENTER**

Finance Director Stacey Lemos reviewed the Energy Efficiency Improvement Project at the Oro Valley Community Center.

Discussion ensued amongst Council and staff regarding the Energy Efficiency Improvement Project at the Oro Valley Community Center.

**MOTION:** A motion was made by Councilmember Snider and seconded by Vice Mayor Waters to direct staff to proceed with an energy efficiency project at the Oro Valley Community Center following Option B that includes; the replacement of aged HVAC units, evaporative coolers, lighting retrofits within the buildings and throughout the 31 lighted tennis courts at both tennis locations, hot water heater replacements, pool heater and pump replacements and an irrigation pumping system replacement on the Conquistador golf course, plus the installation of solar photovoltaic panels over a reconfigured parking space layout in the Community Center parking lot.

**MOTION** carried, 7-0.

**3. PUBLIC HEARING: RESOLUTION NO. (R)16-20, ADOPTION OF THE TENTATIVE BUDGET FOR FY 2016/17 AND SETTING THE LOCAL ALTERNATIVE EXPENDITURE LIMITATION FOR FY 2016/17**

Town Manager Greg Caton gave an overview of the Tentative Budget for FY 2016/17 that included the following:

- FY 16/17 Budget Timeline
- Strategic Plan Focus Areas

Finance Director Stacey Lemos continued the overview of the Tentative Budget for FY 2016/17 and included the following:

- Changes from Recommended Budget of \$117.4M
- FY 16/17 Revenue Sources - \$117.9M
- FY 16/17 Expenditure Categories - \$117.9M
- FY 16/17 Capital Improvement Program (CIP)
- FY 16/17 General Fund Overview
- Final Notes and Next Steps

Mayor Hiremath opened the public hearing.

The following individuals spoke on item # 3.

Oro Valley resident Neill Freeman  
Oro Valley resident Karen Steinbronn  
Oro Valley resident Barry Lemieux  
Oro Valley resident Shirl Lamonna  
Oro Valley resident John Gorman

Mayor Hiremath closed the public hearing.

Discussion ensued amongst Council and staff regarding the adoption of the Tentative Budget for FY 2016/17 and setting the Local Alternative Expenditure Limitation for FY 2016/17.

**MOTION:** A motion was made by Councilmember Snider and seconded by Vice Mayor Waters to approve Resolution No. (R)16-20, adopting the Tentative Budget for fiscal year 2016/17 and setting the local alternative expenditure limitation for fiscal year 2016/17 at \$120,885,698 because Council approved the energy efficiency improvement project for the Oro Valley Community Center.

**MOTION:** A motion was made by Councilmember Burns and seconded by Mayor Hiremath to amend the budget to include the addition of option two from the Council Report dated April 21, 2016, for \$21,480 dollars for the installation of swings to Riverfront Park.

Option 2

Turf removal and site preparation	\$4,680
Play surface material and installation	1,800
Play structure	3,000
Play structure installation	3,000
Fabric canopy	<u>9,000</u>
Total	\$21,480

**MOTION** carried, 7-0.

Discussion ensued amongst Council and staff regarding bond options and their impact on the FY 2016/17 budget.

**MOTION:** A motion was made by Councilmember Zinkin and seconded by Councilmember Burns to include \$15,000 in the budget in order to contract a firm to perform a statistically valid survey to determine what the community would like to do with the Town owned golf courses.

Discussion ensued amongst Council and staff regarding Councilmember Zinkin's amendment.

**MOTION** failed, 3-4 with Mayor Hiremath, Vice Mayor Waters, Councilmember Hornat, and Councilmember Snider opposed.

Mayor Hiremath recessed the meeting at 8:11 p.m.

Mayor Hiremath reconvened the meeting at 8:21 p.m.

Discussion ensued amongst Council and staff regarding item #3.

**MOTION:** A motion was made by Councilmember Burns and seconded by Mayor Hiremath to amend the main motion by increasing the Local Alternative Expenditure Limitation for FY 2016/17 from 120,885,698 to 125,885,698 and adopting the Tentative Budget for fiscal year 2016/17.

Discussion ensued amongst Council and staff regarding the amendment made by Councilmember Burns.

**MAIN MOTION AS AMENDED** carried, 7-0.

**4. DISCUSSION AND POSSIBLE ACTION REGARDING SUGGESTIONS  
RECOGNIZING BILL ADLER**

Assistant to the Town Manager Chris Cornelison gave an overview of the suggestions and recommendations received to recognize Bill Adler.

**MOTION:** A motion was made by Councilmember Zinkin and seconded by Mayor Hiremath to approve the following suggested ideas for staff to implement:

- Install a plaque at Steam Pump Ranch with a dedication inscription
- Place a memorial dedication within the Town's general plan document, Your Voice, Our Future
- Rename Historic Preservation Commission's educational program as the William Adler Educational Outreach Program

**MOTION** carried, 7-0.

**5. DISCUSSION AND POSSIBLE ACTION TO AMEND THE FY 2015/16 ADOPTED BUDGET BY POSTPONING TO FY 2016/17 THE FIRST ANNUAL \$120,000 REPAYMENT OF THE \$1.2 MILLION IN GENERAL FUND CONTINGENCY RESERVES LOANED TO THE COMMUNITY CENTER FUND IN FY 2014/15**

Town Manager Greg Caton gave a summary of item #5.

Discussion ensued amongst Council and staff regarding postponing to FY 2016/17 the first annual \$120,000 repayment of the \$1.2 million in General Fund Contingency Reserves loaned to the Community Center Fund in FY 2014/15.

**MOTION:** A motion was made by Mayor Hiremath and seconded by Vice Mayor Waters to approve amending the FY 2015/16 adopted budget by postponing to FY 2016/17 the first of 10 annual repayments of \$120,000 in General Fund Contingency Reserves loaned to the Community Center Fund in FY 2014/15.

Discussion ensued amongst Council and staff regarding item # 5.

**MOTION** carried, 5-2 with Councilmember Garner and Councilmember Zinkin opposed.

**6. DISCUSSION AND POSSIBLE ACTION REGARDING ADDING A CODICIL/AGREEMENT TO THE TROON CONTRACT**

Discussion ensued amongst Council and staff regarding the addition of a codicil/agreement to the Troon contract.

**MOTION:** A motion was made by Councilmember Garner and seconded by Vice Mayor Waters to approve the codicil to the Troon contract, modifying the existing contract by agreeing to amend Article 7.02 of the Management Agreement by deleting reference to the requirement that Owner pay the Base Management Fee monthly with regard to the following months; April, 2016, May, 2016, and June 2016, equivalent to \$36,000. Owner

shall resume making monthly payments for the Base Management Fee (Article 7.01) in accordance with Article 7.02 in July, 2016. As a result, the Management Agreement, Article 6.03(a) shall be amended by deleting reference to "July 1, 2016" in the first sentence, and replacing it with "July 1, 2017". Article 6.03(b) shall also be amended by deleting reference to "June 30, 2016" in the first sentence, and replacing it with "June 30, 2017", and deleting reference to "June 30, 2016" in the fifth sentence, and replacing it with "June 30, 2017".

**MOTION** carried, 7-0

## **7. DISCUSSION AND POSSIBLE DIRECTION REGARDING REZONING OF GOLF COURSE PROPERTY**

Councilmember Zinkin presented item #7.

Discussion ensued amongst Council and staff regarding the possible direction regarding rezoning of golf course property.

No direction was given to Town staff.

## **FUTURE AGENDA ITEMS**

Councilmember Burns requested a future agenda item to direct staff to look into the community elements at the Aquatic Center for phases two and three, seconded by Councilmember Snider.

Mayor Hiremath requested a moment of silence to honor the passing of Allen Cook.

## **CALL TO AUDIENCE**

No comments were received.

## **ADJOURNMENT**

**MOTION:** A motion was made by Councilmember Snider and seconded by Vice Mayor Waters to adjourn the meeting at 8:45 p.m.

**MOTION** carried, 7-0.

Prepared by:

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Michelle Stine, CMC  
Senior Office Specialist

I hereby certify that the foregoing minutes are a true and correct copy of the minutes of the regular session of the Town of Oro Valley Council of Oro Valley, Arizona held on the 19<sup>th</sup> day of May, 2016. I further certify that the meeting was duly called and held and that a quorum was present.

Dated this \_\_\_\_ day of \_\_\_\_\_, 2016.

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Julie K. Bower, MMC  
Town Clerk

DRAFT



**Town Council Regular Session**

Item # B.

**Meeting Date:** 06/01/2016

**Requested by:** Stacey Lemos

**Submitted By:** Wendy Gomez, Finance

**Department:** Finance

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**Information**

**SUBJECT:**

Fiscal Year 2015/16 Financial Update through March 2016

**RECOMMENDATION:**

This item is for information only.

**EXECUTIVE SUMMARY:**

In the General Fund (see Attachment A), revenues collected through March totaled \$23.0 million or 71.5% of the budget amount of \$32.2 million. Year-to-date expenditures through March totaled \$22.2 million or 69.3% of the budget amount of \$32.1 million.

In the Highway Fund (see Attachment B), revenues collected through March totaled \$2.5 million or 78.8% of the budget amount of \$3.2 million. Year-to-date expenditures through March totaled \$2.8 million or 56.7% of the budget amount of \$4.9 million.

In the Bed Tax Fund (see Attachment C), revenues collected through March totaled \$729,975 or 76.9% of the budget amount of \$950,000. Year-to-date expenditures through March totaled \$699,987 or 64.4% of the budget amount of \$1.1 million.

In the Community Center Fund (see attachments D-1, D-2 and D-3), revenues collected through March totaled \$4.2 million or 57.3% of the budget amount of \$7.4 million. Year-to-date expenditures through March totaled \$5.1 million or 61.8% of the budget amount of \$8.2 million.

**BACKGROUND OR DETAILED INFORMATION:**

**GENERAL FUND**

Attachment A shows General Fund revenues and expenditures through March, as well as year-end estimates for each category. The estimated year-end projections in the General Fund are as follows:

Revenues	\$31,530,284
<u>Less:</u>	
Expenditures	<u>(\$31,347,728)</u>

**Estimated surplus before one-time uses of Contingency Reserves**                      **\$ 182,556**

Less:

Council-Approved Use of Contingency:

- 8.8 Acre Land Purchase                      (\$ 265,000) Approved September 2, 2015
- Lawsuit Settlement                      (\$ 30,000) Approved September 16, 2015
- Special Election Costs                      (\$ 24,131) Approved June 17, 2015

Est. Decrease in Fund Balance                      (\$ 136,575)

### General Fund Revenues

**Please note that some of our largest recurring revenue sources in the General Fund, including retail sales tax and state-shared sales tax are seasonal in nature. These revenues typically see an increase through the second half of the fiscal year, following collections from holiday sales and tax return season. Actuals through the months of April/May will provide good indication and the clearest picture of year-end figures.**

- Local sales tax collections in the General Fund total \$10.7 million or 69.8% of the budget amount of \$15.4 million. Sales tax collections in the General Fund are estimated to come in below budget by approximately \$708,000 or 4.6%, due entirely to one-time construction sales taxes from updated projections on single family residential building activity and slower commercial development than planned. This is a shortfall in one-time revenues, and because one-time revenues are dedicated to one-time capital improvement projects, this shortfall does not impact ongoing Town operations. All other local sales tax categories are trending on budget. Please see Attachment F for a monthly tracking of General Fund local sales tax collections, including retail, construction and utility sales tax.
- License and permit revenues total \$1,176,208 or 66.7% of the budget amount of \$1.8 million. These revenues are estimated to come in under budget by about \$285,000 or 16.2%, due to updated projections on residential and commercial building activity, as referenced above.
- Federal Grant revenues total \$405,996 or 73.6% of the budget amount of \$551,545. These revenues are estimated to come in on budget at year-end, as a loss in Counter Narcotics Alliance (CNA) revenue is expected to be offset in the current fiscal year by additional funding from the Department of Homeland Security's Operation Stonegarden grant program.
- State shared revenues total \$7.8 million or 74.5% of the budget amount of \$10.4 million, and are estimated to come in over budget by roughly \$146,000 or 1.4%, based on projections from the Arizona Department of Revenue and the League of

Arizona Cities and Towns.

- Charges for Services revenues total \$1.5 million or 77.5% of the budget amount of \$1.9 million. Charges for Services revenues are estimated to come in over budget by about \$117,000 or 6.2%, due primarily to revenue at the Aquatic Center.
- Revenues from fines total \$119,472 or 99.6% of the budget amount of \$120,000, and are estimated to come in over budget by \$25,000 or 20.8%, based on observed trends.
- Miscellaneous revenues are estimated to come in over budget by about \$73,000 or 53.9%, due primarily to insurance recovery proceeds from storm damage at Riverfront Park.

Staff will continue to monitor revenue collections and may adjust the year-end estimates based on actual trends.

### **General Fund Expenditures**

- Expenditures are estimated to come in under budget by about \$725,000 or 2.3%. Of this amount, approximately \$486,000 was planned for one-time Capital Improvement Program (CIP) projects, to be funded entirely with one-time construction sales taxes and permitting revenues. Projects were slowed or placed on hold due to the updated projections on single family residential and commercial construction activity, as referenced above.
- Please note that although the Parks and Recreation Department is expected to go over budget by about \$65,000, or 2.2%, due to Aquatic Center expenditures, this overage will be more than offset by revenues that are also expected to exceed budget by approximately \$100,000.
- Please note that the estimated overage in General Administration is due entirely to the spending of insurance recovery proceeds related to storm damage at Riverfront Park, as referenced above in the revenue discussion.
- The remaining expenditure budget variances in other departments are due to estimated personnel and department operating savings. Please note that these savings are estimates and are subject to change.

## **HIGHWAY FUND**

### **Highway Fund Revenues**

- State shared highway user funds total roughly \$2.2 million or 72.2% of the budget amount of \$3.0 million and are expected to come in on budget at year-end. State grant revenues are estimated at \$195,551 for the fiscal year, due to reimbursements from the Pima Association of Governments (PAG) and the Regional Transportation Authority (RTA) for contract administration of roadway projects, as well as Transportation Art by Youth (TABY) program expenditures. Highway Fund revenues in total are estimated to come in over budget by about \$231,000 or 7.2%.

### **Highway Fund Expenditures**

- Expenditures are estimated to come in under budget by about \$139,000 or 2.9%.

This variance is due largely to the Tangerine Access to Safeway (1st Ave) CIP project, which is expected to roll over into FY 16/17. Please note that these figures are estimates and are subject to change.

## **BED TAX FUND**

### **Bed Tax Revenues**

- Bed tax revenues total \$723,387 or 76.5% of the budget amount of \$945,000, and are estimated to come in over budget by \$30,000 or 3.2%, based on collections received through March. Please note this is an estimate and is subject to change.

### **Bed Tax Fund Expenditures**

- Expenditures are estimated to come in under budget by about \$5,600 or 0.5% due to projected personnel savings. Please note that these savings are estimates and are subject to change.

## **COMMUNITY CENTER FUND**

Attachment D-1 shows the consolidated financial status of the Community Center Fund with all revenues and expenditures from Troon and Town-managed operations.

Attachment D-2 shows the monthly line item detail for the Troon-managed operations, specifically revenues and expenditures associated with the golf, tennis, food and beverage and lifeguard operations. The totals in the revenue and expenditure categories in Attachment D-2 tie to the Contracted Operating Revenues and Expenditures in Attachment D-1.

Attachment D-3 shows the revenues and expenditures for the Troon-managed food and beverage operations only.

### **Community Center Fund Revenues**

**Please note that most of our revenue sources in the Community Center Fund, including golf revenues and the half-cent sales tax are seasonal in nature. These revenues typically see an increase through the second half of the fiscal year, following collections from holiday sales and tax return season, as well as winter and spring golf season activity. Actuals through April and May will provide good indication and the clearest picture of year-end figures.**

- Revenues in the Community Center Fund total \$4.2 million or 57.3% of the budget amount of \$7.4 million. Contracted operating revenues from Troon total \$2.2 million and Town operating revenues total \$496,751. Local sales tax revenues from the dedicated half-cent sales tax total \$1.5 million or 74.0% of the budget amount of \$2,000,000.
- Local sales tax revenues from the dedicated half-cent sales tax are estimated to

come in over budget by \$30,000 or 1.5%, based on collections received thus far in the fiscal year. Please note this is an estimate and is subject to change.

- Contracted operating revenues from Troon are estimated to come in under budget by about \$1.7 million or 35.5%, based on the updated forecast from Troon through the remainder of the fiscal year. These revenue estimates have been revised downward to \$3.1 million from the original budgeted amount of \$4.7 million based on lower revenue trends observed thus far in the fiscal year.
- Town operating revenues are estimated to come in over budget by about \$27,000 or 4.2% due to member dues, which are expected to come in nearly 10% over budgeted figures.

### **Community Center Expenditures**

- Expenditures in the Community Center Fund total approximately \$5.1 million or 61.8% of the budget amount of \$8.2 million. Contracted operating expenditures from Troon total \$4.2 million and Town operating expenditures total \$501,011. Capital outlay expenditures total \$339,124.
- Contracted operating expenditures from Troon are estimated to come in under budget by about \$907,000 or 14.5%, based on the updated forecast from Troon through the remainder of the fiscal year reflecting savings from operational changes that were implemented in December, as well as other line item expense reductions in the operations and maintenance categories, including closure of the golf courses on Mondays, reduced hours at The Overlook restaurant, reductions in staffing levels in the golf maintenance and restaurant operations, closure of the lap pool and reduced hours at the tennis facilities. The year-end expenditure estimates have been revised downward to \$5.4 million from the original budgeted amount of \$6.3 million. Accordingly, the year-end net loss for the Troon-managed operations has been revised from the budgeted amount of \$1.5 million to approximately \$2.3 million.
- The ending fund balance in the Community Center Fund is estimated at \$153,815.

Please see Attachments A, B, and C for additional details on the General Fund, Highway Fund and Bed Tax Fund. See Attachments D-1, D-2 and D-3 for additional details on the Community Center Fund. See Attachment E for a fiscal year-to-date consolidated summary of all Town Funds. See Attachment F for a breakdown of monthly local sales tax collections for the General Fund.

### **FISCAL IMPACT:**

N/A

### **SUGGESTED MOTION:**

This item is for information only.

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### **Attachments**

Attachment A - General Fund

Attachment B - Highway Fund

Attachment C - Bed Tax Fund

Attachment D-1 Community Center Fund

Attachment D-2 Troon Cash Flow

Attachment D-3 Troon F&B

Attachment E - Summary All Funds

Attachment F - Gen Fund Local Sales Tax

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**Highway Fund**

*% Budget Completion through March --- 75%*

**REVENUES:**

LICENSES & PERMITS  
 STATE GRANTS  
 STATE/COUNTY SHARED  
 CHARGES FOR SERVICES  
 INTEREST INCOME  
 MISCELLANEOUS  
**TOTAL REVENUES**

Actuals thru 3/2016	Budget	% Actuals to Budget
34,829	51,000	68.3%
166,907	-	0.0%
2,156,311	2,985,464	72.2%
100,500	134,000	75.0%
34,773	22,400	155.2%
31,083	10,000	310.8%
<b>2,524,402</b>	<b>3,202,864</b>	<b>78.8%</b>

Year End Estimate *	YE % Variance to Budget
48,000	-5.9%
195,551	0.0%
2,985,464	0.0%
134,000	0.0%
37,000	65.2%
33,582	235.8%
<b>3,433,597</b>	<b>7.2%</b>

**EXPENDITURES:**

ADMINISTRATION  
 TRANSPORTATION ENGINEERING  
 PAVEMENT MANAGEMENT  
 STREET MAINTENANCE  
 TRAFFIC ENGINEERING  
**TOTAL EXPENDITURES**

Actuals thru 3/2016	Budget	% Actuals to Budget
669,226	880,396	76.0%
393,099	561,772	70.0%
582,571	1,473,581	39.5%
752,133	1,159,510	64.9%
356,378	783,419	45.5%
<b>2,753,407</b>	<b>4,858,678</b>	<b>56.7%</b>

Year End Estimate *	YE % Variance to Budget
860,496	-2.3%
561,772	0.0%
1,473,581	0.0%
1,190,256	2.7%
633,419	-19.1%
<b>4,719,524</b>	<b>-2.9%</b>

**SURPLUS / (DEFICIT)**

**(229,004) (1,655,814)**

**(1,285,927)**

**BEGINNING FUND BALANCE**

**3,291,083**

**Plus: Surplus / (Deficit)**

**(1,285,927)**

**ENDING FUND BALANCE \*\***

**2,005,156**

\* Year-end estimates are subject to further revision

\*\* Ending fund balance amounts are estimates and are subject to further revision



**Bed Tax Fund**

*% Budget Completion through March --- 75%*

**REVENUES:**

BED TAXES

INTEREST INCOME

**TOTAL REVENUES**

Actuals thru 3/2016	Budget	% Actuals to Budget	Year End Estimate *	YE % Variance to Budget
723,387	945,000	76.5%	975,000	3.2%
6,588	4,800	137.3%	7,000	45.8%
<b>729,975</b>	<b>949,800</b>	<b>76.9%</b>	<b>982,000</b>	<b>3.4%</b>

**EXPENDITURES:**

ECONOMIC DEVELOPMENT

TRANSFERS OUT

**TOTAL EXPENDITURES**

Actuals thru 3/2016	Budget	% Actuals to Budget	Year End Estimate *	YE % Variance to Budget
377,943	672,732	56.2%	667,104	-0.8%
322,044	414,544	77.7%	414,544	0.0%
<b>699,987</b>	<b>1,087,276</b>	<b>64.4%</b>	<b>1,081,648</b>	<b>-0.5%</b>

**SURPLUS / (DEFICIT)**

**29,988**

**(137,476)**

**(99,648)**

**BEGINNING FUND BALANCE**

**464,626**

**Plus: Surplus / (Deficit)**

**(99,648)**

**ENDING FUND BALANCE \*\***

**364,978**

\* Year-end estimates are subject to further revision

\*\* Ending fund balance amounts are estimates and are subject to further revision



**Community Center Fund**

*% Budget Completion through March --- 75%*

	Actuals thru 3/2016	Budget	% Actuals to Budget	Year End Estimate *	YE % Variance to Budget
<b>REVENUES:</b>					
<b>CONTRACTED OPERATING REVENUES</b>					
Golf Revenues	738,975	1,771,106	41.7%	1,035,579	-41.5%
Member Dues (Golf)	643,739	1,370,867	47.0%	883,739	-35.5%
Tennis Revenues	236,163	279,837	84.4%	304,223	8.7%
Food & Beverage	455,276	850,852	53.5%	620,754	-27.0%
Merchandise & Other	161,693	469,671	34.4%	213,193	-54.6%
	<b>2,235,846</b>	<b>4,742,333</b>	<b>47.1%</b>	<b>3,057,488</b>	<b>-35.5%</b>
<b>TOWN OPERATING REVENUES</b>					
Daily Drop-Ins	17,751	27,550	64.4%	23,000	-16.5%
Member Dues	437,593	526,480	83.1%	577,111	9.6%
Recreation Programs	38,985	84,000	46.4%	76,000	-9.5%
Tennis Court Rentals	-	7,200	0.0%	7,200	0.0%
Facility Rental Income	1,161	13,200	8.8%	1,240	-90.6%
Concession Sales	1,012	-	0.0%	1,200	0.0%
Special Events	250	-	0.0%	250	0.0%
	<b>496,751</b>	<b>658,430</b>	<b>75.4%</b>	<b>686,001</b>	<b>4.2%</b>
<b>OTHER REVENUES</b>					
Local Sales Tax	1,480,771	2,000,000	74.0%	2,030,000	1.5%
Real Property Rental Income	27,861	-	0.0%	27,861	0.0%
Donations	100	-	0.0%	100	0.0%
	<b>1,508,732</b>	<b>2,000,000</b>	<b>75.4%</b>	<b>2,057,961</b>	<b>2.9%</b>
<b>TOTAL REVENUES</b>	<b>4,241,329</b>	<b>7,400,763</b>	<b>57.3%</b>	<b>5,801,450</b>	<b>-21.6%</b>

	Actuals thru 3/2016	Budget	% Actuals to Budget	Year End Estimate *	YE % Variance to Budget
<b>EXPENDITURES:</b>					
<b>CONTRACTED OPERATING EXPENDITURES</b>					
Personnel	1,760,209	2,638,457	66.7%	2,219,691	-15.9%
Operations & Maintenance	2,137,816	3,289,219	65.0%	2,732,726	-16.9%
Equipment Leases	315,154	333,000	94.6%	401,728	20.6%
	<b>4,213,179</b>	<b>6,260,676</b>	<b>67.3%</b>	<b>5,354,145</b>	<b>-14.5%</b>
<b>TOWN OPERATING EXPENDITURES</b>					
Personnel	370,562	462,517	80.1%	576,587	24.7%
Operations & Maintenance	130,449	225,140	57.9%	172,125	-23.5%
	<b>501,011</b>	<b>687,657</b>	<b>72.9%</b>	<b>748,712</b>	<b>8.9%</b>
<b>CAPITAL OUTLAY</b>	<b>339,124</b>	<b>1,115,000</b>	<b>30.4%</b>	<b>450,000</b>	<b>-59.6%</b>
<b>TRANSFER TO GENERAL FUND</b>	<b>-</b>	<b>120,000</b>	<b>0.0%</b>	<b>120,000</b>	<b>0.0%</b>
<b>TOTAL EXPENDITURES</b>	<b>5,053,315</b>	<b>8,183,333</b>	<b>61.8%</b>	<b>6,672,857</b>	<b>-18.5%</b>

**SURPLUS / (DEFICIT) (811,986) (782,570) (871,407)**

**BEGINNING FUND BALANCE 1,025,222**

**Plus: Surplus / (Deficit) (871,407)**

**ENDING FUND BALANCE \*\* 153,815**

\* Year-end estimates are subject to further revision

\*\* Ending fund balance amounts are estimates and are subject to further revision

**TROON**  
**El Conquistador Cash Flow Statement**

	Actual Jul-15	Actual Aug-15	Actual Sep-15	Actual Oct-15	Actual Nov-15	Actual Dec-15	Actual Jan-16	Actual Feb-16	Actual Mar-16	Actual TOTAL	Original Budget TOTAL	Forecast TOTAL
<b>Revenues:</b>												
Golf Fees, net of discounts	31,127	26,555	41,922	39,692	79,985	48,184	80,184	125,390	124,090	597,129	1,456,271	835,872
Trail Fees & Member Cart Fees	9,970	8,994	9,800	10,860	13,139	13,105	14,585	14,593	14,362	109,408	180,000	153,065
Golf - Group Services	-	-	-	(650)	60	151	45	-	-	(294)	-	(294)
Range, Rentals, Other Golf related	1,368	1,593	1,984	2,712	2,839	2,479	3,671	4,273	5,856	26,775	127,735	38,634
Golf Lessons	785	510	1,115	680	847	340	160	895	625	5,957	7,100	8,302
Total Member Dues	65,377	57,786	64,719	69,970	75,806	75,697	77,475	78,796	78,113	643,739	1,370,867	883,739
Other Member Income	-	-	-	-	60	-	20	-	-	80	-	80
Swim/Tennis Revenues	24,923	9,172	27,593	51,543	26,871	23,871	31,336	21,542	19,312	236,163	279,837	304,223
Salon/Spa Revenues	-	150	400	-	-	-	-	-	-	550	-	550
GOLF PUSCH RIDGE Revenues	60	20	-	-	-	-	-	-	-	80	-	80
Merchandise, net of discounts	11,112	9,342	12,462	17,555	24,638	26,524	11,929	21,137	26,284	160,983	469,671	212,483
Food and Beverage, net of discounts	34,002	29,430	35,077	44,481	65,705	51,745	65,512	57,623	71,701	455,276	850,852	620,754
<b>Total Revenues</b>	<b>178,724</b>	<b>143,552</b>	<b>195,072</b>	<b>236,943</b>	<b>289,890</b>	<b>242,156</b>	<b>284,917</b>	<b>324,249</b>	<b>340,343</b>	<b>2,235,846</b>	<b>4,742,333</b>	<b>3,057,488</b>
<b>Cost of Sales:</b>												
COS - Golf	-	-	-	-	-	-	-	-	-	-	17,690	3,099
COS - Golf Lessons	692	282	100	937	546	556	77	836	710	4,736	5,680	6,412
COS - Service Commissions	14,268	10,023	14,477	21,783	16,516	12,477	16,074	16,173	13,499	135,290	161,791	176,497
COS - Merchandise, net of discounts	9,877	5,517	6,335	10,196	16,931	18,007	6,966	15,519	20,036	109,384	299,527	150,584
COS - Food & Beverage	14,172	11,484	15,150	14,875	26,917	16,195	20,202	20,170	21,971	161,136	267,418	214,089
<b>Total Cost of Sales</b>	<b>39,009</b>	<b>27,306</b>	<b>36,062</b>	<b>47,791</b>	<b>60,910</b>	<b>47,235</b>	<b>43,319</b>	<b>52,698</b>	<b>56,216</b>	<b>410,546</b>	<b>752,105</b>	<b>550,881</b>
<b>Gross Profit</b>	<b>139,715</b>	<b>116,246</b>	<b>159,010</b>	<b>189,152</b>	<b>228,980</b>	<b>194,921</b>	<b>241,598</b>	<b>271,551</b>	<b>284,127</b>	<b>1,825,300</b>	<b>3,990,228</b>	<b>2,506,607</b>
<b>Operating Expenses:</b>												
Payroll	193,325	182,694	172,731	193,514	159,466	114,460	127,022	124,638	142,114	1,409,964	2,182,859	1,772,175
Employee Benefits	40,630	38,531	45,466	31,729	35,879	34,366	29,537	31,205	32,236	319,579	406,314	406,510
Employee Related	5,644	3,873	3,204	3,187	3,700	3,438	2,607	2,303	2,710	30,666	49,284	41,006
Professional Fees	-	-	306	10	-	-	-	3	-	319	3,975	969
Advertising & Marketing	5,213	-	2,359	14,318	5,725	8,987	6,261	5,710	4,146	52,719	77,768	64,977
Comp Expense	-	3,340	-	-	-	-	-	-	-	3,340	-	3,340
Repair & Maintenance	53,817	61,662	84,353	82,903	32,520	20,833	30,086	38,476	35,367	440,017	488,050	527,227
Operating Expenses	27,627	25,858	20,478	21,488	18,576	24,922	23,449	14,664	32,141	209,203	413,791	271,285
<b>Total Operating Expenses</b>	<b>326,256</b>	<b>315,958</b>	<b>328,897</b>	<b>347,149</b>	<b>255,866</b>	<b>207,006</b>	<b>218,962</b>	<b>216,999</b>	<b>248,714</b>	<b>2,465,807</b>	<b>3,622,041</b>	<b>3,087,489</b>
<b>Operating Profit</b>	<b>(186,541)</b>	<b>(199,712)</b>	<b>(169,887)</b>	<b>(157,997)</b>	<b>(26,886)</b>	<b>(12,085)</b>	<b>22,636</b>	<b>54,552</b>	<b>35,413</b>	<b>(640,507)</b>	<b>368,186</b>	<b>(580,882)</b>
Leases - Carts	16,440	16,440	16,364	16,364	8,377	19,944	17,610	8,250	8,250	128,039	105,000	152,789
Leases - Equipment	19,605	22,357	5,163	16,640	39,321	22,795	19,267	19,935	22,032	187,115	228,000	248,939
Utilities	168,472	141,589	148,567	134,259	39,120	64,910	35,740	75,480	96,239	904,376	1,320,391	1,195,060
<b>Fixed Operating Expenses</b>	<b>204,517</b>	<b>180,386</b>	<b>170,094</b>	<b>167,263</b>	<b>86,818</b>	<b>107,649</b>	<b>72,617</b>	<b>103,665</b>	<b>126,521</b>	<b>1,219,530</b>	<b>1,653,391</b>	<b>1,596,788</b>
<b>Gross Operating Profit</b>	<b>(391,058)</b>	<b>(380,098)</b>	<b>(339,981)</b>	<b>(325,260)</b>	<b>(113,704)</b>	<b>(119,734)</b>	<b>(49,981)</b>	<b>(49,113)</b>	<b>(91,108)</b>	<b>(1,860,037)</b>	<b>(1,285,205)</b>	<b>(2,177,670)</b>
Insurance	-	86	-	86	86	86	88	88	88	608	85,520	608
Property Taxes	-	-	1,011	-	-	3,601	-	-	-	4,612	-	4,612
Fees, Permits & Licenses	9	250	86	80	-	140	-	93	-	658	3,619	2,349
Base Management Fees	12,000	12,000	12,000	12,000	12,000	12,000	12,000	12,000	12,000	108,000	144,000	108,000
Bad Debt	-	1,080	270	600	-	153	640	-	675	3,418	-	3,418
<b>Total Other Expenses</b>	<b>12,009</b>	<b>13,416</b>	<b>13,367</b>	<b>12,766</b>	<b>12,086</b>	<b>15,980</b>	<b>12,728</b>	<b>12,181</b>	<b>12,763</b>	<b>117,296</b>	<b>233,139</b>	<b>118,987</b>
<b>Net Income (Loss)</b>	<b>(403,069)</b>	<b>(393,514)</b>	<b>(353,348)</b>	<b>(338,026)</b>	<b>(125,790)</b>	<b>(135,714)</b>	<b>(62,709)</b>	<b>(61,294)</b>	<b>(103,871)</b>	<b>(1,977,335)</b>	<b>(1,518,343)</b>	<b>(2,296,657)</b>

# ATTACHMENT D-3

## EL CONQUISTADOR INCOME STATEMENT CONSOLIDATED - RESTAURANT/GRILLE - MARCH 2016

	ACTUAL MONTH	BUDGET MONTH	ACTUAL Y-T-D	BUDGET Y-T-D
FOOD & BEVERAGE REVENUE	71,701	96,000	455,176	638,054
TOTAL REVENUES	71,701	96,000	455,176	638,054
COST OF SALES	21,971	29,601	161,138	201,280
PAYROLL & BENEFITS	53,061	45,527	421,025	364,452
OPERATING EXPENSES	7,617	7,621	67,226	67,663
NET INCOME (LOSS)	(10,948)	13,251	(194,213)	4,659



Consolidated Year-to-Date Financial Report through March, 2016

ATTACHMENT E

FY 2015/2016

Fund	FY 15/16 Begin Bal.	Revenue	Other Fin Sources/Tfrs	Total In	Capital Leases/ Transfer Out	Personnel	O&M	Capital	Contingency	Debt Service	Total Out	Left in Accounts Thru Mar 2016
General Fund - Unassigned	8,597,873	22,897,805	92,500	22,990,305	935,835	16,060,489	5,086,505	156,496	-	-	22,239,325	9,348,854
General Fund - Assigned	1,553,999										-	1,553,999
Highway Fund - Restricted	3,291,083	2,524,402	-	2,524,402	228,366	1,359,577	450,960	714,504	-	-	2,753,407	3,062,079
Seizure & Forfeiture - Justice/State	235,952	76,760	-	76,760	-	156,433	15,190	17,312	-	-	188,936	123,776
Bed Tax Fund - Committed	464,626	729,975	-	729,975	322,044	175,198	202,745	-	-	-	699,987	494,614
Impound Fee Fund	28,435	37,930	-	37,930	-	20,089	-	-	-	-	20,089	46,276
Community Center Fund	1,025,222	4,241,329	-	4,241,329	315,154	370,562	4,028,475	339,124	-	-	5,053,315	213,236
Municipal Debt Service Fund	166,798	112,980	655,750	768,730	-	-	52,625	-	-	838,865	891,490	44,038
Oracle Road Debt Service Fund	1,946	171,628	3,000	174,628	-	-	2,350	-	-	156,561	158,911	17,663
Alternative Water Resources Dev Impact Fee Fund	4,021,793	698,908	-	698,908	-	-	40,906	174	-	-	41,080	4,679,621
Potable Water System Dev Impact Fee Fund	4,800,153	367,349	-	367,349	-	-	-	-	-	43,645	43,645	5,123,857
Townwide Roadway Development Impact Fee Fund	2,677,852	338,417	-	338,417	-	-	-	47,431	-	-	47,431	2,968,838
Parks & Recreation Impact Fee Fund	136,103	100,327	-	100,327	-	-	-	-	-	-	-	236,430
Library Impact Fee Fund	94,798	-	-	-	-	-	-	28,628	-	-	28,628	66,170
Police Impact Fee Fund	254,577	46,007	-	46,007	-	-	-	-	-	-	-	300,584
General Government Impact Fee Fund	3,505	6	-	6	-	-	-	-	-	-	-	3,511
General Government CIP Fund	1,421,593	-	738,025	738,025	-	-	-	1,538,316	-	-	1,538,316	621,302
PAG/RTA Fund	-	2,780,919	-	2,780,919	-	25,471	-	2,300,472	-	-	2,325,943	454,976
Water Utility	13,864,359	12,085,963	-	12,085,963	3,030	2,115,471	4,395,332	1,752,006	-	4,001,302	12,267,142	13,683,181
Stormwater Utility	279,353	589,727	-	589,727	-	252,635	275,111	45,671	-	-	573,418	295,663
Fleet Fund	298,922	997,998	-	997,998	-	63,151	334,564	408,528	-	-	806,243	490,677
Benefit Self Insurance Fund	244,162	2,098,639	-	2,098,639	-	-	2,246,471	-	-	-	2,246,471	96,330
Recreation In-Lieu Fee Fund	6,190	21,728	-	21,728	-	-	-	12,200	-	-	12,200	15,718
<b>Total</b>	<b>43,469,294</b>	<b>50,918,799</b>	<b>1,489,275</b>	<b>52,408,074</b>	<b>1,804,429</b>	<b>20,599,077</b>	<b>17,131,235</b>	<b>7,360,863</b>	<b>-</b>	<b>5,040,374</b>	<b>51,935,977</b>	<b>43,941,392</b>



# General Fund Local Sales Tax Collections

CATEGORY	JULY	AUG	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUNE	TOTAL
Construction Sales Tax	193,497	160,759	190,812	234,763	222,548	254,307	260,568	107,429	263,734				1,888,416
Utility Sales Tax	257,552	312,494	304,666	286,667	243,827	195,345	242,200	268,984	222,718				2,334,452
Retail Sales Tax	441,557	415,209	393,690	403,193	413,231	525,645	688,527	426,418	433,139				4,140,608
All Other Local Sales Tax *	239,739	229,766	182,484	216,361	270,637	276,937	295,738	201,982	259,537				2,173,181
<b>TOTAL</b>	<b>\$ 1,132,346</b>	<b>\$ 1,118,228</b>	<b>\$ 1,071,652</b>	<b>\$ 1,140,984</b>	<b>\$ 1,150,242</b>	<b>\$ 1,252,234</b>	<b>\$ 1,487,032</b>	<b>\$1,004,813</b>	<b>\$1,179,127</b>				<b>\$ 10,536,658</b>

\* Note: Does not include cable franchise fees or sales tax audit revenues



**Town Council Regular Session**

Item # C.

**Meeting Date:** 06/01/2016

**Requested by:** Stacey Lemos

**Submitted By:** Wendy Gomez, Finance

**Department:** Finance

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**Information**

**SUBJECT:**

Fiscal Year 2015/16 Financial Update through April 2016

**RECOMMENDATION:**

This item is for information only.

**EXECUTIVE SUMMARY:**

In the General Fund (see Attachment A), revenues collected through April totaled \$25.6 million or 79.5% of the budget amount of \$32.2 million. Year-to-date expenditures through April totaled \$24.7 million or 77% of the budget amount of \$32.1 million.

In the Highway Fund (see Attachment B), revenues collected through April totaled \$2.8 million or 89% of the budget amount of \$3.2 million. Year-to-date expenditures through April totaled \$3.1 million or 63.0% of the budget amount of \$4.9 million.

In the Bed Tax Fund (see Attachment C), revenues collected through April totaled \$882,169 or 92.9% of the budget amount of \$950,000. Year-to-date expenditures through April totaled \$800,174 or 73.6% of the budget amount of \$1.1 million.

In the Community Center Fund (see attachments D-1, D-2 and D-3), revenues collected through April totaled \$4.8 million or 65.2% of the budget amount of \$7.4 million. Year-to-date expenditures through April totaled \$5.6 million or 68.9% of the budget amount of \$8.2 million.

**BACKGROUND OR DETAILED INFORMATION:**

**GENERAL FUND**

Attachment A shows General Fund revenues and expenditures through April, as well as year-end estimates for each category. The estimated year-end projections in the General Fund are as follows:

Revenues	\$31,816,848
<u>Less:</u> Expenditures	<u>(\$31,402,140)</u>

**Estimated surplus before one-time uses of Contingency Reserves                    \$    414,708**

Less:  
Council-Approved Use of Contingency:

- 8.8 Acre Land Purchase	(\$ 265,000)	Approved September 2, 2015
- Lawsuit Settlement	(\$ 30,000)	Approved September 16, 2015
- Special Election Costs	(\$ 24,131)	Approved June 17, 2015

**Estimated increase in Fund Balance            \$    95,576**  
**after one-time uses of Contingency Reserves**

### General Fund Revenues

- Local sales tax collections in the General Fund total \$11.6 million or 75.6% of the budget amount of \$15.4 million. Sales tax collections in the General Fund are estimated to come in below budget by approximately \$708,000 or 4.6%, due entirely to one-time construction sales taxes from updated projections on single family residential building activity and slower commercial development than planned. This is a shortfall in one-time revenues, and because one-time revenues are dedicated to one-time capital improvement projects, this shortfall does not impact ongoing Town operations. All other local sales tax categories are trending on budget. Please see Attachment F for a monthly tracking of General Fund local sales tax collections, including retail, construction and utility sales tax.
- License and permit revenues total \$1,380,246 or 78.2% of the budget amount of \$1.8 million. These revenues are estimated to come in under budget by about \$106,000 or 6.0%, due to updated projections on residential and commercial building activity, as referenced above.
- Federal Grant revenues total \$503,584 or 91.3% of the budget amount of \$551,545. These revenues are estimated to come in slightly over budget at year-end, as a loss in Counter Narcotics Alliance (CNA) revenue is expected to be offset in the current fiscal year by additional funding from the Department of Homeland Security's Operation Stonegarden grant program.
- State shared revenues total \$8.7 million or 83.0% of the budget amount of \$10.4 million, and are estimated to come in over budget by roughly \$146,000 or 1.4%, based on projections from the Arizona Department of Revenue and the League of Arizona Cities and Towns.
- Charges for Services revenues total \$1.6 million or 87.9% of the budget amount of \$1.9 million. Charges for Services revenues are estimated to come in over budget by about \$133,000 or 7.1%, due primarily to revenue at the Aquatic Center.
- Revenues from fines total \$135,124 or 112.6% of the budget amount of \$120,000, and are estimated to come in over budget by \$25,000 or 20.8%, based on observed trends.

- Miscellaneous revenues are estimated to come in over budget by nearly \$129,000 or 95.2%, primarily due to insurance recovery proceeds from storm damage at Riverfront Park.

Staff will continue to monitor revenue collections and may adjust the year-end estimates based on actual trends.

## **General Fund Expenditures**

- Expenditures are estimated to come in under budget by about \$671,000 or 2.1%. Of this amount, approximately \$486,000 was planned for one-time Capital Improvement Program (CIP) projects, to be funded entirely with one-time construction sales taxes and permitting revenues. Projects were slowed or placed on hold due to the updated projections on single family residential and commercial construction activity, as referenced above.
- Please note that although the Parks and Recreation Department is expected to go over budget by about \$56,000, or 1.9%, due to Aquatic Center expenditures, this overage will be more than offset by revenues that are also expected to exceed budget by approximately \$100,000.
- Please note that the estimated overage in General Administration is due entirely to the spending of insurance recovery proceeds related to storm damage at Riverfront Park, as referenced above in the revenue discussion.
- The remaining expenditure budget variances in other departments are due to estimated personnel and department operating savings. Please note that these savings are estimates and are subject to change.

## **HIGHWAY FUND**

### **Highway Fund Revenues**

- State shared highway user funds total roughly \$2.4 million or 81.9% of the budget amount of \$3.0 million and are expected to come in on budget at year-end. State grant revenues are estimated at \$195,551 for the fiscal year, due to reimbursements from the Pima Association of Governments (PAG) and the Regional Transportation Authority (RTA) for contract administration of roadway projects, as well as Transportation Art by Youth (TABY) program expenditures. Highway Fund revenues in total are estimated to come in over budget by about \$229,000 or 7.1%.

### **Highway Fund Expenditures**

- Expenditures are estimated to come in under budget by about \$139,000 or 2.9%. This variance is due largely to the Tangerine Access to Safeway (1st Ave) CIP project, which will roll over into FY 16/17. Please note that these figures are estimates and are subject to change.

## **BED TAX FUND**

## **Bed Tax Revenues**

- Bed tax revenues total \$875,636 or 92.7% of the budget amount of \$945,000, and are estimated to come in over budget by \$30,000 or 3.2%, based on collections received through April. Please note this is an estimate and is subject to change.

## **Bed Tax Fund Expenditures**

- Expenditures are estimated to come in under budget by about \$5,600 or 0.5% due to projected personnel savings. Please note that these savings are estimates and are subject to change.

## **COMMUNITY CENTER FUND**

Attachment D-1 shows the consolidated financial status of the Community Center Fund with all revenues and expenditures from Troon and Town-managed operations.

Attachment D-2 shows the monthly line item detail for the Troon-managed operations, specifically revenues and expenditures associated with the golf, tennis, food and beverage and lifeguard operations. The totals in the revenue and expenditure categories in Attachment D-2 tie to the Contracted Operating Revenues and Expenditures in Attachment D-1.

Attachment D-3 shows the revenues and expenditures for the Troon-managed food and beverage operations only.

## **Community Center Fund Revenues**

- Revenues in the Community Center Fund total \$4.8 million or 65.2% of the budget amount of \$7.4 million. Contracted operating revenues from Troon total \$2.5 million and Town operating revenues total \$580,178. Local sales tax revenues from the dedicated half-cent sales tax total nearly \$1.7 million or 84.4% of the budget amount of \$2,000,000.
- Local sales tax revenues from the dedicated half-cent sales tax are estimated to come in over budget by \$30,000 or 1.5%, based on collections received thus far in the fiscal year. Please note this is an estimate and is subject to change.
- Contracted operating revenues from Troon are estimated to come in under budget by about \$1.7 million or 36.1%, based on the updated forecast from Troon through the remainder of the fiscal year. These revenue estimates have been revised downward to \$3.0 million from the original budgeted amount of \$4.7 million based on lower revenue trends observed thus far in the fiscal year.
- Town operating revenues are estimated to come in over budget by nearly \$78,000 or 11.8%, due to member dues, which are expected to come in nearly 10% over budgeted figures, as well as recreation program revenues, which are expected to come in 50% over budgeted figures, for summer camp programs planned at the Community Center.

## **Community Center Expenditures**

- Expenditures in the Community Center Fund total approximately \$5.6 million or 68.9% of the budget amount of \$8.2 million. Contracted operating expenditures from Troon total \$4.7 million and Town operating expenditures total \$566,968. Capital outlay expenditures total \$397,134.
- Contracted operating expenditures from Troon are estimated to come in under budget by about \$867,000 or 13.9%, based on the updated forecast from Troon through the remainder of the fiscal year reflecting savings from operational changes that were implemented in December, as well as other line item expense reductions in the operations and maintenance categories, including closure of the golf courses on Mondays, reduced hours at The Overlook restaurant, reductions in staffing levels in the golf maintenance and restaurant operations, closure of the lap pool and reduced hours at the tennis facilities. The year-end expenditure estimates have been revised downward to \$5.4 million from the original budgeted amount of \$6.3 million. Accordingly, the year-end net loss for the Troon-managed operations has been revised from the budgeted amount of \$1.5 million to approximately \$2.36 million.
- The ending fund balance in the Community Center Fund is estimated at \$127,515.

Please see Attachments A, B, and C for additional details on the General Fund, Highway Fund and Bed Tax Fund. See Attachments D-1, D-2 and D-3 for additional details on the Community Center Fund. See Attachment E for a fiscal year-to-date consolidated summary of all Town Funds. See Attachment F for a breakdown of monthly local sales tax collections for the General Fund.

**FISCAL IMPACT:**

N/A

**SUGGESTED MOTION:**

This item is for information only.

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**Attachments**

Attachment A - General Fund  
Attachment B - Highway Fund  
Attachment C - Bed Tax Fund  
Attachment D-1 Community Center Fund  
Attachment D-2 Troon Cash Flow  
Attachment D-3 Troon F&B  
Attachment E - Summary All Funds  
Attachment F - Gen Fund Local Sales Tax

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**Highway Fund**

*% Budget Completion through April --- 83.3%*

**REVENUES:**

LICENSES & PERMITS  
 STATE GRANTS  
 STATE/COUNTY SHARED  
 CHARGES FOR SERVICES  
 INTEREST INCOME  
 MISCELLANEOUS  
**TOTAL REVENUES**

Actuals thru 4/2016	Budget	% Actuals to Budget
37,652	51,000	73.8%
187,375	-	0.0%
2,445,323	2,985,464	81.9%
111,667	134,000	83.3%
35,599	22,400	158.9%
31,393	10,000	313.9%
<b>2,849,007</b>	<b>3,202,864</b>	<b>89.0%</b>

Year End Estimate *	YE % Variance to Budget
47,000	-7.8%
195,551	0.0%
2,985,464	0.0%
134,000	0.0%
37,000	65.2%
32,582	225.8%
<b>3,431,597</b>	<b>7.1%</b>

**EXPENDITURES:**

ADMINISTRATION  
 TRANSPORTATION ENGINEERING  
 PAVEMENT MANAGEMENT  
 STREET MAINTENANCE  
 TRAFFIC ENGINEERING  
**TOTAL EXPENDITURES**

Actuals thru 4/2016	Budget	% Actuals to Budget
735,819	880,396	83.6%
435,151	561,772	77.5%
608,672	1,473,581	41.3%
880,700	1,159,510	76.0%
403,009	783,419	51.4%
<b>3,063,351</b>	<b>4,858,678</b>	<b>63.0%</b>

Year End Estimate *	YE % Variance to Budget
860,496	-2.3%
561,772	0.0%
1,473,581	0.0%
1,190,256	2.7%
633,419	-19.1%
<b>4,719,524</b>	<b>-2.9%</b>

**SURPLUS / (DEFICIT)**

**(214,344) (1,655,814)**

**(1,287,927)**

**BEGINNING FUND BALANCE**

**3,291,083**

**Plus: Surplus / (Deficit)**

**(1,287,927)**

**ENDING FUND BALANCE \*\***

**2,003,156**

\* Year-end estimates are subject to further revision

\*\* Ending fund balance amounts are estimates and are subject to further revision



**Bed Tax Fund**

*% Budget Completion through April --- 83.3%*

**REVENUES:**

BED TAXES  
 INTEREST INCOME  
**TOTAL REVENUES**

Actuals thru 4/2016	Budget	% Actuals to Budget	Year End Estimate *	YE % Variance to Budget
875,636	945,000	92.7%	975,000	3.2%
6,533	4,800	136.1%	7,000	45.8%
<b>882,169</b>	<b>949,800</b>	<b>92.9%</b>	<b>982,000</b>	<b>3.4%</b>

**EXPENDITURES:**

ECONOMIC DEVELOPMENT  
 TRANSFERS OUT  
**TOTAL EXPENDITURES**

Actuals thru 4/2016	Budget	% Actuals to Budget	Year End Estimate *	YE % Variance to Budget
478,130	672,732	71.1%	667,104	-0.8%
322,044	414,544	77.7%	414,544	0.0%
<b>800,174</b>	<b>1,087,276</b>	<b>73.6%</b>	<b>1,081,648</b>	<b>-0.5%</b>

**SURPLUS / (DEFICIT)**

**81,995                      (137,476)                      (99,648)**

**BEGINNING FUND BALANCE**

**464,626**

**Plus: Surplus / (Deficit)**

**(99,648)**

**ENDING FUND BALANCE \*\***

**364,978**

\* Year-end estimates are subject to further revision

\*\* Ending fund balance amounts are estimates and are subject to further revision



April YTD Financial Status

FY 2015/2016

**Community Center Fund**

% Budget Completion through April --- 83.3%

	Actuals thru 4/2016	Budget	% Actuals to Budget	Year End Estimate *	YE % Variance to Budget
<b>REVENUES:</b>					
<b>CONTRACTED OPERATING REVENUES</b>					
Golf Revenues	842,781	1,771,106	47.6%	1,009,385	-43.0%
Member Dues (Golf)	720,277	1,370,867	52.5%	880,277	-35.8%
Tennis Revenues	259,638	279,837	92.8%	304,848	8.9%
Food & Beverage	516,047	850,852	60.7%	616,525	-27.5%
Merchandise & Other	191,400	469,671	40.8%	220,400	-53.1%
	<b>2,530,143</b>	<b>4,742,333</b>	<b>53.4%</b>	<b>3,031,435</b>	<b>-36.1%</b>
<b>TOWN OPERATING REVENUES</b>					
Daily Drop-Ins	19,593	27,550	71.1%	23,000	-16.5%
Member Dues	468,442	526,480	89.0%	577,111	9.6%
Recreation Programs	89,585	84,000	106.6%	126,000	50.0%
Tennis Court Rentals	-	7,200	0.0%	7,200	0.0%
Facility Rental Income	1,278	13,200	9.7%	1,240	-90.6%
Concession Sales	1,031	-	0.0%	1,200	0.0%
Special Events	250	-	0.0%	250	0.0%
	<b>580,178</b>	<b>658,430</b>	<b>88.1%</b>	<b>736,001</b>	<b>11.8%</b>
<b>OTHER REVENUES</b>					
Local Sales Tax	1,687,715	2,000,000	84.4%	2,030,000	1.5%
Real Property Rental Income	27,861	-	0.0%	27,861	0.0%
Sale of Assets	1,365	-	0.0%	1,365	0.0%
Donations	100	-	0.0%	100	0.0%
	<b>1,717,040</b>	<b>2,000,000</b>	<b>85.9%</b>	<b>2,059,326</b>	<b>3.0%</b>
<b>TOTAL REVENUES</b>	<b>4,827,361</b>	<b>7,400,763</b>	<b>65.2%</b>	<b>5,826,762</b>	<b>-21.3%</b>

	Actuals thru 4/2016	Budget	% Actuals to Budget	Year End Estimate *	YE % Variance to Budget
<b>EXPENDITURES:</b>					
<b>CONTRACTED OPERATING EXPENDITURES</b>					
Personnel	1,933,162	2,638,457	73.3%	2,224,304	-15.7%
Operations & Maintenance	2,398,010	3,289,219	72.9%	2,767,528	-15.9%
Equipment Leases	345,971	333,000	103.9%	401,728	20.6%
	<b>4,677,143</b>	<b>6,260,676</b>	<b>74.7%</b>	<b>5,393,560</b>	<b>-13.9%</b>
<b>TOWN OPERATING EXPENDITURES</b>					
Personnel	413,428	462,517	89.4%	576,587	24.7%
Operations & Maintenance	153,540	225,140	68.2%	184,322	-18.1%
	<b>566,968</b>	<b>687,657</b>	<b>82.4%</b>	<b>760,909</b>	<b>10.7%</b>
<b>CAPITAL OUTLAY</b>	<b>397,134</b>	<b>1,115,000</b>	<b>35.6%</b>	<b>450,000</b>	<b>-59.6%</b>
<b>TRANSFER TO GENERAL FUND</b>	<b>-</b>	<b>120,000</b>	<b>0.0%</b>	<b>120,000</b>	<b>0.0%</b>
<b>TOTAL EXPENDITURES</b>	<b>5,641,245</b>	<b>8,183,333</b>	<b>68.9%</b>	<b>6,724,469</b>	<b>-17.8%</b>
<b>SURPLUS / (DEFICIT)</b>	<b>(813,885)</b>	<b>(782,570)</b>		<b>(897,707)</b>	

**BEGINNING FUND BALANCE****1,025,222****Plus: Surplus / (Deficit)****(897,707)****ENDING FUND BALANCE \*\*****127,515**

\* Year-end estimates are subject to further revision

\*\* Ending fund balance amounts are estimates and are subject to further revision

TROON  
El Conquistador Cash Flow Statement

	Actual Jul-15	Actual Aug-15	Actual Sep-15	Actual Oct-15	Actual Nov-15	Actual Dec-15	Actual Jan-16	Actual Feb-16	Actual Mar-16	Actual Apr-16	Actual TOTAL	Original Budget TOTAL	Forecast TOTAL
<b>Revenues:</b>													
Golf Fees, net of discounts	31,127	26,555	41,922	39,692	79,985	48,184	80,184	125,390	124,090	85,721	682,850	1,456,271	812,137
Trail Fees & Member Cart Fees	9,970	8,994	9,800	10,860	13,139	13,105	14,585	14,593	14,362	13,818	123,226	180,000	152,339
Golf - Group Services	-	-	-	(550)	60	151	45	-	-	124	(170)	-	(170)
Range, Rentals, Other Golf related	1,368	1,593	1,984	2,712	2,839	2,479	3,671	4,273	5,856	3,908	30,683	127,735	37,542
Golf Lessons	785	510	1,115	680	847	340	160	895	625	235	6,192	7,100	7,537
<b>Total Member Dues</b>	<b>65,377</b>	<b>57,786</b>	<b>64,719</b>	<b>69,970</b>	<b>75,806</b>	<b>75,697</b>	<b>77,475</b>	<b>78,796</b>	<b>78,113</b>	<b>76,538</b>	<b>720,277</b>	<b>1,370,867</b>	<b>880,277</b>
Other Member Income	-	-	-	-	60	20	-	-	-	994	1,074	-	1,074
Swim/Tennis Revenues	24,923	9,172	27,593	51,543	26,871	23,871	31,336	21,542	19,312	23,475	259,638	279,837	304,848
Salon/Spa Revenues	-	150	400	-	-	-	-	-	-	-	550	-	550
GOLF PUSCH RIDGE Revenues	60	20	-	-	-	-	-	-	-	-	80	-	80
Merchandise, net of discounts	11,112	9,342	12,462	17,555	24,638	26,524	11,929	21,137	26,284	28,713	189,696	469,671	218,696
Food and Beverage, net of discounts	34,002	29,430	35,077	44,481	65,705	51,745	65,512	57,623	71,701	60,771	516,047	850,852	616,525
<b>Total Revenues</b>	<b>178,724</b>	<b>143,552</b>	<b>195,072</b>	<b>236,943</b>	<b>289,890</b>	<b>242,156</b>	<b>284,917</b>	<b>324,249</b>	<b>340,343</b>	<b>294,297</b>	<b>2,530,143</b>	<b>4,742,333</b>	<b>3,031,435</b>
<b>Cost of Sales:</b>													
COS - Golf	-	-	-	-	-	-	-	-	-	-	-	17,690	1,577
COS - Golf Lessons	692	282	100	937	546	556	77	836	710	-	4,736	5,680	5,812
COS - Service Commissions	14,268	10,023	14,477	21,783	16,516	12,477	16,074	16,173	13,499	20,810	156,100	161,791	182,323
COS - Merchandise, net of discounts	9,877	5,517	6,335	10,196	16,931	18,007	6,966	15,519	20,036	20,096	129,480	299,527	152,680
COS - Food & Beverage	14,172	11,484	15,150	14,875	26,917	16,195	20,202	20,170	21,971	20,706	181,842	267,418	213,995
<b>Total Cost of Sales</b>	<b>39,009</b>	<b>27,306</b>	<b>36,062</b>	<b>47,791</b>	<b>60,910</b>	<b>47,235</b>	<b>43,319</b>	<b>52,698</b>	<b>56,216</b>	<b>61,612</b>	<b>472,158</b>	<b>752,105</b>	<b>556,387</b>
<b>Gross Profit</b>	<b>139,715</b>	<b>116,246</b>	<b>159,010</b>	<b>189,152</b>	<b>228,980</b>	<b>194,921</b>	<b>241,598</b>	<b>271,551</b>	<b>284,127</b>	<b>232,685</b>	<b>2,057,985</b>	<b>3,990,228</b>	<b>2,475,048</b>
<b>Operating Expenses:</b>													
Payroll	193,325	182,694	172,731	193,514	159,466	114,460	127,022	124,638	142,114	140,582	1,550,546	2,182,859	1,779,757
Employee Benefits	40,630	38,531	45,466	31,729	35,879	34,366	29,537	31,205	32,236	29,897	349,476	406,314	404,487
Employee Related	5,644	3,873	3,204	3,187	3,700	3,438	2,607	2,303	2,710	2,474	33,140	49,284	40,060
Professional Fees	-	-	306	10	-	-	-	3	-	-	319	3,975	969
Advertising & Marketing	5,213	-	2,359	14,318	5,725	8,987	6,261	5,710	4,146	14,251	66,970	77,768	73,679
Comp Expense	-	3,340	-	-	-	-	-	-	-	-	3,340	-	3,340
Repair & Maintenance	53,817	61,662	84,353	82,903	32,520	20,833	30,086	38,476	35,367	27,082	467,099	488,050	524,309
Operating Expenses	27,627	25,858	20,478	21,488	18,576	24,922	23,449	14,664	32,141	24,376	233,579	413,791	274,661
<b>Total Operating Expenses</b>	<b>326,256</b>	<b>315,958</b>	<b>328,897</b>	<b>347,149</b>	<b>255,866</b>	<b>207,006</b>	<b>218,962</b>	<b>216,999</b>	<b>248,714</b>	<b>238,662</b>	<b>2,704,469</b>	<b>3,622,041</b>	<b>3,101,262</b>
<b>Operating Profit</b>	<b>(186,541)</b>	<b>(199,712)</b>	<b>(169,887)</b>	<b>(157,997)</b>	<b>(26,886)</b>	<b>(12,085)</b>	<b>22,636</b>	<b>54,552</b>	<b>35,413</b>	<b>(5,977)</b>	<b>(646,484)</b>	<b>368,186</b>	<b>(626,214)</b>
Leases - Carts	16,440	16,440	16,364	16,364	8,377	19,944	17,610	8,250	8,250	8,250	136,289	105,000	152,789
Leases - Equipment	19,605	22,357	5,163	16,640	39,321	22,795	19,267	19,935	22,032	22,567	209,682	228,000	248,939
Utilities	168,472	141,589	148,567	134,259	39,120	64,910	35,740	75,480	96,239	120,288	1,024,664	1,320,391	1,215,348
<b>Fixed Operating Expenses</b>	<b>204,517</b>	<b>180,386</b>	<b>170,094</b>	<b>167,263</b>	<b>86,818</b>	<b>107,649</b>	<b>72,617</b>	<b>103,665</b>	<b>126,521</b>	<b>151,105</b>	<b>1,370,635</b>	<b>1,653,391</b>	<b>1,617,076</b>
<b>Gross Operating Profit</b>	<b>(391,058)</b>	<b>(380,098)</b>	<b>(339,981)</b>	<b>(325,260)</b>	<b>(113,704)</b>	<b>(119,734)</b>	<b>(49,981)</b>	<b>(49,113)</b>	<b>(91,108)</b>	<b>(157,082)</b>	<b>(2,017,119)</b>	<b>(1,285,205)</b>	<b>(2,243,290)</b>
Insurance	-	86	-	86	86	86	88	88	88	88	696	85,520	696
Property Taxes	-	-	1,011	-	-	3,601	-	-	-	-	4,612	-	4,612
Fees, Permits & Licenses	9	250	86	80	-	140	93	-	-	497	1,155	3,619	2,109
Base Management Fees	12,000	12,000	12,000	12,000	12,000	12,000	12,000	12,000	12,000	12,000	120,000	144,000	108,000
Bad Debt	-	1,080	270	600	-	153	640	-	675	-	3,418	-	3,418
<b>Total Other Expenses</b>	<b>12,009</b>	<b>13,416</b>	<b>13,367</b>	<b>12,766</b>	<b>12,086</b>	<b>15,980</b>	<b>12,728</b>	<b>12,181</b>	<b>12,763</b>	<b>12,585</b>	<b>129,881</b>	<b>233,139</b>	<b>118,835</b>
<b>Net Income (Loss)</b>	<b>(403,069)</b>	<b>(393,514)</b>	<b>(353,348)</b>	<b>(338,026)</b>	<b>(125,790)</b>	<b>(135,714)</b>	<b>(62,709)</b>	<b>(61,294)</b>	<b>(103,871)</b>	<b>(169,667)</b>	<b>(2,147,002)</b>	<b>(1,518,343)</b>	<b>(2,362,125)</b>

# ATTACHMENT D-3

## EL CONQUISTADOR INCOME STATEMENT CONSOLIDATED - RESTAURANT/GRILLE - APRIL 2016

	ACTUAL MONTH	BUDGET MONTH	ACTUAL Y-T-D	BUDGET Y-T-D
FOOD & BEVERAGE REVENUE	60,771	90,229	515,947	728,283
TOTAL REVENUES	60,771	90,229	515,947	728,283
COST OF SALES	20,706	27,805	181,844	229,085
PAYROLL & BENEFITS	48,115	45,527	468,992	409,979
OPERATING EXPENSES	8,160	7,776	75,383	75,439
NET INCOME (LOSS)	(16,210)	9,121	(210,272)	13,780



Consolidated Year-to-Date Financial Report through April, 2016

ATTACHMENT E

FY 2015/2016

Fund	FY 15/16 Begin Bal.	Revenue	Other Fin Sources/Tfrs	Total In	Capital Leases/ Transfer Out	Personnel	O&M	Capital	Contingency	Debt Service	Total Out	Left in Accounts Thru Apr 2016
General Fund - Unassigned	8,597,873	25,469,367	92,500	25,561,867	981,289	17,792,613	5,722,727	211,315	-	-	24,707,943	9,451,797
General Fund - Assigned	1,553,999										-	1,553,999
Highway Fund - Restricted	3,291,083	2,849,007	-	2,849,007	228,366	1,517,434	586,360	731,191	-	-	3,063,351	3,076,739
Seizure & Forfeiture - Justice/State	235,952	78,194	-	78,194	-	174,490	24,005	17,312	-	-	215,807	98,339
Bed Tax Fund - Committed	464,626	882,169	-	882,169	322,044	194,550	283,580	-	-	-	800,174	546,621
Impound Fee Fund	28,435	41,080	-	41,080	-	22,214	-	-	-	-	22,214	47,301
Community Center Fund	1,025,222	4,827,361	-	4,827,361	345,971	413,428	4,484,713	397,134	-	-	5,641,245	211,338
Municipal Debt Service Fund	166,798	112,985	655,750	768,735	-	-	53,625	-	-	838,865	892,490	43,042
Oracle Road Debt Service Fund	1,946	171,628	3,000	174,628	-	-	2,350	-	-	156,561	158,911	17,663
Alternative Water Resources Dev Impact Fee Fund	4,021,793	857,225	-	857,225	-	-	81,811	174	-	-	81,985	4,797,033
Potable Water System Dev Impact Fee Fund	4,800,153	446,075	-	446,075	-	-	-	-	-	43,645	43,645	5,202,583
Townwide Roadway Development Impact Fee Fund	2,677,852	434,677	-	434,677	-	-	-	47,809	-	-	47,809	3,064,721
Parks & Recreation Impact Fee Fund	136,103	135,518	-	135,518	-	-	-	-	-	-	-	271,621
Library Impact Fee Fund	94,798	-	-	-	-	-	-	28,628	-	-	28,628	66,170
Police Impact Fee Fund	254,577	60,425	-	60,425	-	-	-	-	-	-	-	315,002
General Government Impact Fee Fund	3,505	7	-	7	-	-	-	-	-	-	-	3,512
General Government CIP Fund	1,421,593	-	738,025	738,025	-	-	-	1,544,785	-	-	1,544,785	614,833
PAG/RTA Fund	-	2,860,302	-	2,860,302	-	26,783	-	2,516,350	-	-	2,543,133	317,170
Water Utility	13,864,359	13,308,452	-	13,308,452	3,030	2,339,595	5,164,287	1,832,899	-	4,001,302	13,341,113	13,831,697
Stormwater Utility	279,353	670,103	-	670,103	-	275,505	336,423	48,481	-	-	660,409	289,047
Fleet Fund	298,922	1,120,888	-	1,120,888	-	69,884	409,067	434,820	-	-	913,772	506,038
Benefit Self Insurance Fund	244,162	2,342,043	-	2,342,043	-	-	2,503,464	-	-	-	2,503,464	82,741
Recreation In-Lieu Fee Fund	6,190	21,728	-	21,728	-	-	-	12,200	-	-	12,200	15,718
<b>Total</b>	<b>43,469,294</b>	<b>56,689,234</b>	<b>1,489,275</b>	<b>58,178,509</b>	<b>1,880,700</b>	<b>22,826,495</b>	<b>19,652,413</b>	<b>7,823,098</b>	<b>-</b>	<b>5,040,374</b>	<b>57,223,078</b>	<b>44,424,726</b>



## General Fund Local Sales Tax Collections

ATTACHMENT F

FY 2015/2016

CATEGORY	JULY	AUG	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUNE	TOTAL
Construction Sales Tax	193,497	160,759	190,812	234,763	222,548	254,307	260,568	107,429	263,734	235,835			<b>2,124,251</b>
Utility Sales Tax	257,552	312,494	304,666	286,667	243,827	195,345	242,200	268,984	222,718	193,630			<b>2,528,082</b>
Retail Sales Tax	441,557	415,209	393,690	403,193	413,231	525,645	688,527	426,418	433,139	511,289			<b>4,651,897</b>
All Other Local Sales Tax *	239,739	229,766	182,484	216,361	270,637	276,937	295,738	201,982	259,537	325,493			<b>2,498,674</b>
<b>TOTAL</b>	<b>\$ 1,132,346</b>	<b>\$ 1,118,228</b>	<b>\$ 1,071,652</b>	<b>\$ 1,140,984</b>	<b>\$ 1,150,242</b>	<b>\$ 1,252,234</b>	<b>\$ 1,487,032</b>	<b>\$1,004,813</b>	<b>\$1,179,127</b>	<b>\$ 1,266,247</b>			<b>\$ 11,802,905</b>

\* Note: Does not include cable franchise fees or sales tax audit revenues



**Town Council Regular Session**

Item # D.

**Meeting Date:** 06/01/2016

**Requested by:** Julie Bower

**Submitted By:** Julie Bower, Town  
Clerk's Office

**Department:** Town Clerk's Office

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**Information**

**SUBJECT:**

Resolution No. (R)16-21, authorizing and approving an Intergovernmental Agreement (IGA) between the Town of Oro Valley and the Pima County Recorder to provide election services for the August 30, 2016 Primary Election and the November 8, 2016 General Election

**RECOMMENDATION:**

Staff recommends approval.

**EXECUTIVE SUMMARY:**

The attached resolution authorizes and approves an IGA between the Town and the Pima County Recorder to provide election services for the Town's August 30, 2016 Primary Election and November 8, 2016 General Election.

**BACKGROUND OR DETAILED INFORMATION:**

Arizona Revised Statutes, section 16-408(D), permits the governing body to enter into an agreement with the County Board of Supervisors and County Recorder for election services.

**FISCAL IMPACT:**

Based on the cost of the 2014 primary and 2015 special recall election, and because a question regarding the General Plan is included on the November 8 General Election ballot, the Clerk's Office has requested \$75,000 in its election budget for FY 2016/17.

**SUGGESTED MOTION:**

I MOVE to (adopt / deny) Resolution No. (R)16-21, authorizing and approving an Intergovernmental Agreement between the Town of Oro Valley and the Pima County Recorder to provide election services for the August 30, 2016 Primary Election and the November 8, 2016 General Election.

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## **Attachments**

(R)16-21 IGA for Election Services  
IGA

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**RESOLUTION NO. (R)16-21**

**A RESOLUTION OF THE MAYOR AND COUNCIL OF THE TOWN OF ORO VALLEY, ARIZONA AUTHORIZING AND APPROVING AN INTERGOVERNMENTAL AGREEMENT BETWEEN THE TOWN OF ORO VALLEY AND PIMA COUNTY FOR ELECTION SERVICES TO BE EFFECTIVE MAY 15, 2016 THROUGH COMPLETION OF ALL OBLIGATIONS AND ACTIVITIES CONTEMPLATED BY THIS INTERGOVERNMENTAL AGREEMENT, PROVIDED THAT THE TERM SHALL CONTINUE THROUGH FINAL RESOLUTION OF ANY LEGAL CHALLENGE TO THE ELECTION**

**WHEREAS**, the Town of Oro Valley, pursuant to Arizona Revised Statutes (A.R.S.) § 11-952, is authorized to enter into or renew agreements for joint and cooperative action with other public agencies; and

**WHEREAS**, Pima County is authorized under A.R.S. §§ 16-205(C), 16-409, 16-450, 11-251(3), 11-951, *et. seq.* to perform services regarding elections; and

**WHEREAS**, pursuant to A.R.S. Title 9, Title 11 and Title 16, the Town of Oro Valley, Arizona is allowed to call for Elections; and

**WHEREAS**, Pima County and the Town of Oro Valley have determined that the use of the services of the Division of Elections is in the public interest and that Pima County agrees to provide said services.

**NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND COUNCIL OF THE TOWN OF ORO VALLEY, ARIZONA:**

1. That the Intergovernmental Agreement between the Town of Oro Valley and Pima County for Election Services, attached hereto as Exhibit "A", is hereby approved.
2. That the Mayor of the Town of Oro Valley and administrative officials are hereby authorized to take such steps as necessary to execute and implement the terms of the Intergovernmental Agreement.

**PASSED AND ADOPTED** by the Mayor and Town Council of the Town of Oro Valley, Arizona, this 1<sup>st</sup> day of June, 2016.

**TOWN OF ORO VALLEY**

\_\_\_\_\_  
Dr. Satish I. Hiremath, Mayor

**ATTEST:**

\_\_\_\_\_  
Julie K. Bower, Town Clerk

Date: \_\_\_\_\_

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Tobin Sidles, Legal Services Director

Date: \_\_\_\_\_

**EXHIBIT “A”**

**INTERGOVERNMENTAL AGREEMENT**

**PIMA COUNTY RECORDER**

**2016 ELECTION SERVICES WITH  
THE TOWN OF ORO VALLEY**

**ESTIMATED INCOME: \$12,000.00\***

**FUNDING: The Town of Oro Valley**

**\* estimated for both elections within this IGA**

(STAMP HERE)

**INTERGOVERNMENTAL AGREEMENT**

For Election Services  
Among The Town of Oro Valley and Pima County

This Intergovernmental Agreement (IGA) is by and among THE TOWN OF ORO VALLEY OF PIMA COUNTY, ARIZONA, a municipal subdivision of the State of Arizona ("the TOWN") and PIMA COUNTY, a political subdivision of the State of Arizona ("the County"), on behalf of the PIMA COUNTY RECORDER ("the Recorder").

**RECITALS**

1. The Town, pursuant to A.R.S. §§ 9-231(A) and 16-409 will prepare for and conduct two elections: a Primary Election to be held on August 30, 2016; and a General Election to be held on November 8, 2016 if necessary for members of its common council.
2. A.R.S. §§ 16-205(C), 16-172, 11-251(3), 16-450, and 16-405 *et seq.* authorize the County to perform services for any political subdivision regarding elections.
3. A.R.S. § 16-172 authorizes any political subdivision conducting elections to utilize the County registration rolls upon reimbursement to the Recorder for actual expenses in furnishing voter registration data to the subdivision.
4. A.R.S. § 16-408(D) permits the governing body of any election district authorized to conduct an election to enter into an Agreement with the Board of Supervisors and Recorder for election services, with the contracted cost being a charge against the election district.
5. The parties are authorized to enter into an intergovernmental agreement pursuant to A.R.S. § 11-952 *et seq.*
6. The TOWN desires to utilize the Pima County registration rolls and other election-related services provided by the Recorder for the Primary Election to be held on August 30, 2016 and a General Election to be held on November 8, 2016 for members of its common council.
7. The TOWN, the County and the Recorder have determined that it is in the best interest of the public for the TOWN to use the services of the Recorder in conducting the elections called for August 30, 2016 and November 8, 2016.

NOW, THEREFORE, the parties hereto agree as follows:

The purpose of this IGA is to set forth the duties and responsibilities of the Recorder and the TOWN with respect to the August 30, 2016 and November 8, 2016 elections to be held by the TOWN of Oro Valley.

### **ARTICLE I - TERM AND EXTENSION/RENEWAL/CHANGES**

The term of this IGA shall be from May 15, 2016 through completion of all obligations and activities associated with the August 30, 2016 and November 8, 2016 elections contemplated by this IGA, provided that the term shall continue through final resolution of any legal challenge to the election. Any modifications or time extension of this IGA shall be by formal written amendment and executed by the parties.

Amendments to the Agreement must be approved by the Board of Supervisors as required by the Pima County Procurement code, before any work or deliveries under the Amendment commences.

### **ARTICLE II – SCOPE OF SERVICES**

This Agreement establishes the agreement under which the County will provide the TOWN with Election services in accordance with the following:

**County Recorder Services:** The Recorder shall:

- (1) For the Primary election on August 30, 2016, all Oro Valley voters who are members of a recognized political party and are on the Permanent Early Voting List (PEVL) will receive a normal primary ballot that will include all of the Oro Valley candidates.
- (2) For the Primary election on August 30, 2016, all Oro Valley voters who are not affiliated with one of the recognized political parties and are on the PEVL will have the option of choosing one of the following:
  - a. any of the partisan ballots that will include all of the Oro Valley candidates.
  - b. a ballot that will have ONLY the Oro Valley candidates on it.
- (3) All non-affiliated PEVL voters from Oro Valley will receive a special 90-day notice letting them know their options for the Primary election.
- (4) Provide Deputy County Recorders for team early voting when necessary for Oro Valley ONLY voters during the Primary election on August 30, 2016 and give the TOWN notice of each request for team early voting.
- (5) Prepare and deliver a single invoice to the TOWN no later than 21 days after the final election date, containing a detailed breakdown of all Recorder costs for these elections.

**TOWN Obligations:** TOWN shall:

- (1) Notify the Recorder in writing, at least 120 days or at such other time as the parties may agree before any consolidated election date on which the TOWN wants services pursuant to this IGA, detailing the election-related services pursuant to this IGA.
- (2) Prepare and distribute any requisite translation, printing, and mailing of all publicity pamphlets.
- (3) Should the election be challenged or questioned for any reason whatsoever, then the TOWN shall be solely responsible for defending, legally or otherwise, said elections. This duty shall survive the expiration of the IGA, provided that the County shall cooperate with the TOWN in making relevant information and witnesses available upon reasonable request.

- (4) Within 30 days of the date of each invoice, the TOWN shall reimburse the County, in full, for invoiced costs of election materials, supplies and equipment, and personnel required in direct support of the TOWN election, as set forth below.
- (5) Be responsible for the security of all ballots tabulated by officials and vendors other than Pima County's agents or employees and ensure that any functions performed by TOWN or its outside vendors comply with applicable law and procedures of the Secretary of State.
- (6) Arrange for and publish any and all notices of this election as required by law.

**ARTICLE III – COMPENSATION AND PAYMENT**

Within thirty (30) days of the date of invoice, TOWN will pay the Pima County Recorder:

(1) The following charges will only apply to any Primary Election ballots provided to unaffiliated Oro Valley Voters who request an Oro Valley ONLY ballot:

a. Permanent Early Voting List (PEVL) Ballots	\$3.00 each
b. Non-PEVL ballot requests	\$5.75 each
c. Early Ballot Signature verification	\$0.75 each
d. Satellite Ballots	\$2.00 each
e. Replacement Ballots – By Mail	\$3.00 each
f. Provisional Ballots	\$16.00 each
g. Conditional Provisional Ballots	\$6.00 each
h. Team Voting	\$60.00 per request
i. Problem Ballots – includes calling the voter, sending them a letter	\$6.00 each

(2) Consolidated Election Participation Fee – per active voter for each election \$0.10 each

(3) Voter Registration Maintenance Fee- for each election  
 Per Active Voter \$0.05  
 Per Inactive Voter \$0.05

(4) Computer programming as required for additional voter data at \$50.00 per hour, one hour minimum.

(5) Any other costs associated with services provided for the conduct of the Election(s), as set forth in Pima County Fee Ordinance 2016-10 which is attached hereto as Exhibit A.

(6) Invoices not paid within 30 days of billing date will accrue interest at the rate of 10% per annum.

**ARTICLE IV – INSURANCE**

All parties to this agreement are government entities. Neither entity is required to procure special insurance coverage for their obligations under this IGA.

**ARTICLE V - INDEMNIFICATION**

Each party (as Indemnitor) agrees to indemnify, defend and hold harmless the other party (as Indemnitee) from and against any and all claims, losses, liability, costs or expenses (including reasonable attorney's fees) (hereinafter collectively referred to as "claims") arising out of bodily injury of any person (including death) or

property damage, but only to the extent that such claims which result in vicarious/derivative liability to the Indemnitee, are caused by the act, omission, negligence, misconduct, or other fault of the Indemnitor, its officers, officials, agents, employees, or volunteers.

#### **ARTICLE VI - COMPLIANCE WITH LAWS**

The parties shall comply with all federal, state and local laws, rules, regulations, standards and Executive Orders, without limitation to those designated within this Agreement. The laws and regulations of the State of Arizona shall govern the rights of the parties, the performance of this Agreement and any disputes hereunder. Any action relating to this Agreement shall be brought in an Arizona court in Pima County. Any changes in the governing laws, rules and regulations during the terms of this Agreement shall apply but do not require an amendment.

#### **ARTICLE VII - INDEPENDENT CONTRACTOR**

Each party shall comply with the notice of A.R.S. § 23-1022(E). For purposes of A.R.S. § 23-1022, each party shall be considered the primary employer of all personnel currently or hereafter employed by that party, irrespective of the operations of protocol in place, and such party shall have the sole responsibility of the payment of Worker's Compensation benefits or other fringe benefits of said employees.

#### **ARTICLE VIII - ASSIGNMENT**

The TOWN shall not assign its rights to this Agreement, in whole or in part, without prior written approval of the COUNTY. Approval may be withheld at the sole discretion of COUNTY, provided that such approval shall not be unreasonably withheld.

#### **ARTICLE IX - NON-DISCRIMINATION**

The TOWN shall not discriminate against any County employee, client or any other individual in any way because of that person's age, race, creed, color, religion, sex, disability or national origin in the course of carrying out duties pursuant to this IGA. The TOWN shall comply with the provisions of Executive Order 2009-09, including flow down of all provisions and requirements to any subcontractors. Executive Order 2009-09 supersedes Executive order 99-4 and amends Executive Order 75-5 and may be viewed and downloaded at the Governor or the State of Arizona's website [http://www.azgovernor.gov/dms/upload/EO\\_2990\\_90.pdf](http://www.azgovernor.gov/dms/upload/EO_2990_90.pdf) which is hereby incorporated into this Agreement by reference, as if set forth in full herein.

#### **ARTICLE X - AMERICANS WITH DISABILITIES ACT**

The parties shall comply with all applicable provisions of the Americans with Disabilities Act (Public Law 101-336, 42 U.S.C. 12101-12213) and all applicable federal regulations under the Act, including 28 C.F.R. Parts 35 and 36.

#### **ARTICLE XI - AUTHORITY TO CONTRACT**

No party warrants to any other party its legal authority to enter into this IGA. If a court, at the request of a third person, should declare that any party lacks authority to enter into this IGA, or any part of it, then the IGA, or parts of it affected by such order, shall be null and void, and no recovery may be had by any party against the other for lack of performance or otherwise.

#### **ARTICLE XII - FULL AND COMPLETE PERFORMANCE**

The failure of either party to insist on one or more instances upon the full and complete performance with any of the terms or conditions of this Agreement to be performed on the part of the other, or to take any action permitted as a result thereof, shall not be construed as a waiver or relinquishment of the right to insist upon full

and complete performance of the same, or any other covenant or condition, either in the past or in the future. The acceptance by either party of sums less than may be due and owing it at any time shall not be construed as an accord and satisfaction.

### **ARTICLE XIII - CANCELLATION FOR CONFLICT OF INTEREST**

This Agreement is subject to cancellation for conflict of interest pursuant to A.R.S. § 38-511, the pertinent provisions of which are incorporated into this Agreement by reference.

### **ARTICLE XIV – TERMINATION FOR CONVENIENCE**

Notwithstanding any other provision in this IGA, this IGA may be terminated if for any reason the County Board of Supervisors or the Oro Valley Town Council does not appropriate sufficient monies for the purpose of maintaining this IGA. In the event of such cancellation, neither the County, nor the County Recorder shall have any further obligation to the TOWN. In the event that the TOWN cancels, the TOWN shall be liable for any costs already incurred by the County or the County Recorder at the time of the notification of the cancellation.

### **ARTICLE XV - NOTICE**

Any notice required or permitted to be given under this Agreement shall be in writing and shall be served by personal delivery or by certified mail upon the other party as follows:

#### **PIMA COUNTY**

F. Ann Rodriguez  
Pima County Recorder  
240 N Stone Avenue  
Tucson, AZ 85701  
(520) 724-4356  
Fax: (520) 623-1785

#### **TOWN OF ORO VALLEY**

Julie Bower,  
Town Clerk  
11000 N La Cañada Drive  
Oro Valley, AZ 85737  
(520) 229-4740  
Fax: (520) 297-0428

Tobin Sidles, Esq.  
Legal Services Director  
11000 N La Cañada Drive  
Oro Valley, AZ 85737  
(520) 229-4761  
Fax: (520) 229-4774

### **ARTICLE XVI - NON-EXCLUSIVE AGREEMENT**

Nothing in the provisions of this IGA is intended to create duties or obligations to or rights in third parties not parties to this IGA, or affect the legal liability of any party to the IGA by imposing any standard of care different from the standard of care imposed by law.

This IGA is not intended to, and this IGA shall not be construed to, create any partnership, joint venture or employment relationship between the parties or create any employer-employee relationship between County or Recorder and any TOWN employees, or between the TOWN and any County employees. No party shall be liable for any debts, accounts, obligations nor other liabilities whatsoever of any other party, including (without limitation) any other party's obligation to withhold Social Security and income taxes for itself or any of its employees.

### **ARTICLE XVII - REMEDIES**

Either party may pursue any remedies provided by law for the breach of this Agreement. No right or remedy is intended to be exclusive of any other right or remedy and each shall be cumulative and in addition to any other right or remedy existing at law or at equity or by virtue of this Agreement.

**ARTICLE XVIII - SEVERABILITY**

Either party may terminate this IGA at any time by giving written notice of such termination and specifying the effective date thereof, at least thirty (30) days before the effective date of such termination. In the event of termination, any real or personal property belonging to either party and furnished pursuant to this IGA, shall be returned to the furnishing party. Any funds of TOWN paid to County in accordance with this IGA and not encumbered at the time of termination shall be refunded to TOWN.

**ARTICLE XIX – LEGAL ARIZONA WORKERS ACT COMPLIANCE**

The COUNTY and TOWN hereby warrant that they will at all times during the term of this Agreement comply with all federal immigration laws and with the requirements of A.R.S. § 23-214(A) (together the "State and Federal Immigration Laws").

**(THE REMAINDER OF THIS PAGE IS INTENTIONALLY LEFT BLANK)**

**ARTICLE XX - ENTIRE AGREEMENT**

This document constitutes the entire agreement between the parties pertaining to the subject matter hereof, and all prior or contemporaneous agreements and understandings, oral or written, are hereby superseded and merged herein. This IGA shall not be modified, amended, altered or extended except through a written amendment signed by the parties.

IN WITNESS WHEREOF, the parties hereby have executed this Agreement on this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

TOWN OF ORO VALLEY

PIMA COUNTY BOARD OF SUPERVISORS

By: \_\_\_\_\_  
Mayor

By: \_\_\_\_\_  
Chair

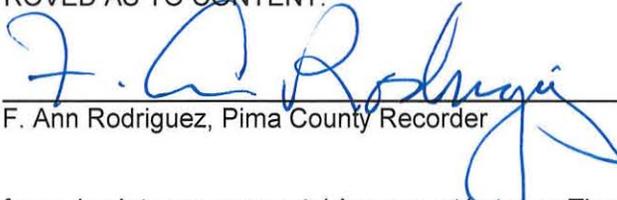
ATTEST:

ATTEST:

By: \_\_\_\_\_  
Town Clerk

By: \_\_\_\_\_  
Clerk of the Board of Supervisors

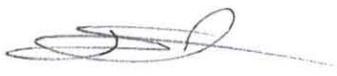
APPROVED AS TO CONTENT:

By:  \_\_\_\_\_  
F. Ann Rodriguez, Pima County Recorder

The foregoing Intergovernmental Agreement between The Town of Oro Valley, Pima County and the Pima County Recorder has been reviewed pursuant to A.R.S. § 11-952 by the undersigned, who have determined that it is in the proper form and is within the powers and authority granted under the laws of the State of Arizona to those parties to the Intergovernmental Agreement represented by the undersigned.

Pima County and Pima County Recorder

Town of Oro Valley

  
\_\_\_\_\_  
Daniel Jurkowitz  
Deputy County Attorney

\_\_\_\_\_  
Legal Services Director for the Town of  
Oro Valley



**Town Council Regular Session**

Item # E.

**Meeting Date:** 06/01/2016

**Requested by:** Magistrate Court

**Submitted By:** Julie Bower, Town  
Clerk's Office

**Department:** Town Clerk's Office

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**Information**

**SUBJECT:**

Resolution No. (R)16-22, authorizing and approving an intergovernmental agreement (IGA) between the Town of Oro Valley and the City of Tucson for the use of the City's Alternative to Jail (ATJ) Program

**RECOMMENDATION:**

Staff recommends approval.

**EXECUTIVE SUMMARY:**

Arizona Revised Statutes (ARS) section 16-408(D) permits the governing body to enter into an agreement with the City of Tucson to participate in the City's ATJ Program.

**BACKGROUND OR DETAILED INFORMATION:**

The attached resolution authorizes and approves an IGA between the Town and the City of Tucson to allow the Town to participate in the ATJ Program. The Oro Valley Police Department would install camera equipment to establish a video link between the Police Department and the Tucson City Court ATJ court room for the purpose of having defendants taken into custody on Oro Valley Magistrate Court and Tucson City Court warrants seen by the ATJ Judge in City Court as an alternative to automatically booking them into jail.

**FISCAL IMPACT:**

Oro Valley will pay a fee of \$20.00 for each Oro Valley defendant seen at the AJT Court which will come from the Custody of Prisoners budget line in the General Administration Department in the General Fund.

This program is designed to reduce the number of Oro Valley Magistrate Court defendants that are booked into the Pima County Jail. Under this IGA, Oro Valley will pay the Tucson City Court \$20 per each defendant seen by a magistrate at the ATJ Court. Oro Valley presently pays the Pima County Sheriff's Department \$285 for the first day for each defendant booked into the jail. This is a net savings of \$265 per defendant

seen at the AJT Court.

Additionally, there will be increased efficiency to the Oro Valley Police Department as the officer who would have transported the defendant to the jail for booking will now be back on the street much more quickly.

**SUGGESTED MOTION:**

I MOVE to (adopt / deny) Resolution No. (R)16-22, authorizing and approving an Intergovernmental Agreement between the Town of Oro Valley and the City of Tucson for use of the City's Alternative to Jail (ATJ) Program.

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**Attachments**

(R)16-22 IGA with Tucson for ATJ Program  
IGA

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**RESOLUTION NO. (R)16-22**

**A RESOLUTION OF THE MAYOR AND COUNCIL OF THE TOWN OF ORO VALLEY, ARIZONA, APPROVING AN INTERGOVERNMENTAL AGREEMENT BETWEEN THE CITY OF TUCSON AND THE TOWN OF ORO VALLEY FOR THE PROVISION OF INITIAL APPEARANCES THROUGH INTERACTIVE AUDIOVISUAL SYSTEMS**

**WHEREAS**, pursuant to A.R.S. § 11-952, the County and municipal corporation participating jurisdictions may contract for services and enter into agreements with one another for joint or cooperative action; and

**WHEREAS**, the Town of Oro Valley desires to enter into the Intergovernmental Agreement (“IGA”) with the City of Tucson for the provision of initial appearances through interactive audiovisual systems as part of the City of Tucson’s Alternative to Jail program; and

**WHEREAS**, this IGA would allow the Oro Valley Police Department to install camera equipment to establish a video link between the Oro Valley Police Department and the Tucson City Court’s Alternative to Jail court room; and

**WHEREAS**, this program will help in reducing the number of Oro Valley Magistrate Court defendant who are booked into the Pima County Jail; and

**WHEREAS**, it is in the best interest of the Town to enter into the Intergovernmental Agreement, attached hereto as Exhibit “A” and incorporated herein by this reference, for the provision of initial appearances through interactive audiovisual systems; and

**NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND TOWN COUNCIL OF THE TOWN OF ORO VALLEY, ARIZONA AS FOLLOWS:**

1. That the Intergovernmental Agreement between the City of Tucson and the Town of Oro Valley, attached hereto as Exhibit “A” is hereby approved.
2. That the Town Magistrate of the Town of Oro Valley and other administrative officials are hereby authorized to take such steps as necessary to execute and implement the terms of the Intergovernmental Agreement.

**PASSED AND ADOPTED** by the Mayor and Town Council of the Town of Oro Valley, Arizona, this 1<sup>st</sup> day of June, 2016.

**TOWN OF ORO VALLEY, ARIZONA**

\_\_\_\_\_  
Dr. Satish I. Hiremath, Mayor

**ATTEST:**

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Julie K. Bower, Town Clerk

\_\_\_\_\_  
Tobin Sidles, Legal Services Director

Date: \_\_\_\_\_

Date: \_\_\_\_\_

# **EXHIBIT “A”**

**INTERGOVERNMENTAL AGREEMENT  
BETWEEN  
THE CITY OF TUCSON AND THE TOWN OF ORO VALLEY  
FOR  
THE PROVISION OF INITIAL APPEARANCES IN PERSON OR  
THROUGH INTERACTIVE AUDIOVISUAL SYSTEMS**

This Intergovernmental Agreement (IGA) is entered into by and between the CITY OF TUCSON (Tucson), a municipal corporation, on behalf of the TUCSON CITY COURT (City Court), and the TOWN OF ORO VALLEY (Oro Valley or Town), a municipal corporation, on behalf of the ORO VALLEY MAGISTRATE COURT.

**WHEREAS**, in addition to their duty and authority in state statute or city charter, the Tucson City Court and Oro Valley Magistrate Court are required by Rule 4, Arizona Rules of Criminal Procedure, to provide all persons arrested within their jurisdictions with an initial appearance and/or misdemeanor arraignment before a judge within twenty-four hours after the arrest; and

**WHEREAS**, it is most efficient and expeditious for the Tucson City Court and Oro Valley Magistrate Court to jointly consolidate the criminal proceeding necessary or as required by law.

**NOW, THEREFORE**, the Tucson City Court and Oro Valley Municipal Court, pursuant to the provisions of A.R.S. § 11-951, *et. seq.*, and in consideration of the covenants and conditions set forth in the following, to ensure their faithful performance, do mutually agree as follows:

**ARTICLE 1. PURPOSE**

The purpose of this agreement is to provide for the joint participation and cost reimbursement by Oro Valley Municipal Court in the Alternative to Jail (ATJ) Program conducted by Tucson City Court pursuant to the Arizona Rules of Criminal Procedure. Such proceedings will be conducted at the City Court each Monday through Friday from 0800 hrs to 1700 hrs excluding weekends and holidays as stated on the Tucson City Court Trial Calendar published each year, and each evening from 1700 hrs to 2100 hrs with a cut off time for defendants to appear at 2030 hrs. The specific dates and times for the proceedings may be adjusted as necessary during the term of this agreement. Proceedings may be conducted in person or by interactive audiovisual systems.

**ARTICLE 2. TERM OF AGREEMENT**

This Agreement shall be for a term of five years, unless terminated pursuant to Article 7. The term of the Agreement shall begin on the date it is approved by both the City and the Town.

**ARTICLE 3. OBLIGATIONS OF THE CITY COURT**

- A. **FACILITIES & SECURITY:** The City Court shall conduct an ATJ Program for misdemeanor initial appearances Monday through Friday from 0800 hours to 1700

hours, excluding weekends and holidays, and each evening from 1700 hours to 2100 hours with a cut off time for defendants to appear either in person or by interactive audiovisual system at 2030 hours at the City Court located at 103 E. Alameda Street. The City Court shall maintain video/audio equipment in good working order, which connects the courtroom to video/audio equipment maintained by Oro Valley. The City Court shall provide adequate security for all the court proceedings. The City Court shall provide adequate, secured parking to the extent possible for staff of the justice agencies participating in the proceedings. The City Court will also ensure public and media access/viewing of the court proceedings when conducted in the City Court.

- B. **ATJ PROCEEDINGS:** The ATJ Program will see defendants on all active warrants and Initial charges on non-victim criminal cases.
- C. **INTERPRETING SERVICES:** The City Court shall provide interpreting services as needed.
- D. **LOCATION CHANGE:** The location of the court proceedings may shift to another location as maintained by the City Court as needed when circumstances require.
- E. **City Court Magistrates** shall be appointed as Special Commissioners of the Superior Court to conduct joint city and county initial appearances and/or arraignment proceedings.

#### ARTICLE 4. OBLIGATIONS OF ORO VALLEY

- A. **FACILITIES & SECURITY:** Oro Valley shall provide a facility with an interactive audiovisual system capability to connect to City Court. The interactive audiovisual system shall meet the requirements of Section 5-208 of the Arizona Code of Judicial Administration.
- B. **CLERICAL SUPPORT:** ORO VALLEY shall provide personnel sufficient to process court documents and orders resulting from the ATJ (initial appearances and/or arraignment) proceedings as required by the Oro Valley Municipal Court.

#### ARTICLE 5. PAYMENT

Oro Valley shall pay Tucson twenty dollars (\$20.00) per defendant processed through the alternative to jail program. Each quarter, Tucson shall submit a bill to Oro Valley Finance Department.

#### ARTICLE 6. SELF INSURANCE

The parties acknowledge that they are self-insured and that each shall be responsible for their own acts and omissions.

## ARTICLE 7. TERMINATION

This agreement may be terminated at any time by mutual written consent or by any party's giving not less than thirty (30) days written notice to the other party. This agreement is subject to the provision of A.R.S. § 38-511.

## ARTICLE 8. LEGAL JURISDICTION

Nothing in this agreement shall be construed as either limiting or extending the legal jurisdiction of either the Tucson City Court or Oro Valley Magistrate Court.

## ARTICLE 9. PRIOR AGREEMENTS

This agreement supersedes all previous agreements regarding the same subject matter.

## ARTICLE 10. INDEMNIFICATION

To the extent permitted by law, each party (as Indemnitor) agrees to indemnify, defend and hold harmless the other party (as Indemnitee) from and against any and all claims, losses, liability, costs or expenses (including reasonable attorney's fees) (hereinafter collectively referred to as "claims") arising out of bodily injury of any person (including death) or property damage, but only to the extent that such claims which result in vicarious/derivative liability to the Indemnitee, are caused by the act, omission, negligence, misconduct, or other fault of the Indemnitor, its officers, officials, agents, employees, or volunteers.

## ARTICLE 11. INSURANCE

A Each Party shall obtain and maintain at its own expense, during the entire term of this IGA the following type(s) and amounts of insurance: Commercial General Liability in the amount of \$1,000,000.00 combined single limit Bodily Injury and Property Damage.

B. Commercial or Business automobile liability coverage for owned, non-owned and hired vehicles used in the performance of this Contract with limits in the amount of \$1,000,000.00 combined single limit or \$1,000,000.00 Bodily Injury, \$1,000,000.00 Property Damage.

C. If required by law, workers' compensation coverage including employees' liability coverage. Parties to this IGA shall provide thirty (30) days written notice to all other Parties of cancellation, non-renewal or material change of coverage. The above requirement may be alternatively met through self-insurance pursuant to A.R.S. §§ 11-261 and 11-981, or participation in an insurance risk pool under A.R.S. § 11.952.01, at no less than the minimal coverage levels set forth in this article. Parties to this agreement shall provide thirty (30) days written notice to all other Parties of cancellation, non-renewal or material change of coverage.

## ARTICLE 12. COMPLIANCE WITH LAWS

The Parties shall comply with all federal, state and local laws, rules, regulations, standards and Executive Orders, without limitation to those designated within this IGA. The laws and regulations of the State of Arizona shall govern the rights of the Parties, the performance of this IGA and any disputes hereunder. Any action relating to this IGA shall be brought in an Arizona court in Pima County.

## ARTICLE 13. NON-DISCRIMINATION

The Parties shall not discriminate against any employee, client or any other individual in any way because of that person's age, race, creed, color, religion, sex, disability, or national origin in the course of carrying out their duties pursuant to this IGA. The Parties shall comply with the provisions of Executive Order 75-5, as amended by Executive Order 99-4, which is incorporated into this IGA by reference, as if set forth in full herein.

## ARTICLE 14. ADA

The Parties shall comply with all applicable provisions of the Americans with Disabilities Act (Public Law 101-336, 42 U.S.C. 12101-12213) and all applicable federal regulations under the Act, including 28 CFR Parts 35 and 36.

## ARTICLE 15. SEVERABILITY

If any provision of this IGA, or any application thereof to the Parties or any person or circumstances, is held invalid, such invalidity shall not affect other provisions or applications of this IGA which can be given effect, without the invalid provision or application and to this end the provisions of this IGA are declared to be severable.

## ARTICLE 16. CONFLICT OF INTEREST

This IGA is subject to cancellation for conflict of interest pursuant to A.R.S. § 38-511, the pertinent provisions of which are incorporated herein by reference.

## ARTICLE 17. NON-APPROPRIATION

Notwithstanding any other provision in this IGA, this IGA may be terminated if for any reason the Oro Valley does not appropriate sufficient monies for the purpose of maintaining this IGA. In the event of such cancellation, Oro Valley shall have no further obligation to Tucson other than for payment for services rendered prior to cancellation.

## ARTICLE 18. LEGAL AUTHORITY

Neither Party warrants to the other its legal authority to enter into this IGA. If a court, at the request of a third person, should declare that either Party lacks authority to enter into this IGA, or any part of it, then the IGA, or parts of it affected by such order, shall be

null and void, and no recovery may be had by either Party against the other for lack of performance or otherwise.

#### ARTICLE 19. WORKER'S COMPENSATION

Each Party shall comply with the notice of A.R.S. § 23-1022 (E). For purposes of A.R.S. § 23-1022, irrespective of the operations protocol in place, each Party is solely responsible for the payment of worker's compensation benefits for its employees.

#### ARTICLE 20. NO JOINT VENTURE

It is not intended by this IGA to, and nothing contained in this IGA shall be construed to, create any partnership, joint venture or employment relationship between the Parties or create any employer-employee relationship between the Oro Valley and any Tucson employees, or between Tucson and any Oro Valley employees. Neither Party shall be liable for any debts, accounts, obligations or other liabilities whatsoever of the other, including (without limitation) the other party's obligation to withhold Social Security and income taxes for itself or any of its employees.

#### ARTICLE 21. NO THIRD PARTY BENEFICIARIES

Nothing in the provisions of this IGA is intended to create duties or obligations to or rights in third parties not parties to this IGA or affects the legal liability of either Party to the IGA by imposing any standard of care with respect to the maintenance of public facilities different from the standard of care imposed by law.

#### ARTICLE 22. NOTICES

Any notice required or permitted to be given under this IGA shall be in writing and shall be served by delivery or by certified mail upon the other Party as follows (or at such other address as may be identified by a party in writing to the other party):

#### ARTICLE 23. ARBITRATION

This agreement is subject to arbitration to the extent required by A.R.S. §§ 12-1518 and 12-133, and Rule 3.9, Pima County Superior Court Local Rule, 17B, A.R.S.

#### ARTICLE 24. ASSIGNMENT

The parties shall not assign any rights acquired hereby nor hypothecate or mortgage this agreement, nor subcontract any services under this contract, without first obtaining the written consent of the parties which may be withheld for good cause stated.

#### ARTICLE 25. APPLICABLE LAW

This agreement shall be governed by the laws of the State of Arizona, and suits pertaining to this agreement may be brought only in the courts in the State of Arizona.

ARTICLE 26. ENTIRE AGREEMENT

This document constitutes the entire agreement between the parties and shall not be modified, amended, altered or changed except through a written amendment signed by all the parties.

IN WITNESS THEREOF, all parties have affixed their signatures to this agreement on the date written below,

ORO VALLEY MAGISTRATE COURT

TUCSON CITY COURT

\_\_\_\_\_  
Presiding Magistrate

  
\_\_\_\_\_  
Antonio Riojas, Presiding Magistrate

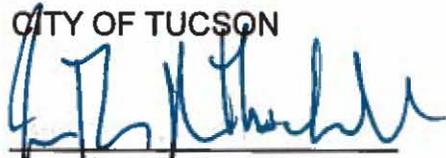
\_\_\_\_\_  
Date

\_\_\_\_\_  
Date

TOWN OF ORO VALLEY

CITY OF TUCSON

\_\_\_\_\_  
Mayor

  
\_\_\_\_\_  
Jonathon Rothschild, Mayor

\_\_\_\_\_  
Date

\_\_\_\_\_  
April 19, 2016  
Date

APPROVED AS TO FORM:

ATTEST:

\_\_\_\_\_  
Assistant Attorney General

  
\_\_\_\_\_  
City Clerk

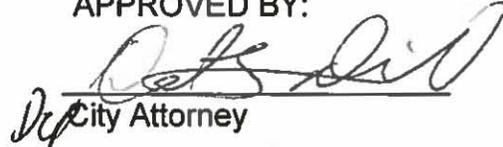
\_\_\_\_\_  
Date

\_\_\_\_\_  
April 19, 2016  
Date

APPROVED AS TO FORM:

APPROVED BY:

\_\_\_\_\_  
ORO VALLEY Town Attorney

  
\_\_\_\_\_  
City Attorney

\_\_\_\_\_  
Date

\_\_\_\_\_  
3/24/16  
Date



## **Town Council Regular Session**

Item # F.

**Meeting Date:** 06/01/2016

**Requested by:** Joshua Potter

**Submitted By:** Joshua Potter, Development Infrastructure Services

**Department:** Development Infrastructure Services

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### **Information**

#### **SUBJECT:**

Resolution No. (R)16-23, authorizing and approving a license agreement between the Town of Oro Valley and Maracay 91, LLC for installation and maintenance of improvements within the La Canada Drive and Pebble Creek Drive right-of-ways

#### **RECOMMENDATION:**

Staff recommends approval.

#### **EXECUTIVE SUMMARY:**

The license agreement is shown in Exhibit "A" and will authorize Maracay 91, LLC to install and maintain specialty paving, median curb at private streets, landscape, irrigation, and electrical infrastructure within the La Cañada Drive and Pebble Creek Drive right-of-ways, as shown on the approved project plans and included with the Exhibit "A" License Agreement. Because of the non-standard maintenance requirements for these items, a license agreement is required for the installation and maintenance within the La Cañada Drive and Pebble Creek Drive right-of-ways.

#### **BACKGROUND OR DETAILED INFORMATION:**

As part of the development of the Centre Pointe Vistoso (a.k.a. Maracay at Vistoso) subdivision, Maracay 91, LLC has constructed the public road improvements for La Cañada Drive and Pebble Creek Drive. The improvements include travel lanes, paved shoulders, raised medians and sidewalks.

As part of the development of the overall subdivision, Maracay 91, LLC proposed to construct decorative paving, install landscaping in the raised medians and right-of-way, and provide enhanced drive entries into the individual neighborhoods with raised, landscaped medians and accent lighting. These improvements are intended to enhance the appearance of the project. The accent lighting fixtures are located entirely on private property; however, some of the underground infrastructure (i.e. conduits, junction boxes) cross the public right-of-way for efficiency and connectivity of the electrical system

through the site. The license agreement will authorize installation of these non-standard items within the right-of-way and will provide that Maracay 91, LLC will have sole responsibility for maintenance of the improvements.

**FISCAL IMPACT:**

N/A

**SUGGESTED MOTION:**

I MOVE to (approve/deny) Resolution No. (R)16-23, authorizing and approving a license agreement between the Town of Oro Valley and Maracay 91, LLC, for installation and maintenance of improvements within the La Cañada Drive and Pebble Creek Drive right-of-ways.

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**Attachments**

(R)16-23 Center Pointe Vistoso License Agreement

Exhibit A

Exhibit B

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**RESOLUTION NO. (R)16-23**

**A RESOLUTION OF THE MAYOR AND COUNCIL OF THE TOWN OF ORO VALLEY, ARIZONA, AUTHORIZING AND EXECUTING A LICENSE AGREEMENT BETWEEN THE TOWN OF ORO VALLEY AND MARACAY 91, LLC, TO ALLOW THE INSTALLATION AND MAINTENANCE OF SPECIALTY PAVING, MEDIAN CURB AT PRIVATE STREETS, LANDSCAPE, IRRIGATION, AND ELECTRICAL INFRASTRUCTURE WITHIN THE PUBLIC RIGHT OF WAY LOCATED ON LA CANADA DRIVE AND PEBBLE CREEK DRIVE**

**WHEREAS**, the Town is the owner of the right-of-way at La Canada Dr. and Pebble Creek Dr.; and

**WHEREAS**, Maracay 91, LLC, requests an encroachment on a portion of La Canada Dr. and Pebble Creek Dr. for the installation and maintenance of specialty paving, median curb at private streets, landscaping, irrigation, and electrical infrastructure which will be the sole cost and expense of Maracay 91, LLC.; and

**WHEREAS**, the Town desires to permit the encroachment onto said property.

**NOW, THEREFORE, BE IT RESOLVED** by the Mayor and Council of the Town of Oro Valley, Arizona that the License Agreement between the Town of Oro Valley and Maracay 91, LLC, attached hereto as Exhibit "A" and incorporated herein by this reference is hereby approved.

**BE IT FURTHER RESOLVED** that the Mayor and any other administrative officials of the Town of Oro Valley are hereby authorized to take such steps as are necessary to execute and implement the terms of the Agreement.

**PASSED AND ADOPTED** by the Mayor and Council of the Town of Oro Valley, Arizona this 1<sup>st</sup> day of June, 2016.

**TOWN OF ORO VALLEY**

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Dr. Satish I. Hiremath, Mayor

**ATTEST:**

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Julie K. Bower, Town Clerk

\_\_\_\_\_  
Tobin Sidles, Legal Services Director

Date: \_\_\_\_\_

Date: \_\_\_\_\_

# EXHIBIT "A"

## LICENSE AGREEMENT

THIS LICENSE made and entered into by and between the Town of Oro Valley, Pima County, Arizona, a Body Politic, hereinafter called the LICENSORS and Maracay 91, LLC hereinafter called the LICENSEE.

### WITNESSETH:

THAT WHEREAS, the licensors are the owners of the land hereinafter described, said land having been dedicated as public right-of-way (La Canada Drive and Pebble Creek Drive)

WHEREAS, a portion of said property is requested to be encroached upon by specialty paving, median curb at private streets, landscape, irrigation and electrical infrastructure as shown on the approved project plans.

Licensee requests authorization for the encroachments.

WHEREAS, the Licensee required from the Licensors to encroach into said property;

NOW, THEREFORE, for and in consideration of the sum of One (\$1.00) Dollar and the faithful performance by the Licensee or his heirs and assigns; the Licensors do hereby grant and demise to the Licensee, his heirs and assigns, a permit, license and privilege, for the period of time hereinafter mentioned and subject to the conditions hereinafter contained, to enter in upon the following described land of the Licensors, in Exhibit "A" attached.

THIS LICENSE is subject to the following terms and conditions, to-wit:

1. This license is granted for the purpose of installation and maintenance of specialty paving, median curb at private streets, landscape, irrigation, and electrical infrastructure as shown on the approved project plans.
2. The Licensee shall only be permitted to use the aforesaid land for the stated purpose.
3. Notwithstanding any other agreement or condition, it is expressly agreed that the license may be revoked by the Licensors upon NINETY (90) DAYS WRITTEN NOTICE to the Licensee.
4. That when said License is revoked, the Licensee will remove the encroachments from said property, at no expense to the Licensors and to the satisfaction of the Licensors and will restore the property to the pre-license condition or as may be mutually agreed.
5. That nothing herein contained shall be construed as granting title to the land

belonging to the Licensors, or as vesting in the Licensee any right of entry to said land after the termination of this License.

6. This License may be transferred to the Licensee's successors and assigns upon written approval of the Licensors subsequent to written request of the Licensee. This License shall run for a period of 25 years.
7. That the Licensee assumes the responsibility and all liability for any injury or damage to said property, or to any person while using said property in a lawful manner caused by or arising out of the exercise of this Permit or License.
8. That all work done shall be at the sole cost and expense of the Licensee.
9. The Licensee shall indemnify, defend and hold harmless the Licensors, its officers, departments, employees and agents from and against any and all suits, actions, legal or administrative proceedings, claims, demands or damages of any kind or nature arising out of this contract which are attributed to any act or omission of the Licensee, its agents, employees, or any one acting under its direction, control, or on its behalf, or any act or omission of the Licensors, its officers, departments, employees and agents, whether intention or negligent, in connection with or incident to this license.
10. The licensee will abide by all applicable local, state and federal ordinances, statutes, and regulations.
11. Approval of this License is subject to compliance with all conditions and provisions of the approved plans and specifications, which by this reference are incorporated and made a part hereof.
12. Encroachments will be maintained by Licensee and shall not interfere with safe sight distance.



**LEGEND**

- PROPOSED RIGHT-OF-WAY
- PROJECT BOUNDARY
- EXIST. PAVEMENT
- PROPOSED CURB
- EXIST. PUBLIC SEWER LINE & MANHOLE
- PROPOSED PUBLIC SEWER LINE, MANHOLE & DIRECTION OF FLOW
- PROPOSED HCS
- EXIST. WATERLINE & VALVE TO BE REMOVED
- PROPOSED PUBLIC WATERLINE & VALVE W/ SIZE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- SECTION LINE
- PROPOSED SPOT ELEVATION
- ASPHALT PAVEMENT (3"A.C./8"A.B.C.)
- TOP OF SLOPE (SLOPES <= 3:1 UNLESS NOTED)
- BOTTOM OF SLOPE
- PROPOSED STORM DRAIN SYSTEM
- EX. STORM DRAIN SYSTEM
- EXIST. CULVERT
- PROPOSED CONCRETE SIDEWALK
- GRADE BREAK (GB/H/P/LP)
- SECTION OR 1/4 SECTION CORNER
- DIRECTION OF FLOW
- SHEET INDICATOR
- FOUND SURVEY MONUMENT AS NOTED
- D.T.L. NO. 1 TYPICAL CROSS SECTION CALL OUT (SHT. NO. 1)
- PROPOSED RIP-RAP
- CONCENTRATION POINT (SEE TABLES ON SHEET 16)
- BACKWATER VALVE
- BOUNDARY TIE
- MATCHLINE
- 404 JURISDICTIONAL WATERS
- 100-YEAR FLOODPLAIN LIMITS
- EROSION HAZARD SETBACK LIMITS
- CURB ACCESS RAMP
- MEDIAN CONTROL POINT

**NOTE:**

1. THIS PLAN SET IS FOR THE CONSTRUCTION OF THE PUBLIC IMPROVEMENTS ONLY. SEE PUBLIC SEWER PLAN G-2014-047 FOR CONSTRUCTION OF PUBLIC SEWER ASSOCIATED WITH LA CAÑADA AND PEBBLE CREEK.
2. ORO VALLEY WATER IS TO BE INVOLVED IN THE SCHEDULING OF SEWER MAIN REMOVAL, SEWER MAIN INSTALLATION, STORM DRAIN INSTALLATION NEAR/ UNDER THE EXISTING WATER MAIN AND THE NEW WATER MAIN.
3. THE FOUR LEGGED INTERSECTIONS ALONG PEBBLE CREEK DRIVE AND LA CAÑADA DRIVE SHALL BE MONITORED BY THE TOWN OF ORO VALLEY AND IF DETERMINED TO BE NECESSARY, FOUR WAY-STOP CONTROL SHALL BE INSTALLED AT THESE INTERSECTIONS BY THE DEVELOPER.

A RIGHT-OF-WAY PERMIT IS REQUIRED FOR CONSTRUCTION IN PUBLIC RIGHT-OF-WAY AND DRAINAGEWAYS

**ENGINEER'S STANDARD DETAILS DISCLAIMER:**  
 COMPLIING WITH THE ARIZONA STATE BOARD OF MECHANICAL REGISTRATION'S SUBSTANTIVE POLICY STATEMENT REGARDING SEALING OF STANDARD DETAILS, THE STANDARD DETAILS USED IN THE DESIGN OF THIS PROJECT HAVE BEEN FORMALLY ADOPTED BY THE AGENCIES THAT PREPARED THEM IN VIEW OF THEIR LONG HISTORY OF USE, APPLICABILITY, AND/OR SOUNDNESS. THE ENGINEER ACCEPTS THEIR USE FOR THIS PROJECT AND FINDS NO NEED FOR ALTERATION OF THE DETAILS UNLESS NOTED/CLARIFIED OTHERWISE IN THESE PLANS.

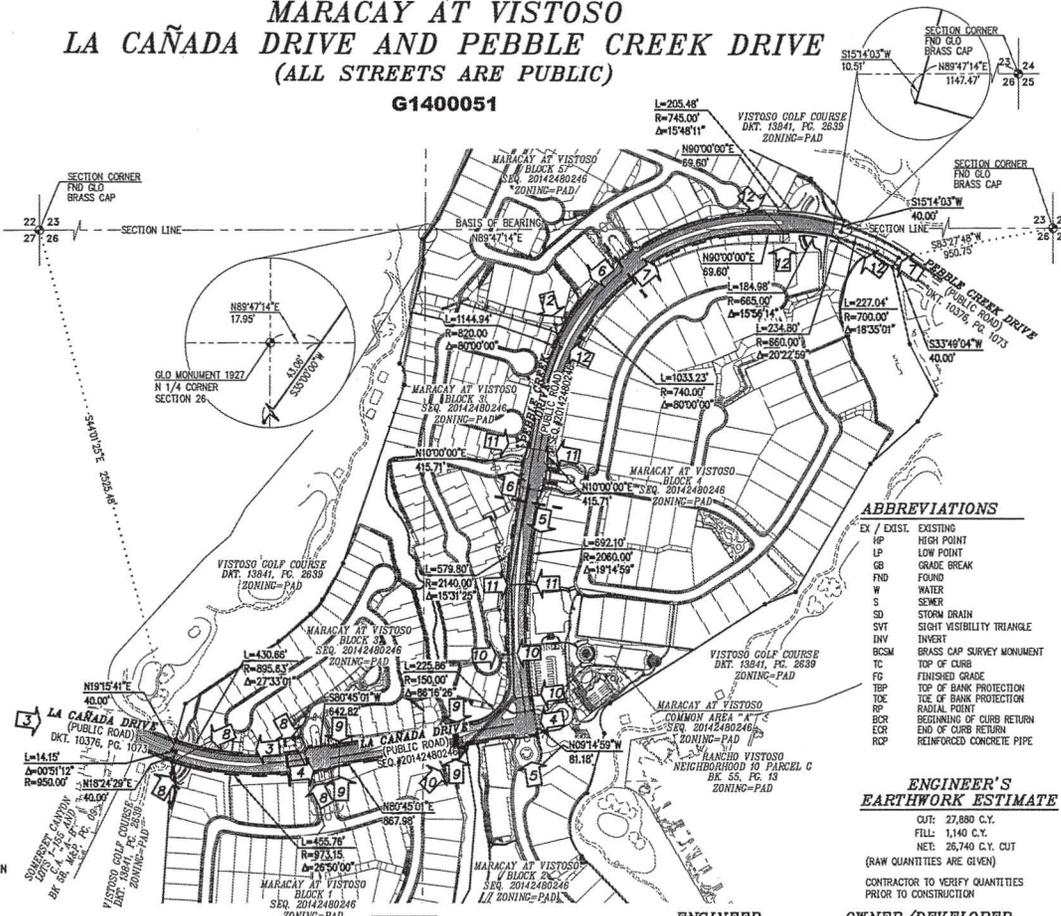
**AS-BUILT CERTIFICATION:**

I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTERED LAND SURVEYOR \_\_\_\_\_ DATE \_\_\_\_\_  
 REGISTRATION NUMBER \_\_\_\_\_ EXPIRES \_\_\_\_\_

**PUBLIC IMPROVEMENT PLAN FOR  
 MARACAY AT VISTOSO  
 LA CAÑADA DRIVE AND PEBBLE CREEK DRIVE  
 (ALL STREETS ARE PUBLIC)**

**G1400051**



**ABBREVIATIONS**

- EX / DIST. EXISTING
- HP HIGH POINT
- LP LOW POINT
- GB GRADE BREAK
- FND FOUND
- W WATER
- S SEWER
- SD STORM DRAIN
- SVT SIGHT VISIBILITY TRIANGLE
- DIV DIVERST
- BCSM BRASS CAP SURVEY MONUMENT
- TOP OF CURB
- FINISHED GRADE
- TOP OF BANK PROTECTION
- TDE TIE OF BANK PROTECTION
- RP RADIAL POINT
- BCR BEGINNING OF CURB RETURN
- ECR END OF CURB RETURN
- PCP REINFORCED CONCRETE PIPE

**ENGINEER'S  
 EARTHWORK ESTIMATE**

OUT: 27,880 C.Y.  
 FILL: 1,140 C.Y.  
 NET: 26,740 C.Y. CUT  
 (RAW QUANTITIES ARE GIVEN)

CONTRACTOR TO VERIFY QUANTITIES PRIOR TO CONSTRUCTION

**OWNER/DEVELOPER**

MARACAY 91 LLC  
 15279 N. SCOTTSDALE RD. #300  
 SCOTTSDALE, AZ 85254  
 (480) 345-2691  
 ATTN: TOM LEMON  
 TLEMON@MARACAYHOMES.COM

**ENGINEER**

THE WLB GROUP, INC.  
 4444 E. BROADWAY BLVD.  
 TUCSON, AZ 85711  
 (520) 881-7480  
 ATTN: DAVID LITTLE  
 DLITTLE@WLBGROUP.COM

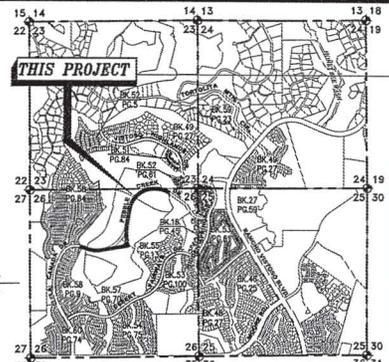


**PROJECT OVERVIEW**

**ACCEPTED:**

*[Signature]*  
 TOWN OF ORO VALLEY - TOWN ENGINEER

1-30-15  
 DATE



**LOCATION MAP**  
 A PORTION OF SECTIONS 23 & 26  
 T11S, R13E, G & S.R.M., TOWN OF ORO VALLEY,  
 PIMA COUNTY, ARIZONA

**SHEET INDEX**

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- SHEET 2..... GENERAL NOTES
- SHEETS 3-7..... ROAD PLAN AND PROFILE SHEETS
- SHEETS 8-12..... STORM DRAIN PLAN AND PROFILE SHEETS
- SHEETS 13-15..... SIGNING AND STRIPING SHEETS
- SHEETS 16-17..... DETAIL SHEET
- SHEET 18..... HORIZONTAL CONTROL SHEET AND MEDIAN CONTROL TABLE AND HEADWALL DETAIL
- SHEETS 19-20..... HORIZONTAL CONTROL SHEETS AND MEDIAN CONTROL TABLES

**PIMA COUNTY/CITY OF TUCSON**

- STANDARD DETAILS**
- 103 - SURVEY MONUMENT
  - 105 - BARRICADE RAILING
  - 200 - CONCRETE SIDEWALK
  - 202 - DECORATIVE CONCRETE SIDEWALK/PAVING
  - 203 - NEW CONCRETE SIDEWALK CONNECT TO EXISTING CONCRETE SIDEWALK
  - 205.5 - SIDEWALK SCUPPER (TYPE 3)
  - 207 - CONCRETE CURB ACCESS RAMP
  - 209 - CONCRETE VERTICAL & WEDGE CURB
  - 210 - MODIFIED CONCRETE CURB TRANSITION
  - 211 - NEW CONCRETE CURB CONNECT TO EXISTING CONCRETE CURB
  - 213 - CONCRETE HEADER
  - 214 - CURBED MEDIAN NOSE
  - 300 - STORM DRAIN MANHOLE BASE (48" & SMALLER)
  - 301 - STORM DRAIN MANHOLE BASE (51" AND LARGER)
  - 302 - STORM DRAIN MANHOLE
  - 302 - SHALLOW STORM DRAIN MANHOLE
  - 308 - TYPE 3 CATCH BASIN
  - 308 - TYPE 4 CATCH BASIN
  - 313 - CONCRETE HEADWALL

**BASIS OF BEARING**

BASIS OF BEARING IS THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 26, TOWNSHIP 11 SOUTH, RANGE 13 EAST, G.S.R.M., TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA. SAID BEARING BEING: N89°47'14"E

**BASIS OF ELEVATION**

BASIS OF ELEVATION FOR THIS PROJECT IS A BCSM LOCATED AT THE CENTERLINE INTERSECTION OF LA CAÑADA DRIVE AND MASPALOMAS DRIVE PUNCHED, STAMPED RLS 27739. ELEVATION BEING: 2928.51 (NGVD 29) CONVERTS TO 2930.76 (NAVD 88)

NOVD 29 (GRADE ON PLAN) + 2.267' = NAVD 88

G1400011  
 0V113-002  
 0V1214-10  
 0V1214-02  
 REF: 0V1213-08



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 (520) 881-7480

**MARACAY AT VISTOSO  
 LA CAÑADA DRIVE AND PEBBLE CREEK DRIVE  
 ORO VALLEY, ARIZONA**

**PUBLIC IMPROVEMENT AND PAVING PLAN  
 COVER SHEET  
 G1400051**

No.	Date	Item

Scale AS SHOWN  
 Job No. 185500-MT04/0600  
 Date OCTOBER, 2014  
 Designed By DWD/CDP  
 Checked By D/L



Sheet 1  
 of 20





# FINAL LANDSCAPE PLAN MARACAY HOMES AT VISTOSO (RANCHO VISTOSO PARCELS 10D-F & 11AK-AL) OV1213-08

### GENERAL NOTES

- THE GROSS AREA OF THIS DEVELOPMENT IS 129.5 ACRES
- TOTAL AMOUNT OF OPEN SPACE REQUIRED PER P.A.D. = 2.4 AC. (M.H.D.R. REQUIREMENTS), AMOUNT PROVIDED = 36.5 AC.
- TOTAL AMOUNT OF LANDSCAPED COMMON AREAS = 25 ACRES.
- SETBACKS REQUIRED PROVIDED (PER P.A.D. M.D.R. STANDARDS): FRONT = 20'; SIDE = 0'-0'; REAR = 10'.  
SETBACKS REQUIRED PROVIDED (PER P.A.D. M.H.D.R. STANDARDS): FRONT = 20'; SIDE = 0'-0'; REAR = 0'.
- COMMON AREAS SHALL BE OWNED AND MAINTAINED BY THE H.O.A.
- EXISTING ZONING IS RANCHO VISTOSO P.A.D., MEDIUM, MEDIUM-HIGH, & HIGH DENSITY RESIDENTIAL DENSITY RESIDENTIAL.
- BUFFER YARD TYPE: 15' WIDE BUFFER/YARD 'X'
- ASSURANCES FOR LANDSCAPING AND RE-VEGETATION BONDS MUST BE POSTED PRIOR TO ISSUANCE OF GRADING PERMITS.
- PROPERTY OWNER SHALL MAINTAIN ALL PLANTINGS TO ENSURE UNOBSTRUCTED VISIBILITY TO MOTORISTS. ALL SHRUBS, ACCENTS, AND GROUNDCOVERS SHALL NOT EXCEED 30" IN HEIGHT WITHIN SITE VISIBILITY TRIANGLES. TREES WITHIN SITE VISIBILITY TRIANGLES WILL BE MAINTAINED TO ENSURE THAT BRANCHES / FOLIAGE IS NOT BELOW A HEIGHT OF SIX (6) FEET.
- IN THE EVENT OF ABANDONMENT OF THE SITE AFTER GRADING / DISTURBANCE OF NATURAL AREAS, DISTURBED AREAS SHALL BE RE-VEGETATED WITH A NON-IRRIGATED HYDRO SEED MIX FROM OVZCR ADDENDUM D: APPROVED REVEGETATION SEED MIX.
- ALL PLANT MATERIAL SHALL MEET THE MINIMUM STANDARDS CONTAINED IN THE CURRENT EDITIONS OF THE ARIZONA NURSERY ASSOCIATIONS GROWER COMMITTEE RECOMMENDED TREE SPECIFICATIONS AND THE AMERICAN ASSOCIATION OF NURSERYMEN AS TO SIZE, CONDITION AND APPEARANCE. PLANTS SHALL BE FREE FROM PESTS, EGGS, DISEASES, AND REPRESENTATIVE OF SPECIES IN SIZE, QUALITY, FORM AND COLOR. PLANTS SHALL NOT BE ROOT-BOUND, DAMAGED OR SUBSTANDARD IN ANY WAY.
- PROPERTY OWNER IS RESPONSIBLE FOR MAINTAINING THE TEMPORARY IRRIGATION SYSTEM AS LONG AS NECESSARY IN ORDER TO TRANSITION PLANTS OVER TO NATURAL SOURCES. ANY PLANT MATERIALS THAT DIE IN TRANSITION, FOR ANY REASONS, SHALL BE REPLACED IN ACCORDANCE WITH SECTION 27.03.04, MAINTENANCE.
- PROPERTY OWNER IS RESPONSIBLE FOR REVEGETATING ANY DISTURBED COMMON AREA LOCATED BETWEEN THE RESIDENTIAL LOTS AND THE GOLF COURSE BOUNDARY.
- PRIVATE PARKS SHALL NOT BE OVERSEED WITH WINTER RYE.
- THIS LANDSCAPE PLAN IS DESIGNED TO MEET THE REQUIREMENTS AND INTENTIONS OF THE ORD VALLEY LANDSCAPE CODE, SECTION 27.6 PER OVZCR CH. 27. MAINTENANCE. THESE STANDARDS SHALL BE MAINTAINED BY THE OWNER, AS FOLLOWS:
  - A. REGULAR WATERING UNTIL PLANTS ARE FULLY ESTABLISHED AND CAPABLE OF SURVIVING WITHOUT IRRIGATION.
  - B. CHECKING, ADJUSTING, REPAIR AND REPLACEMENT OF IRRIGATION EQUIPMENT, WITH THE ORIGINALLY SPECIFIED MATERIALS OR THEIR EQUIVALENTS AS NECESSARY TO ENSURE WATER EFFICIENCY.
  - C. PRUNING AND FERTILIZING AND REPLENISHING MULCH
  - D. CLEARING OF DEBRIS AND WEEDS
  - E. REMOVAL AND REPLACEMENT OF DEAD PLANTS WITHIN 45 DAYS AND WITH PLANT MATERIALS OF THE SAME SPECIES AND OF SIMILAR SIZE AND QUALITY.
  - F. REPAIR OF ARCHITECTURAL FEATURES
  - G. CHECKING, CLEANING AND REPAIR OF WATER COLLECTION BASINS, SPILLWAYS, AND DISTRIBUTION SYSTEMS INCLUDING MAINTENANCE OF BASIN INFILTRATION CAPABILITIES IN ACCORDANCE WITH THE APPROVED PLANS.
  - H. INLET AND OUTLET STRUCTURES ARE TO BE KEPT FREE OF VEGETATION AND DEBRIS AT ALL TIMES.
  - I. REMOVING DEBRIS, SEDIMENT, SAND, AND GRAVEL CARRIED INTO STREETS OR PARKING AREAS WITHIN SEVENTY-TWO (72) HOURS OF NOTICE.
- PROPOSED LANDSCAPE WILL BE WATERED WITH AN AUTOMATIC UNDERGROUND DRIP-IRRIGATION SYSTEM. IRRIGATION SYSTEM WILL MEET ASIC MINIMUM STANDARDS.
- TREE PLACEMENT TO BE FIELD ADJUSTED AS NEEDED TO AVOID PROPOSED UTILITIES AND OTHER CONCERNS. PROVIDE ADEQUATE PLANT SPACING TO ENSURE SURVIVABILITY AT PLANT MATURITY.
- DURING THE LIFE OF THE PROJECT, CONTROL AND ERADICATION OF NON-NATIVE INVASIVE PLANT SPECIES SUCH AS BUFFLEGRASS, FOXTAIL GRASS, SOFT FEATHER PAPPUSGRASS, RUSSIAN THISTLE, TELEGRAPH PLANT, DESERT BROOM, RAGWEED, FIGWEEDE, BURRO BRUSH, ETC.) SHALL BE WEEDED IN ORDER TO PREVENT THE SPREAD OF SUCH SPECIES INTO ADJACENT PROPERTIES.
- FOR ALL TREE PROPOSED SUBDIVISIONS WHERE FRONT YARDS ARE TO BE GRADDED ONE (1) OF THE FOLLOWING OPTIONS SHALL BE INCORPORATED:
  - A ONE TREE, PLACED IN THE FRONT YARD, THAT HAS BEEN SALVAGED FROM THE SITE.
  - B ONE (1) NURSERY TREE, TYPE 1 OR 2 WATER USE AND A MINIMUM OF TWENTYFOUR (24) INCH BOX SIZE, PLACED IN THE FRONT YARD, AND ONE BOLDER AT LEAST FOUR (4) FEET BY THREE (3) FEET BY THREE (3) FEET IN SIZE OR TWO (2) BOLDERS AT LEAST THREE (3) FEET BY THREE (3) FEET BY TWO (2) FEET, AND TWO (2) CACTI OR SHRUBS.
  - C TWO (2) NURSERY TREES, TYPE 1 OR 2 WATER USE AND A MINIMUM OF TWENTYFOUR (24) INCH BOX SIZE, PLACED IN THE FRONT YARD.
- NO TREES TO BE PLANTED WITHIN THE MINIMUM DISTANCE OF 7 FEET 6 INCHES OF AN UNDERGROUND WATER BEARING LINE. IF NEEDED TREES CAN BE PLANTED A MINIMUM OF 4 FEET OF WATER BEARING LINES, BUT A ROOT BARRIER MUST BE INSTALLED ENCOMPASSING THE ROOT BALL OF THE TREE.
- PRIVATE PARK AREAS SHALL NOT BE OVERSEED WITH WINTER RYE.
- A 15' FRONT BUILDING SETBACK FOR THE PROPOSED 2 LOTS IS PERMITTED AS FOLLOWS:
  - A. PERMITTED FOR HOMES WITH A SIDE ENTRY GARAGE
  - B. PERMITTED FOR HOMES WITH A FRONT ENTRY GARAGE PROVIDED THAT A DRIVEWAY AT LEAST 20' IN LENGTH IS MAINTAINED ON THE PROPERTY.
  - C. A 15' FRONT BUILDING SETBACK SHALL ONLY BE PERMITTED ON STREETS UTILIZING A STAGGERED STREETSCAPE DESIGN.
- ALL LANDSCAPED AREAS SHALL BE FINISHED WITH A NATURAL TOPPING MATERIAL THAT IS AT LEAST TWO (2) INCHES IN DEPTH.
- PROPOSED MONUMENT SIGNS SHOWN ON THESE PLANS WILL BE REVIEWED AND APPROVED UNDER A SEPARATE SIGN APPLICATION.

### RIPARIAN HABITAT MITIGATION AREAS

ALL RIPARIAN MITIGATION AREAS SHALL BE HYDROSEEDED WITH XEROPHILAN SEED MIX.

### EXISTING RIPARIAN AREAS: REPRESENTATIVE VEGETATION

THE VEGETATION THAT OCCURS IN THE RIPARIAN AREAS IS TYPICAL SONORAN SCRUB. THE DOMINANT SPECIES INCLUDE ACACIA CONSTRUCTA, ACACIA GREGGII, CERDUM MICROPHYLLUM AND PROSPERS VELUTINA. VEGETATION TYPE IS THAT CHARACTERIZED AS LOW XEROPHILAN 'C' AND INTERMEDIATE-XEROPHILAN 'B'. FOR THE PURPOSES OF MITIGATION STANDARDS PERTAINING TO XEROPHILAN 'B' OR 'MEDIUM' HAVE BEEN APPLIED TO ALL RIPARIAN HABITAT ON THE SITE.

### RIPARIAN MITIGATION - INTERMEDIATE-XEROPHILAN 'B'

AMOUNT OF RIPARIAN HABITAT DISTURBED INCLUDING APPROX AREA = 157,500 SQ. FT. (3.5 ACRES)

AMOUNT OF VEGETATION REQUIRED FOR RIPARIAN MITIGATION:

60 TREES PER ACRE  
50% MUST BE 24" BOX SIZE (MIN)  
50% MUST BE 15 GALLON SIZE (MIN)

130 SHRUBS PER ACRE  
25% MUST BE 1 GALLON SIZE (MIN)  
75% MUST BE 5 GALLON SIZE (MIN)

TREES: TOTAL TREES REQUIRED = 60 X 3.5 = 210  
50% MUST BE 24" BOX SIZE (MIN) = 105  
50% MUST BE 15 GALLON SIZE (MIN) = 105

SHRUBS: TOTAL SHRUBS REQUIRED = 130 X 3.5 = 455  
25% MUST BE 1 GALLON SIZE (MIN) = 114  
75% MUST BE 5 GALLON SIZE (MIN) = 341

AMOUNT OF VEGETATION PROVIDED FOR RIPARIAN MITIGATION

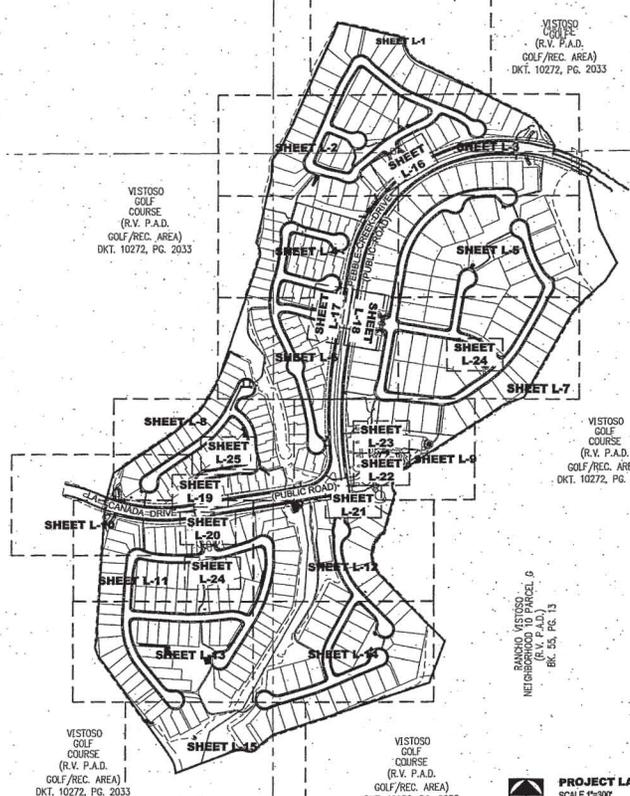
TOTAL TREES PROVIDED = 216  
TRANSPANTS 24" BOX SIZE OR LARGER = 144  
CONTAINER GROWN 24" BOX SIZE = 72

TOTAL SHRUBS PROVIDED = 694  
TRANSPANTS 15 GALLON SIZE OR LARGER = 150  
CONTAINER GROWN 5 GALLON SIZE = 544

\*RIPARIAN MITIGATION STANDARDS ARE EXCEEDED BY THESE PLANS

SPECIAL NOTE:

THE RIPARIAN HABITAT OVERLAY DISTRICT DOES NOT APPLY TO THIS PROJECT. HOWEVER, THE RHD'S RIPARIAN HABITAT MITIGATION STANDARDS HAVE BEEN MET VOLUNTARILY FOR PARCELS OUTSIDE ENVIRONMENTAL AREAS WITHIN THE PROJECT AT THE REQUEST OF THE TOWN OF ORD VALLEY PLANNING DIRECTOR, AND NOT BECAUSE OF ANY CODE REQUIREMENT.



### LEGEND

- EXIST. MAJOR CONTOUR
- EXIST. MINOR CONTOUR
- PROJECT BOUNDARY
- PROPOSED LOT LINE
- EXIST. PAVEMENT
- PROPOSED CURB
- EXIST. PUBLIC SEWER LINE & MANHOLE
- EXIST. PUBLIC WATERLINE & VALVE
- PROPOSED PUBLIC SEWER LINE & MANHOLE
- PROPOSED PUBLIC WATERLINE & VALVE
- PROPOSED FIRE HYDRANT
- EXISTING EASEMENT LINE
- LOT SETBACKS (TYP.)
- SECTION LINE
- TOP OF SLOPE (SLOPES < 3:1 UNLESS NOTED)
- BOTTOM OF SLOPE
- SIGHT VISIBILITY TRIANGLE (SVT)
- EX. STORM DRAIN SYSTEM
- EXIST. CULVERT
- PROPOSED CONCRETE SIDEWALK
- 100-YEAR FLOODPLAIN
- EROSION HAZARD SETBACK
- PROPOSED CULVERT

### PROJECT LAYOUT

SCALE 1"=300'

### APPROVAL

ANY PLAN DEEMED SALVAGEABLE BY THE ZONING INSPECTOR SHALL BE SALVAGED. TOWN OF ORD VALLEY NATIVE PLANT SALVAGE PLAN APPROVED BY:

*Bon Valle* 7/29/14  
PLANNING/ZONING ADMINISTRATOR DATE

### LOCATION MAP

BEING A PORTION OF SECTIONS 23 & 26 TOWNSHIP 11 NORTH, RANGE 13 EAST, G & S.R.M. GILA & SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA. TOWN OF ORD VALLEY, PIMA COUNTY, ARIZONA.

### SHEET INDEX

- SHEET 1 (G1) COVER SHEET
- SHEET 2 (G2) PLANTING LEGEND
- SHEET 3 (G3) SPECIFICATIONS
- SHEET 4 (G4) SPECIFICATIONS
- SHEET 5 (G5) PLANTING PLANS
- SHEET 6 (G6) PLANTING DETAILS
- SHEET 7 (G7) IRRIGATION PLANS
- SHEET 8 (G8) IRRIGATION DETAILS
- SHEET 9 (G9) TRAILS & MAILBOX PLAN
- SHEET 10 (W1) WALLS PLAN
- SHEET 11 (W2) MATERIALS AND FINISHES
- SHEET 12 (W3) THEME WALL ELEVATIONS
- SHEET 13 (W4) MATERIALS AND FINISHES
- SHEET 14 (W5) COMMUNITY PARK
- SHEET 15 (R1) POOL @ COMMUNITY PARK
- SHEET 16 (R2) BANQUETS @ COMMUNITY PARK
- SHEET 17 (R3) PLAYGROUND @ COMMUNITY PARK
- SHEET 18 (R4) PLAYGROUND @ COMMUNITY PARK
- SHEET 19 (R5) CACTUS GARDEN
- SHEET 20 (R6) BUTTERFLY GARDEN
- SHEET 21 (R7) BANQUETS & CONCRETE LAYOUTS
- SHEET 22 (R8) PRIMARY ENTRY WEST
- SHEET 23 (R9) PRIMARY ENTRY EAST
- SHEET 24 (R10) BLOCK 1 & SOUTH ENTRIES
- SHEET 25 (R11) BLOCK 2 & COMMUNITY PARK ENTRIES
- SHEET 26 (R12) BLOCK 3 NORTH, BLOCK 4 ENTRIES
- SHEET 27 (R13) BLOCK 3 ENTRY
- SHEET 28 (R14) COLUMN DETAILS
- SHEET 29 (R15) WALL DETAILS
- SHEET 30 (R16) PAVING DETAILS
- SHEET 31 (R17) MATERIALS & FINISHES DETAILS
- SHEET 32 (R18) PLAYGROUND DETAILS
- SHEET 33 (R19) FURNITURE DETAILS
- SHEET 34 (R20) ENTRY DETAILS
- SHEET 35 (R21) BRIDGE CROSSING
- SHEET 36 (R22) PROPOSED ENTRY WALLS
- SHEET 37 (R23) BLOCK 1 - 3 MONUMENT WALLS
- SHEET 38 (R24) BLOCK 4 - 5 MONUMENT WALLS
- SHEET 39 (R25) BLOCK 2 NORTH GATES
- SHEET 40 (R26) BLOCK 3 SOUTH GATES
- SHEET 41 (R27) BLOCK 4 GATES & TRAILS
- SHEET 42 (R28) BLOCK 5 GATES
- SHEET 43 (R29) FRIEZE DETAILS

### RE-ACCEPTANCE

*R.L.* 11/17/15  
PLANNING & ZONING ADMINISTRATOR DATE

2015-03-04 PCWRD REVISIONS  
2015-06-01 GENERAL REVISIONS

### FINAL LANDSCAPE AND IRRIGATION PLAN FOR MARACAY HOMES AT VISTOSO

LOTS 1 THROUGH 342, C.A. "A", C.A. "1A"-"1G", C.A. "2A"-"2F", C.A. "3A"-"3G", C.A. "4A"-"4I" AND C.A. "5A"-"5G" ON PARCELS 10D-F & 11AK-AL

BEING A PORTION OF SECTIONS 23 & 26 TOWNSHIP 11 NORTH, RANGE 13 EAST, G & S.R.M. TOWN OF ORD VALLEY, PIMA COUNTY, ARIZONA

CONTOUR INTERVAL: 1' SCALE: AS SHOWN  
JUNE 2014 WLB NO. 155050-MY01

REF. CASE NOV113-002 SHEET 1 OF 75

The WLB Group  
  
 Engineering Planning  
 Landscape Architecture Urban Design  
 Offices located in Tucson, Phoenix,  
 Flagstaff, Arizona,  
 Tempe, Phoenix,  
 4444 East Broadway  
 Tucson, Arizona (520) 951-7450

### BUFFERYARD NOTES AND TABLE

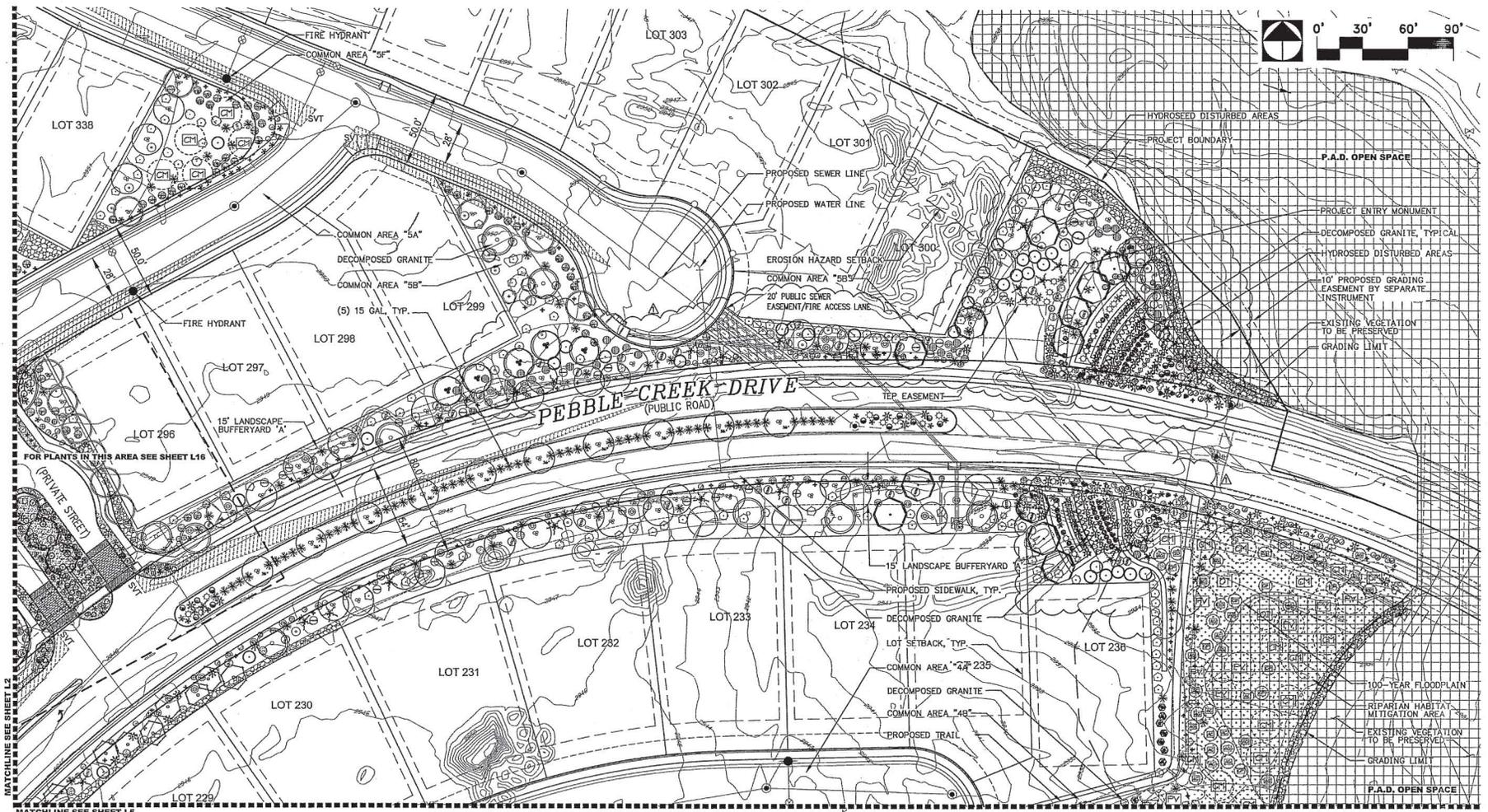
- EXISTING ZONING PER RANCHO VISTOSO PAD - MDR, MHR
- BUFFERYARDS ARE BASED ON REQUIREMENTS OF OVZCR BUFFERYARD ADDENDUM E TABLE
- PIBBLE CREEK DRIVE / LA CANADA DRIVE IS CLASSIFIED AS A COLLECTOR STREET

BUFFERYARD	BUFFERYARD TYPE	WIDTH	TOTAL PLANTS REQUIRED PER 100'			PLANTS PROVIDED PER 100'			BUFFERYARD LENGTH	GROUND COVER TREATMENT
			TREES	SHRUBS	ACCENTS	TREES	SHRUBS	ACCENTS		
LA CANADA DRIVE (NORTH/SIDE)	'X'	15'	4	4	4	4	4	8	1048 LF	DG
LA CANADA DRIVE (SOUTH/SIDE)	'X'	15'	4	4	8	4	4	8	1100 LF	DG
PIBBLE CREEK DRIVE (NORTH/SIDE)	'X'	15'	4	4	8	4	4	8	2125 LF	DG
PIBBLE CREEK DRIVE (SOUTH/SIDE)	'X'	15'	4	4	8	4	4	8	2305 LF	DG

### NATIVE PLANT SUMMARY

BOTANICAL NAME	COMMON NAME	BLUE RIBBON			RED RIBBON			WHITE RIBBON			TOTAL PER PLANT
		TYPE	REMOVE	PRESERVE IN PLACE	TYPE	REMOVE	PRESERVE IN PLACE	TYPE	REMOVE	PRESERVE IN PLACE	
ACACIA CONSTRUCTA	WHITETHORN ACACIA		178		783		13				979
ACACIA GREGGII	CAT CLAW ACACIA		81		114		1				176
CANADIANA GIGANTEA	SAGEBIRD		59		0		0				59
CELTIS PALLIDA	DESERT HAZELBERRY		70		60		2				132
CERDUM FLORIDUM	BLUE PALO VERDE		19		89		1				109
CERDUM MICROPHYLLUM	FOOTHILL PALO VERDE		159		579		7				745
FEROCACTUS WILZEBII	FISHHOOK BARREL		1682		0		24				1715
FOUQUIERIA SPLENDENS	OCOTILLO		0		0		0				0
OLNEYA TESOTA	BONWOOD		69		2		0				71
PENICILLARIA GREGGII	DESERT NIGHT BLOOMING CERUEUS		5		0		0				5
PROSPERS VELUTINA	MESQUITE		63		370		15				448
YUCCA ELATA	SOAP TREE YUCCA		2		0		0				2
XYRPHUS GUTSUFOLIA	GREY THORN		47		23		0				70
TOTAL			2468		2029		63				4500





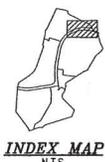
- HYDROSEED DISTURBED AREAS
- PROJECT BOUNDARY
- P.A.D. OPEN SPACE
- PROJECT ENTRY MONUMENT
- DECOMPOSED GRANITE, TYPICAL
- HYDROSEED DISTURBED AREAS
- 10' PROPOSED GRADING EASEMENT BY SEPARATE INSTRUMENT
- EXISTING VEGETATION TO BE PRESERVED
- GRADING LIMIT

FOR PLANTS IN THIS AREA SEE SHEET L16

MATCHLINE SEE SHEET L2

MATCHLINE SEE SHEET L5

- ALL TREES IN MEDIANS ARE 36" BOX
- DASYLIIRONS IN MEDIANS ARE 15 GAL.
- SEE SHEET G2 FOR PLANTING LEGEND



INDEX MAP N.T.S.

1-800-782-5348  
Blue Stake Center



**OV1213-08**  
FINAL LANDSCAPE AND IRRIGATION PLAN  
FOR  
**MARACAY HOMES**  
**AT VISTOSO**  
LOTS 1 THROUGH 342, C.A. "A", C.A. "1A"- "1G",  
C.A. "2A"- "2F", C.A. "3A"- "3G", C.A. "4A"- "4I" AND  
C.A. "5A"- "5G" ON PARCELS 10D-F & 11AK-AL

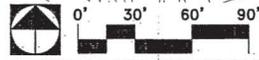
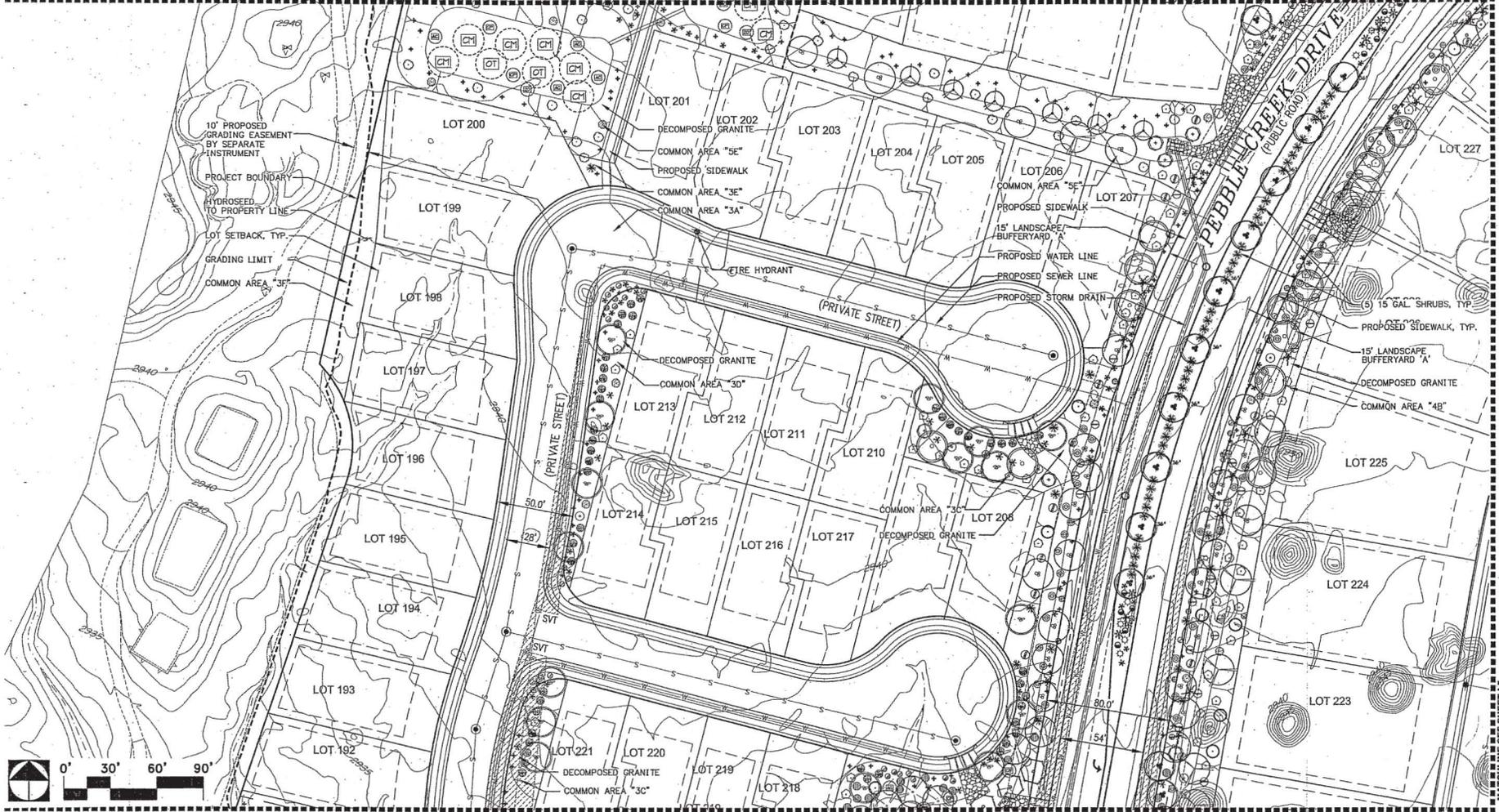
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TOWNSHIP 11 SOUTH, RANGE 13 EAST, G & S.R.M.  
TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA  
REF. CASE #OV113-002

CONTOUR INTERVAL: 1' SCALE: 1"=30'  
JUNE 2014  
WLB NO. 1850504MY01

The WLB Group **WLB**  
Engineering Planning Surveying  
Landscape Architecture Urban Design  
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and Las Vegas, Nevada  
4-4-4 East Broadway  
Tucson, Arizona (520) 881-7468

FINAL LANDSCAPE & IRRIGATION PLAN MARACAY HOMES VISTOSO PARCELS 10D-F & 11AK-AL

MATCHLINE SEE SHEET L2



MATCHLINE SEE SHEET L6

SEE SHEET G2 FOR PLANTING LEGEND

ALL TREES IN MEDIANS ARE 36" BOX

DASYLIRIONS IN MEDIANS ARE 15 GAL.

**The WLB Group**  
**WLB**  
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 Landscape Architecture Urban Design  
 Offices located in Tucson, Phoenix,  
 Flagstaff, Arizona,  
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 4444 E. Camelot Broadway  
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CALL FOR MORE DETAILS  
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 Blue Stake Center



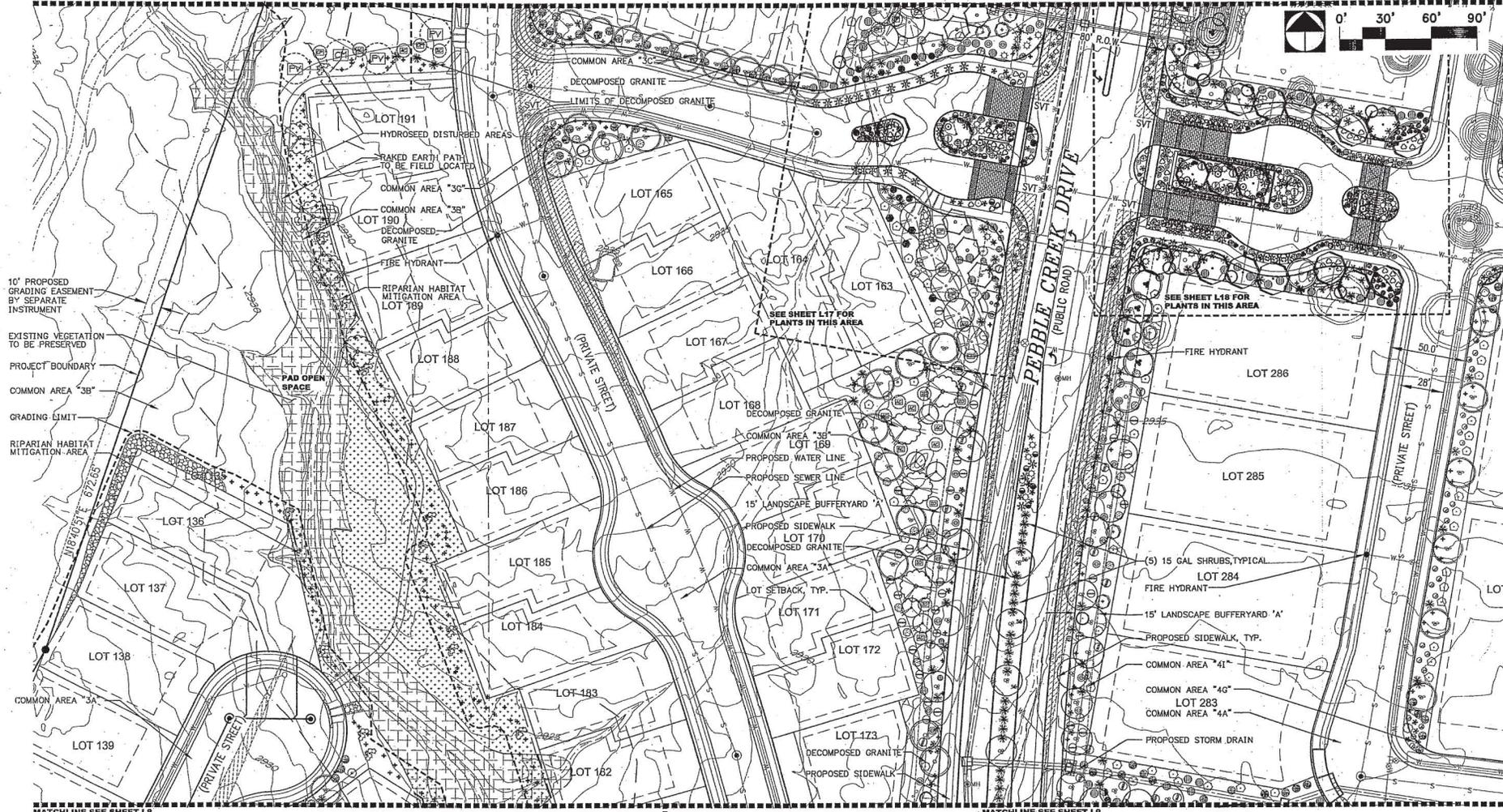
**OV1213-08**  
 FINAL LANDSCAPE AND IRRIGATION PLAN  
 FOR  
**MARACAY HOMES**  
**AT VISTOSO**  
 LOTS 1 THROUGH 342, C.A. "A", C.A. "1A"-"1G",  
 C.A. "2A"-"2F", C.A. "3A"-"3G", C.A. "4A"-"4I" AND  
 C.A. "5A"-"5G" ON PARCELS 10D-F & 11AK-AL  
 BEING A PORTION OF SECTIONS 23 & 26  
 TOWNSHIP 11 SOUTH, RANGE 13 EAST, G & S.R.M.  
 TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA  
 CONTOUR INTERVAL: 1' SCALE: 1"=30'  
 JUNE 2014 WLB NO. 185650-MY01 REF. CASE #OV11-002

PLANTING PLAN

SHEET 8 OF 75

FINAL LANDSCAPE AND IRRIGATION PLAN MARACAY HOMES AT VISTOSO PARCELS 10D-F & 11AK-AL

MATCHLINE SEE SHEET L4



10' PROPOSED GRADING EASEMENT BY SEPARATE INSTRUMENT  
EXISTING VEGETATION TO BE PRESERVED  
PROJECT BOUNDARY  
COMMON AREA "3B"  
GRADING LIMIT  
RIPARIAN HABITAT MITIGATION AREA

COMMON AREA "3A"

SEE SHEET G2 FOR PLANTING LEGEND

ALL TREES IN MEDIANS ARE 36" BOX

DASYLIRIONS IN MEDIANS ARE 15 GAL.



INDEX MAP N.T.S.

CALL FOR THE ORIGINALS  
1-800-782-5348  
Blue Stake Center



OV1213-08  
FINAL LANDSCAPE AND IRRIGATION PLAN  
FOR  
**MARACAY HOMES**  
AT VISTOSO  
LOTS 1 THROUGH 342, C.A. "A", C.A. "1A"- "1G",  
C.A. "2A", "2F", C.A. "3A"- "3G", C.A. "4A"- "4I" AND  
C.A. "5A"- "5G" ON PARCELS 10D-F & 11AK-AL

BEING A PORTION OF SECTIONS 23 & 26  
TOWNSHIP 11 SOUTH, RANGE 13 EAST, G & S.R.M.  
TOWN OF ORQ VALLEY, PIMA COUNTY, ARIZONA.  
REF. CASE #OV113-002

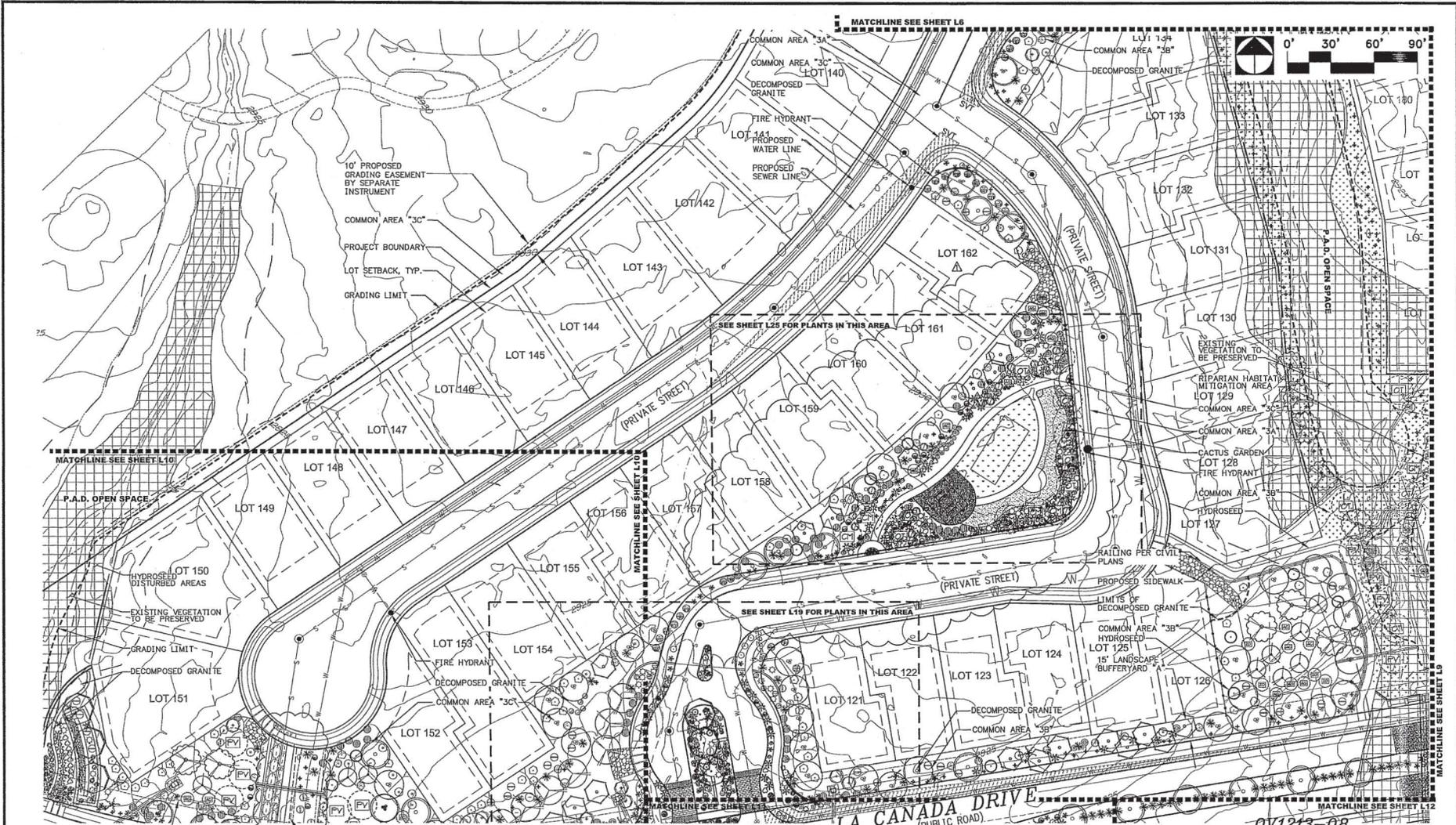
CONTOUR INTERVAL: 1' SCALE: 1"=30'  
JUNE 2014  
WLB NO. 185550-MY01

SHEET 10 OF 75

PLANTING PLAN

The WLB Group, Inc. **WLB**  
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FINAL LANDSCAPE & IRRIGATION PLAN MARACAY VISTOSO PARCELS 10D-F & 11AK-AL  
Project: June 25, 2014 - 10:58am  
FILED: 2014 JUN 25 10:58 AM  
PIMA COUNTY, ARIZONA  
RECORDING OFFICE



**SEE SHEET G2  
FOR PLANTING LEGEND**

**ALL TREES IN  
MEDIANS ARE 36" BOX**

**DASYLIRIONS IN  
MEDIANS ARE 15 GAL.**



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1-800-782-5348  
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**0V1213-08**  
FINAL LANDSCAPE AND IRRIGATION PLAN  
FOR  
**MARACAY HOMES  
AT VISTOSO**  
LOTS 1 THROUGH 342, C.A. "A", C.A. "1A"-"1G",  
C.A. "2A"-"2F", C.A. "3A"-"3G", C.A. "4A"-"4I" AND  
C.A. "5A"-"5G" ON PARCELS 10D-F & 11AK-AL  
BEING A PORTION OF SECTIONS 23 & 26  
TOWNSHIP 11 SOUTH, RANGE 13 EAST, G & S.R.M.  
TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA  
REF. CASE 80V113-002

CONTOUR INTERVAL: 1' SCALE: 1"=30'  
JUNE 2014  
WLB NO. 185505-MY01

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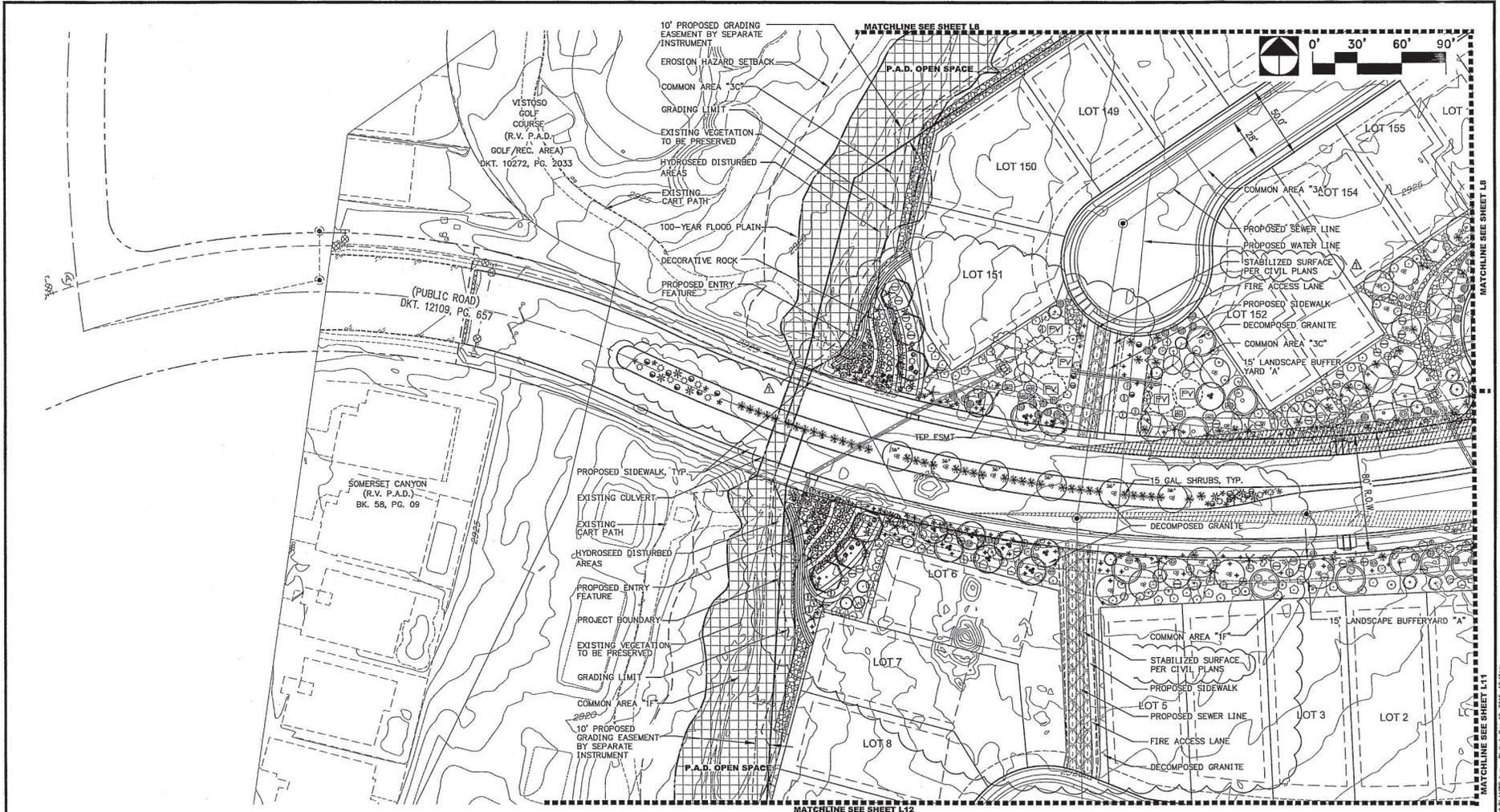
2015-03-04 PCWRD REVISIONS

PLANTING PLAN

SHEET 12 OF 75

FINAL LANDSCAPE & IRRIGATION PLAN RANCHO VISTOSO PARCELS 10D-F & 11AK-AL  
Photos: Dec. 12, 2014 - 12:30pm  
N:\185505\08\10V1213\10V1213-08 PLANTING.dwg



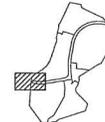


**SEE SHEET G2  
FOR PLANTING LEGEND**

**ALL TREES IN  
MEDIANS ARE 36" BOX**

**DASYLIRIONS IN  
MEDIANS ARE 15 GAL.**

- △ 2015-06-01 GENERAL REVISIONS
- △ 2015-03-04 PCRWRD REVISIONS



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**0V1213-08**  
**FINAL LANDSCAPE AND IRRIGATION PLAN**  
 FOR  
**MARACAY HOMES**  
**AT VISTOSO**  
 LOTS 1 THROUGH 342, C.A. "A", C.A. "1A"- "1G",  
 C.A. "2A"- "2I", C.A. "3A"- "3G", C.A. "4A"- "4I" AND  
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 BEING A PORTION OF SECTIONS 23 & 28  
 TOWNSHIP 11 SOUTH, RANGE 13 EAST, G & S.R.M.  
 TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA  
 REF. CASE #0V113-002

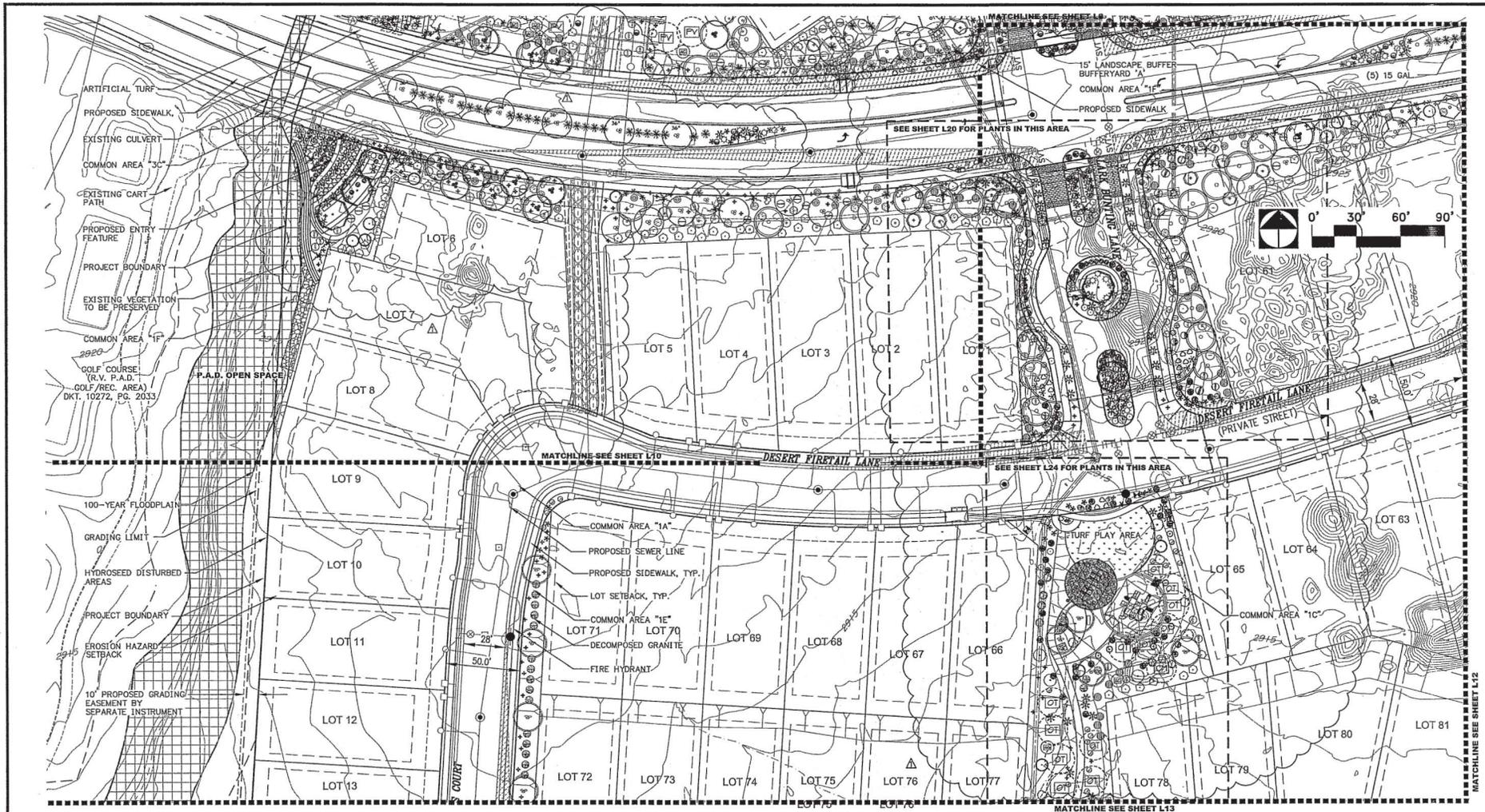
CONTOUR INTERVAL: 1' SCALE: 1"=30'  
 JUNE 2014  
 WLB NO. 165090-MY01

**SHEET 14 OF 75**

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PLANTING PLAN

FINAL LANDSCAPE & IRRIGATION PLAN PARCELS 10D-F & 11AK-AL Pinned: Dec 18, 2016 - 10:46am



SEE SHEET G2  
FOR PLANTING LEGEND

SEE HARDSCAPE  
PLANS FOR PARK  
LAYOUT



CALL FOR THE BIBLE OF SITE  
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**OV1213-08**  
FINAL LANDSCAPE AND IRRIGATION PLAN  
FOR  
**MARACAY HOMES**  
**AT VISTOSO**  
LOTS 1 THROUGH 342, C.A. "A", C.A. "1A"-"1G",  
C.A. "2A"-"2F", C.A. "3A"-"3G", C.A. "4A"-"4I" AND  
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BEING A PORTION OF SECTIONS 23 & 28  
TOWNSHIP 11 SOUTH, RANGE 13 EAST, G & S.R.M.  
TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA  
REF. CASE #OV113-002

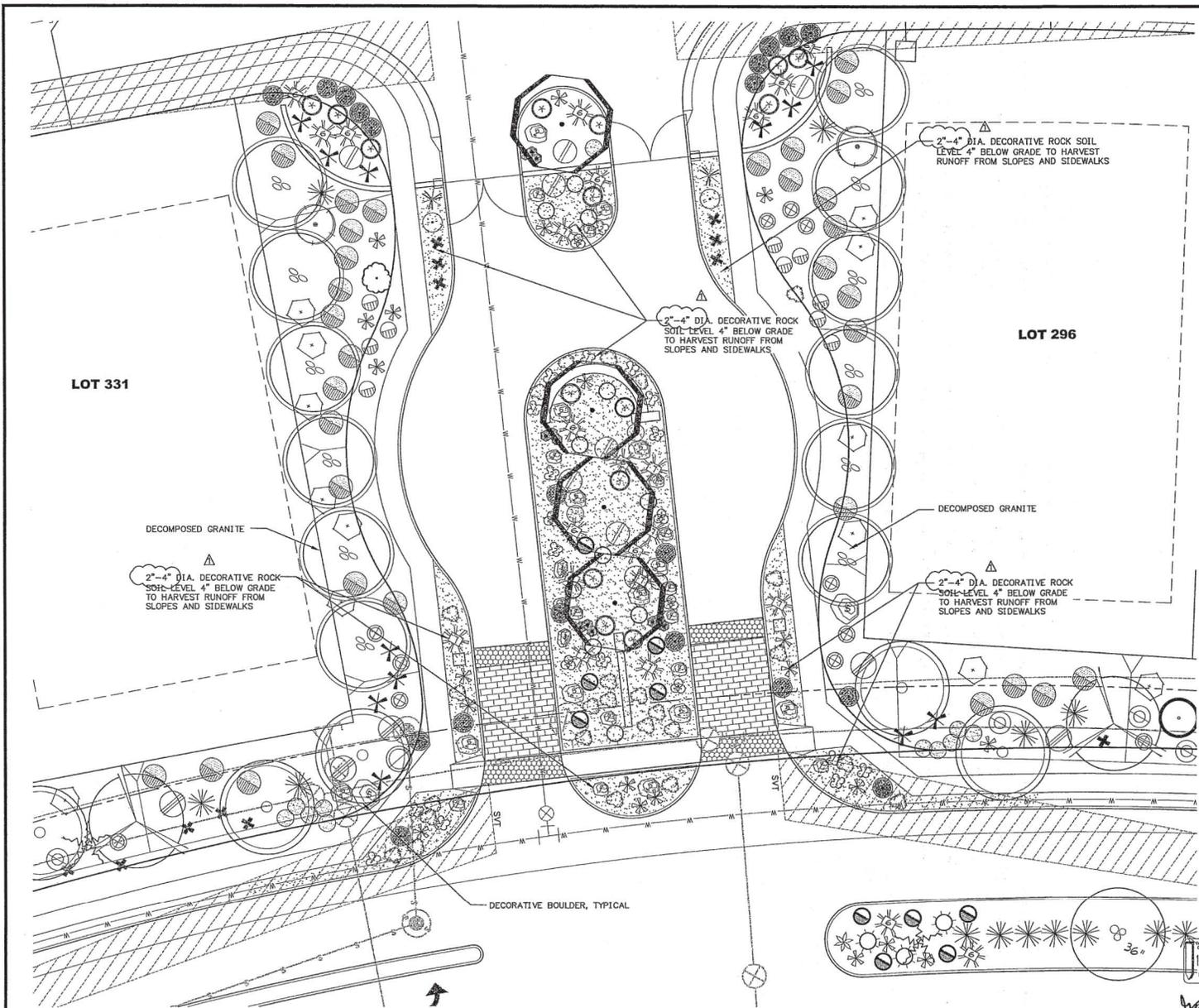
CONTOUR INTERVAL: 1' SCALE: 1"=30'  
JUNE 2014  
WLB NO. 18550-MY01

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- △ 2015-06-01 GENERAL REVISIONS
- △ 2015-03-04 PCRWD REVISIONS

PLANTING PLAN

FINAL LANDSCAPE & IRRIGATION PLAN RANCHO VISTOSO PARCELS 10D-F & 11AK-AL  
PROJECT: DEC. 12, 2013 - 1:30pm  
FILE: 18550-MY01-PLANTING.PLT



OV1213-08  
 FINAL LANDSCAPE AND IRRIGATION PLAN  
 FOR  
**MARACAY HOMES**  
 AT VISTOSO  
 LOTS 1 THROUGH 342, C.A. "A", C.A. "1A"-16",  
 C.A. "2A"-22", C.A. "3A"-56", C.A. "4A"-41" AND  
 C.A. "5A"-56" ON PARCELS 10D-F & 11AK-AL

CALL FOR THE BLUE-SCALE  
 1-800-782-5348  
 Blue Scale Center



BEING A PORTION OF SECTIONS 23 & 26  
 TOWNSHIP 11 SOUTH, RANGE 13 EAST, G & S.R.M.  
 TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA  
 REF. CASE #OV113-002

CONTOUR INTERVAL: 1' SCALE: 1"=10'  
 JUNE 2014  
 WLB NO. 185050-MY01

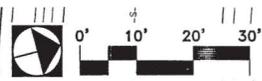
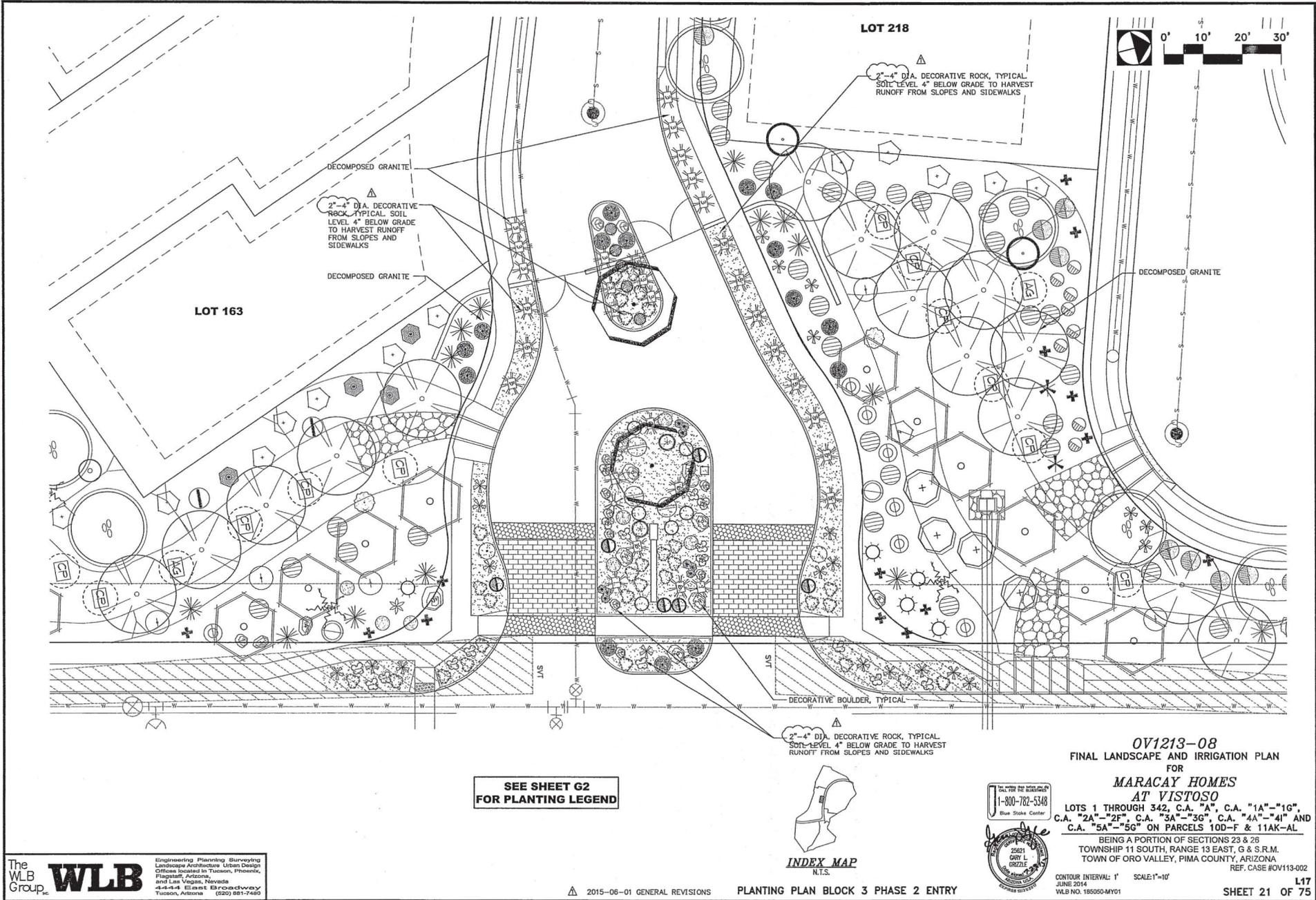
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SEE SHEET G2  
 FOR PLANTING LEGEND

2015-06-01 GENERAL REVISIONS PLANTING PLAN BLOCK 5 ENTRY

L16  
 SHEET 20 OF 75

FINAL LANDSCAPE & IRRIGATION PLAN RANCHO VISTOSO PARCELS 10D-F & 11AK-AL



DECOMPOSED GRANITE

2"-4" DIA. DECORATIVE ROCK, TYPICAL. SOIL LEVEL 4" BELOW GRADE TO HARVEST RUNOFF FROM SLOPES AND SIDEWALKS

DECOMPOSED GRANITE

LOT 218

2"-4" DIA. DECORATIVE ROCK, TYPICAL. SOIL LEVEL 4" BELOW GRADE TO HARVEST RUNOFF FROM SLOPES AND SIDEWALKS

DECOMPOSED GRANITE

LOT 163

2"-4" DIA. DECORATIVE ROCK, TYPICAL. SOIL LEVEL 4" BELOW GRADE TO HARVEST RUNOFF FROM SLOPES AND SIDEWALKS

SEE SHEET G2 FOR PLANTING LEGEND



INDEX MAP  
N.T.S.

OV1213-08  
FINAL LANDSCAPE AND IRRIGATION PLAN  
FOR  
MARACAY HOMES  
AT VISTOSO

LOTS 1 THROUGH 342, C.A. "A", C.A. "1A"- "16",  
C.A. "2A"- "2F", C.A. "3A"- "3G", C.A. "4A"- "4I" AND  
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BEING A PORTION OF SECTIONS 23 & 26  
TOWNSHIP 11 SOUTH, RANGE 13 EAST, G & S.R.M.  
TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

REF. CASE #OV113-002

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JUNE 2014  
WLB NO. 195050-MY01

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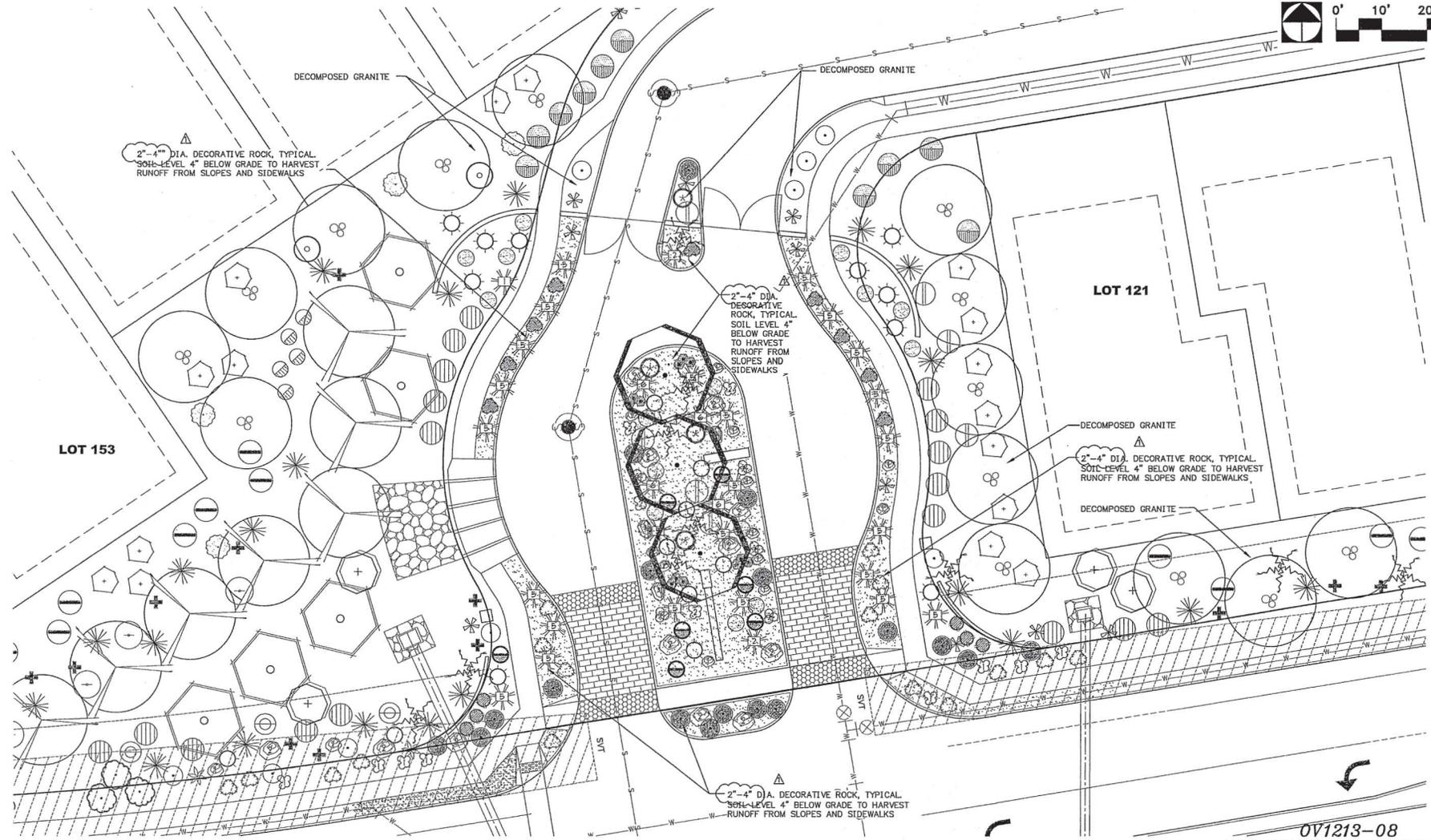
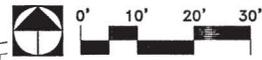
2015-06-01 GENERAL REVISIONS

PLANTING PLAN BLOCK 3 PHASE 2 ENTRY

SHEET 21 OF 75

PIMA LANDSCAPE & IRRIGATION PLAN RANCHO VISTOSO PARCELS 10D-F & 11AK-AL  
REVISED: JUN 24, 2015 - 9:40am





**SEE SHEET G2  
FOR PLANTING LEGEND**



**OV1213-08**  
FINAL LANDSCAPE AND IRRIGATION PLAN  
FOR  
**MARACAY HOMES**  
AT VISTOSO

LOTS 1 THROUGH 342, C.A. "A", C.A. "1A"- "1G",  
C.A. "2A"- "2E", C.A. "3A"- "3G", C.A. "4A"- "4I" AND  
C.A. "5A"- "5G" ON PARCELS 10D-F & 11AK-AL

BEING A PORTION OF SECTIONS 23 & 28  
TOWNSHIP 11 SOUTH, RANGE 13 EAST, G & S.R.M.  
TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA  
REF. CASE #0113-002

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CONTOUR INTERVAL: 1' SCALE: 1"=10'  
JUNE 2014  
WLB NO. 185050-MY01

**L19**  
**SHEET 23 OF 75**

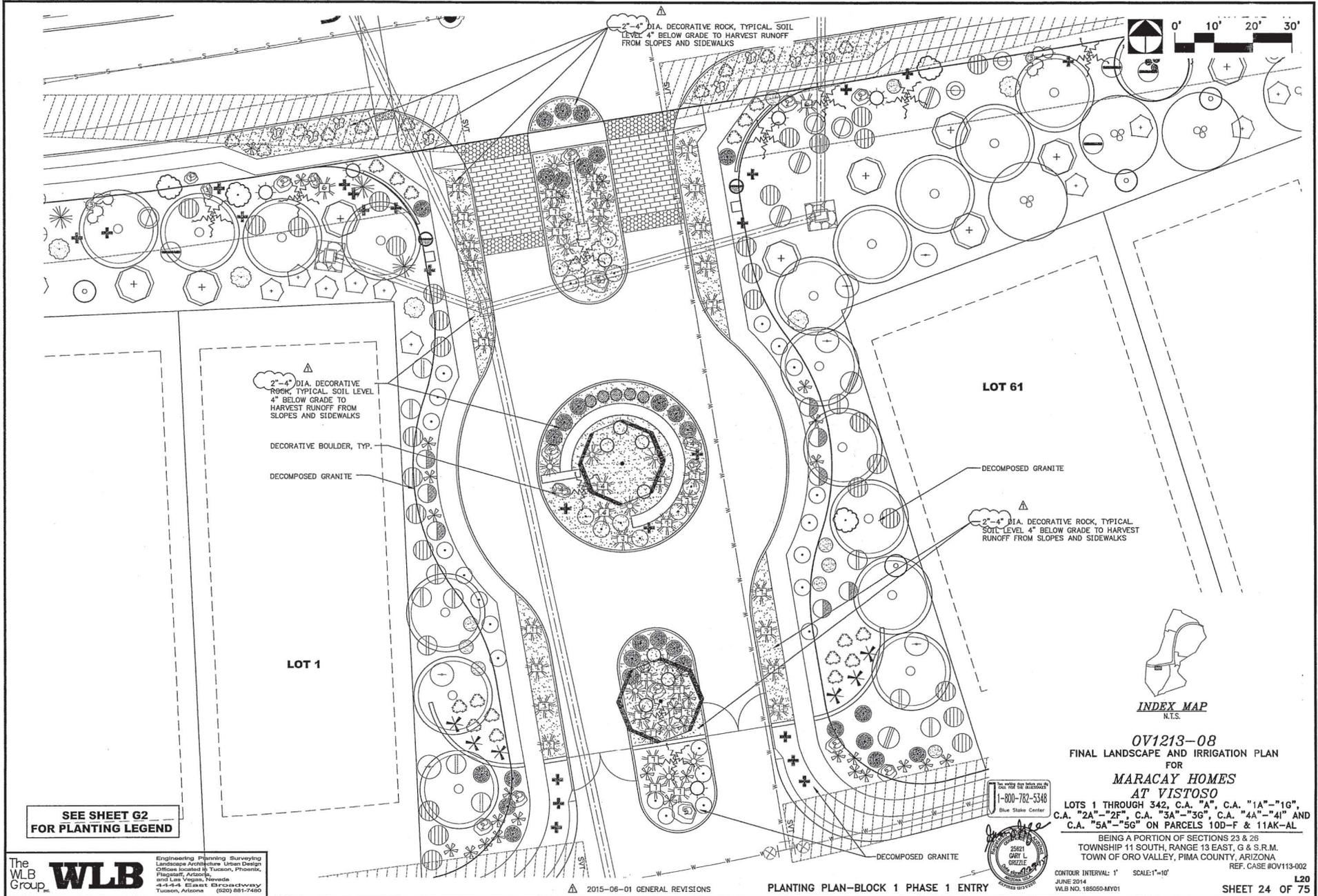
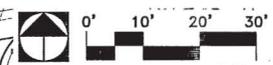
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2015-06-01 GENERAL REVISIONS

PLANTING PLAN-BLOCK 3 PHASE 1 ENTRY

FINAL LANDSCAPE & IRRIGATION PLAN RANCHO VISTOSO PARCELS 10D-F & 11AK-AL  
Phase 1, July 24, 2015, 5:47 PM  
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FINAL LANDSCAPE & IRRIGATION PLAN RANCHO VISTOSO PARCELS 10D-F & 11AK-AL  
Project: JUL 24, 2015 - 10:49am  
N:\185050\185050\Drawn\Draw\Planting\PL12000\Mainway\PL12000\PLANTS.dwg



SEE SHEET G2  
FOR PLANTING LEGEND

2"-4" DIA. DECORATIVE ROCK, TYPICAL SOIL LEVEL 4" BELOW GRADE TO HARVEST RUNOFF FROM SLOPES AND SIDEWALKS

DECORATIVE BOULDER, TYP.

DECOMPOSED GRANITE

LOT 61

2"-4" DIA. DECORATIVE ROCK, TYPICAL SOIL LEVEL 4" BELOW GRADE TO HARVEST RUNOFF FROM SLOPES AND SIDEWALKS



**OV1213-08**  
FINAL LANDSCAPE AND IRRIGATION PLAN  
FOR  
**MARACAY HOMES**  
**AT VISTOSO**  
LOTS 1 THROUGH 342, C.A. "A", C.A. "1A"- "1G",  
C.A. "2A"- "2F", C.A. "3A"- "3G", C.A. "4A"- "4I" AND  
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TOWNSHIP 11 SOUTH, RANGE 13 EAST, G & S.R.M.  
TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA  
REF. CASE #OV113-002

CONTOUR INTERVAL: 1' SCALE: 1"=10'  
JUNE 2014  
WLB NO. 185050-MY01

**L20**  
**SHEET 24 OF 75**

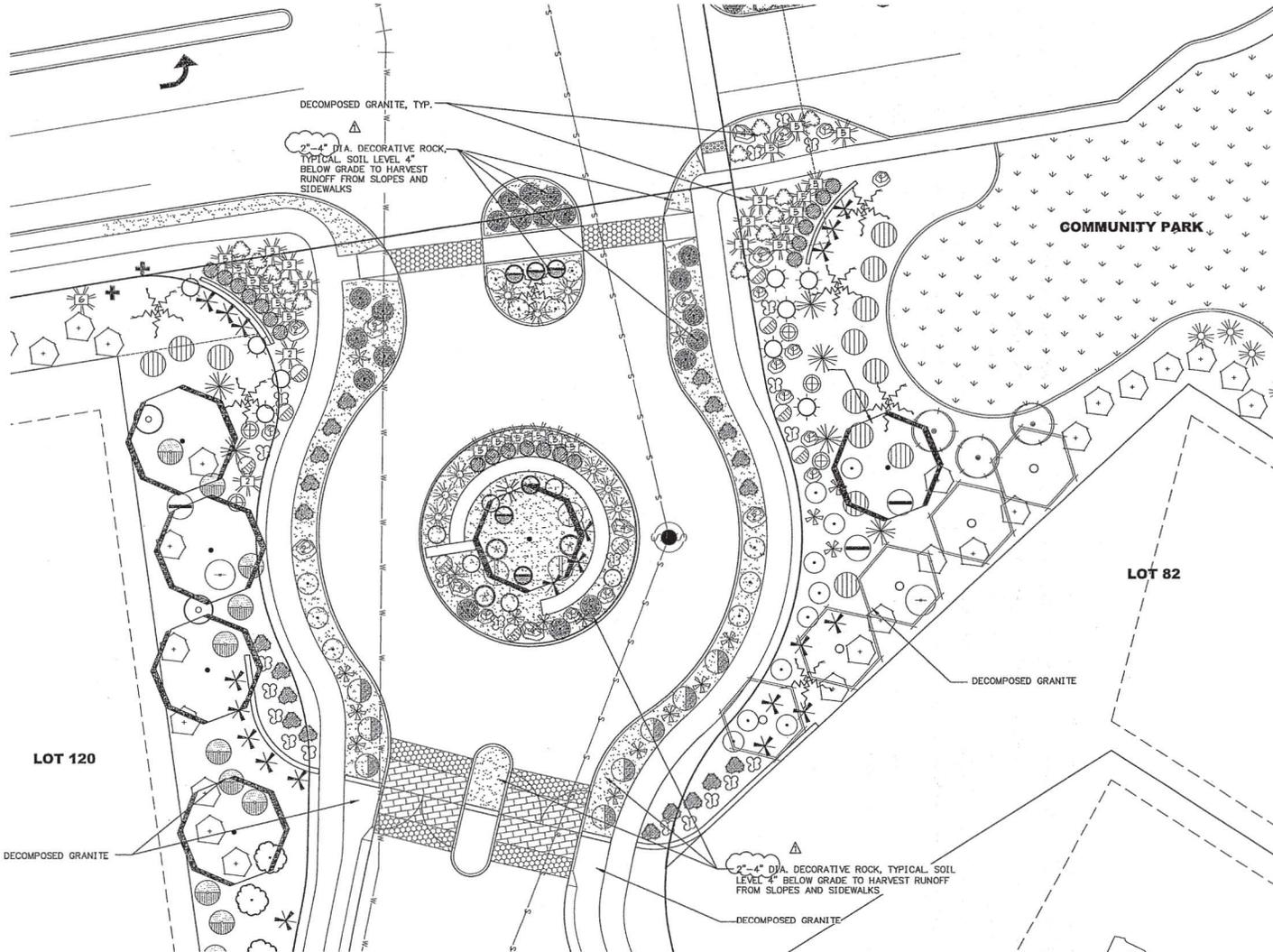
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2015-06-01 GENERAL REVISIONS

PLANTING PLAN-BLOCK 1 PHASE 1 ENTRY

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DECOMPOSED GRANITE, TYP.  
 2'-4" DIA. DECORATIVE ROCK, TYPICAL SOIL LEVEL 4" BELOW GRADE TO HARVEST RUNOFF FROM SLOPES AND SIDEWALKS

COMMUNITY PARK

LOT 82

LOT 120

DECOMPOSED GRANITE

DECOMPOSED GRANITE

2'-4" DIA. DECORATIVE ROCK, TYPICAL SOIL LEVEL 4" BELOW GRADE TO HARVEST RUNOFF FROM SLOPES AND SIDEWALKS

DECOMPOSED GRANITE

OV1213-08  
 FINAL LANDSCAPE AND IRRIGATION PLAN  
 FOR

**MARACAY HOMES  
 AT VISTOSO**

LOTS 1 THROUGH 342, C.A. "A", C.A. "1A"- "1G",  
 C.A. "2A"- "2F", C.A. "3A"- "3G", C.A. "4A"- "4I" AND  
 C.A. "5A"- "5G" ON PARCELS 10D-F & 11AK-AL

BEING A PORTION OF SECTIONS 23 & 26  
 TOWNSHIP 11 SOUTH, RANGE 13 EAST, G & S.R.M.  
 TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA

REF. CASE #OV113-002



INDEX MAP  
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CONTOUR INTERVAL: 1' SCALE: 1"=10'  
 JUNE 2014  
 WLB NO. 160050-MY01

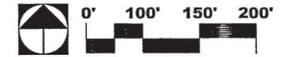
L24  
 SHEET 25 OF 75

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SEE SHEET G2  
 FOR PLANTING LEGEND

2015-06-01 GENERAL REVISIONS PLANTING PLAN-BLOCK 2 ENTRY

FINAL LANDSCAPE & IRRIGATION PLAN RANCHO VISTOSO PARCELS 10D-F & 11AK-AL

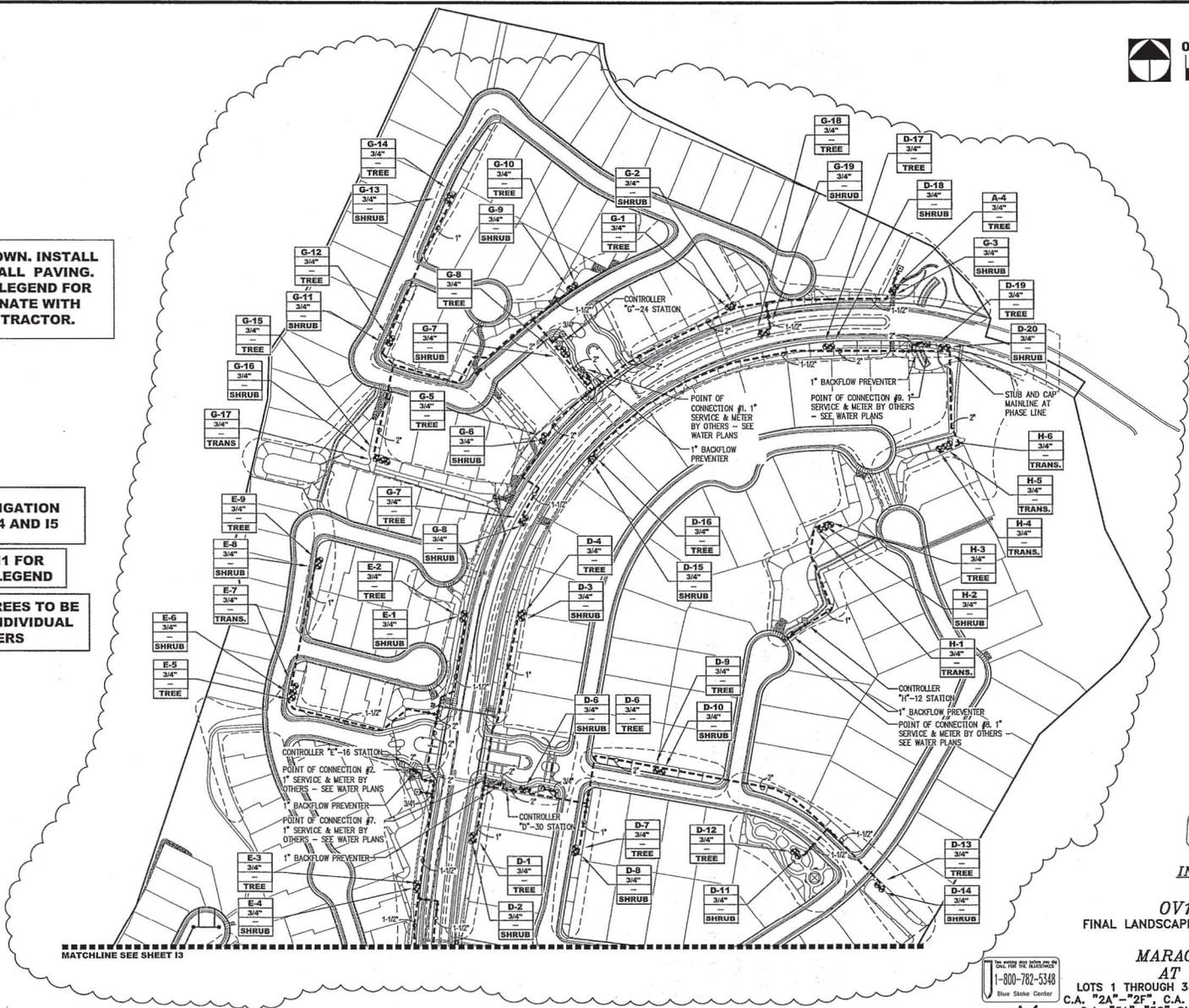


SLEEVES NOT SHOWN. INSTALL SLEEVES UNDER ALL PAVING. SEE IRRIGATION LEGEND FOR SIZES. COORDINATE WITH GENERAL CONTRACTOR.

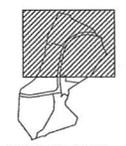
FOR TURF IRRIGATION SEE SHEETS 14 AND 15

SEE SHEET 11 FOR IRRIGATION LEGEND

NOTE: STREET TREES TO BE IRRIGATED BY INDIVIDUAL LOT OWNERS



MATCHLINE SEE SHEET 13



INDEX MAP  
N.T.S.

OV1213-08  
FINAL LANDSCAPE AND IRRIGATION PLAN  
FOR  
**MARACAY HOMES**  
**AT VISTOSO**

LOTS 1 THROUGH 342, C.A. "A", C.A. "1A"-"16",  
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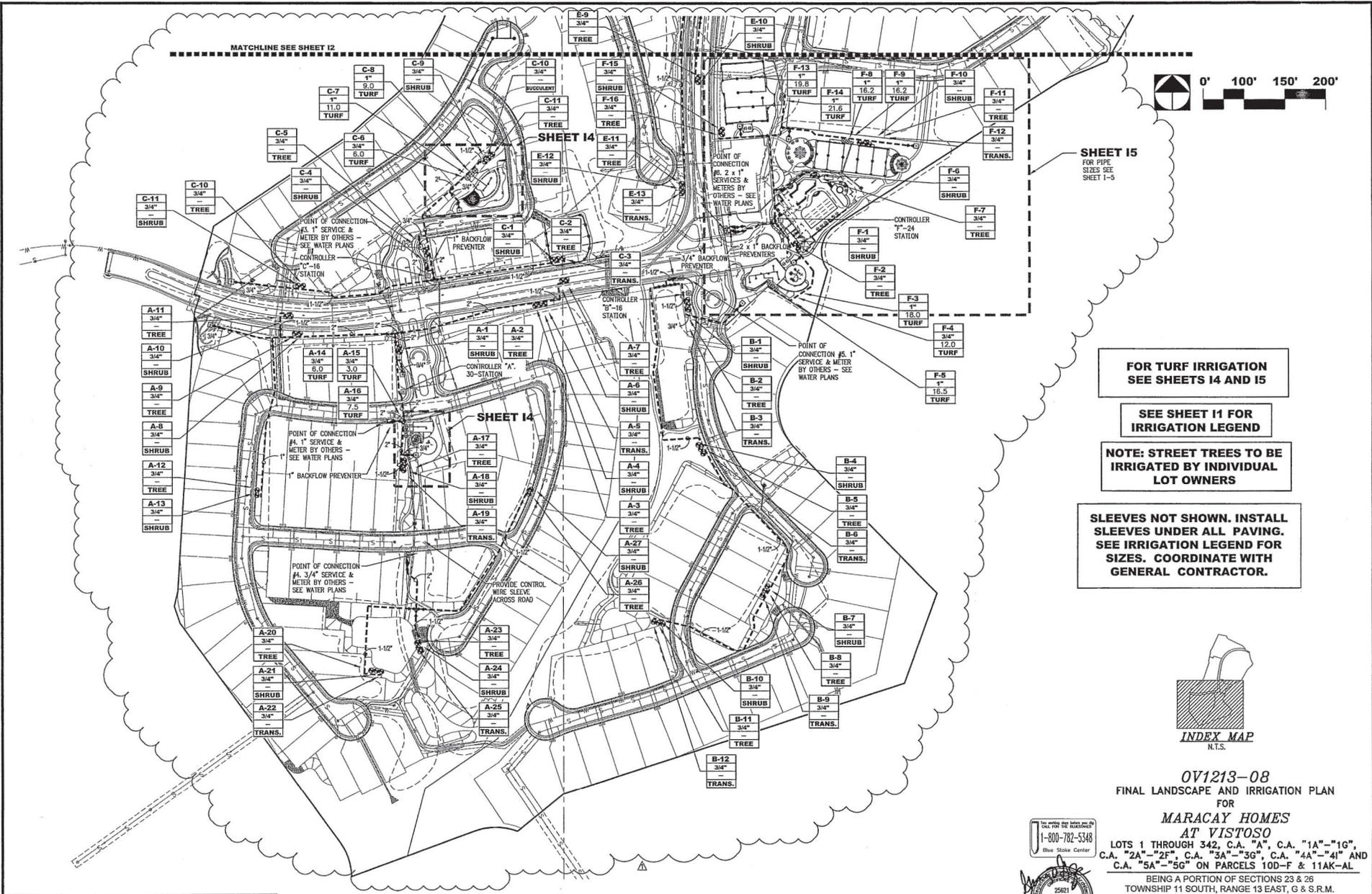
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JUNE 2014  
WLB NO. 185050-MY01

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2015-06-01 GENERAL REVISIONS

IRRIGATION PLAN

FINAL LANDSCAPE & IRRIGATION PLAN PARCELS 10D-F & 11AK-AL  
REVISED 11/2014  
Photos: JUL 23, 2015 - 148000



**FOR TURF IRRIGATION  
SEE SHEETS 14 AND 15**

**SEE SHEET I1 FOR  
IRRIGATION LEGEND**

**NOTE: STREET TREES TO BE  
IRRIGATED BY INDIVIDUAL  
LOT OWNERS**

**SLEEVES NOT SHOWN. INSTALL  
SLEEVES UNDER ALL PAVING.  
SEE IRRIGATION LEGEND FOR  
SIZES. COORDINATE WITH  
GENERAL CONTRACTOR.**



**OV1213-08**  
FINAL LANDSCAPE AND IRRIGATION PLAN  
FOR  
**MARACAY HOMES**  
**AT VISTOSO**  
LOTS 1 THROUGH 342, C.A. "A", C.A. "1A"- "1G",  
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BEING A PORTION OF SECTIONS 23 & 26  
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TOWN OF ORO VALLEY, PIMA COUNTY, ARIZONA  
REF. CASE #OV113-002

CONTOUR INTERVAL: 1' SCALE: 1"=100'  
JUNE 2014  
WLB NO. 185050-MY01

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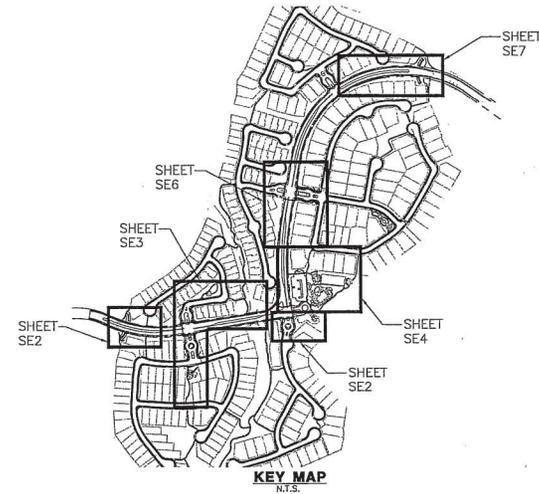
FINAL LANDSCAPE & IRRIGATION PLAN MARACAY HOMES AT VISTOSO PARCELS 10D-F & 11AK-AL PROJECT # OV113-002 DATE: JUN 25, 2014 3:00PM

# RANCHO VISTOSO-PHASE 1 ELECTRICAL PLANS

## GENERAL ELECTRICAL NOTES

- ELECTRICAL WORK SHALL COMPLY WITH THE NATIONAL ELECTRIC CODE (2011), FEDERAL, STATE AND LOCAL JURISDICTION CODES.
- ALL WORK SHALL BE DONE IN A NEAT, WORKMANLIKE, FINISHED AND SAFE MANNER, ACCORDING TO THE LATEST PUBLISHED NATIONAL ELECTRICAL CONTRACTORS ASSOCIATION STANDARDS OF INSTALLATION, UNDER COMPETENT SUPERVISION.
- VISIT THE SITE PRIOR TO BIDDING TO BECOME FAMILIAR WITH EXISTING CONDITIONS AND ALL OTHER FACTORS WHICH MAY AFFECT THE EXECUTION OF THIS WORK. INCLUDE ALL RELATED COSTS IN THE INITIAL BID PROPOSAL.
- CONTRACTOR SHALL PAY FOR PERMITS AND INSPECTIONS AS MAY BE REQUIRED AND PROVIDE A CERTIFICATE OF INSPECTION TO THE OWNER.
- PROTECT ALL MATERIAL AND EQUIPMENT INSTALLED AGAINST DAMAGE BY OTHER TRADES, WEATHER CONDITIONS OR ANY OTHER CAUSES. EQUIPMENT FOUND DAMAGED OR IN OTHER THAN NEW CONDITION WILL BE REJECTED AS DEFECTIVE. ALL COMPONENTS SHALL BE FREE OF DUST, GRIT AND FOREIGN MATERIALS, AND LEFT AS NEW BEFORE FINAL ACCEPTANCE OF WORK.
- LEAVE THE SITE CLEAN, REMOVE ALL DEBRIS, EMPTY CARTONS, TOOLS, CONDUIT, WIRE SCRAPS AND ALL MISCELLANEOUS SPARE EQUIPMENT AND MATERIALS USED IN THE WORK DURING CONSTRUCTION.
- IT IS THE OBLIGATION OF THE CONTRACTOR TO ORGANIZE HIS WORK SO THAT A COMPLETE ELECTRICAL, INSTRUMENTATION, AND/OR CONTROL SYSTEM FOR THE FACILITY WILL BE PROVIDED AND SUPPORTED BY ACCURATE SHOP AND RECORD DRAWINGS, AND ALL O & M MANUALS.
- ALL UNDERGROUND CONDUIT SHALL BE SCHEDULE 40 PVC, BURIED 24" MINIMUM BELOW FINISHED GRADE, UNLESS SPECIFICALLY NOTED OTHERWISE ON PLANS OR IN DETAILS.
- PROVIDE ENT INDOOR AND ORS OUTDOOR FOR ABOVE GROUND CONDUIT, WHERE METALLIC CONDUITS COME IN CONTACT WITH DIRTY, THEY SHALL BE HALF LAP WRAPPED WITH SCOTCH 50 TAPE TO 1/2" AFS. FITTINGS SHALL BE STEEL, THREADED TYPE WITH INSULATED THROUGH, SECURELY ATTACH ALL SURFACE MOUNTED CONDUIT EVERY 10 FEET AND WITHIN 3 FEET OF EACH JUNCTION BOX, PER NEC ARTICLE 344.30.
- MINIMUM CONDUIT SIZE SHALL BE 3/4" UNLESS SPECIFICALLY NOTED OTHERWISE ON PLANS OR IN DETAILS.
- ALL FEEDERS AND BRANCH CIRCUIT WIRE SHALL BE COPPER TYPE XHHW (75 DEGREE C) FOR BELOW GRADE INSTALLATIONS (AND CONDUIT RISERS) AND THHN/THWN (75 DEGREE C) FOR ABOVE GRADE INSTALLATIONS. MINIMUM SIZE SHALL BE #12 AWG, UNLESS SPECIFICALLY NOTED OTHERWISE ON PLANS OR IN DETAILS. ALL WIRING SHALL BE IN CONDUIT.
- A SEPARATE GREEN INSULATED EQUIPMENT GROUNDING CONDUCTOR (BOND) SHALL BE INSTALLED WITHIN EACH RACEWAY PER NEC CODE.
- WHEN A PANEL IS SUPPLIED BY A FEEDER OR BRANCH CIRCUIT, ANY INSTALLED GROUNDING CONDUCTOR SHALL NOT BE CONNECTED TO THE EQUIPMENT GROUNDING CONDUCTOR (GEC) OR TO THE GROUNDING ELECTRODE(S) PER NEC ARTICLE 250.32(D).
- BOND ALL ENCLOSURES PER NEC ARTICLE 250.96.
- CONTRACTOR SHALL PLAN AND INSTALL WORK IN SUCH A MANNER AS TO CONFORM TO THE STRUCTURE, AVOID OBSTRUCTIONS, PRESERVE HEADROOM AND KEEP OPENINGS AND PASSAGEWAYS CLEAR.
- CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIAL, ETC. NECESSARY FOR A COMPLETE AND WORKABLE ELECTRICAL SYSTEM WHETHER OR NOT THESE ITEMS ARE SPECIFICALLY NOTED ON THESE DRAWINGS. INCIDENTAL ITEMS NOT INDICATED ON THE DRAWINGS, NOR MENTIONED IN SPECIFICATIONS THAT CAN BE LEGITIMATELY AND REASONABLY INFERRED TO BELONG TO THE WORK DESCRIBED OR BE NECESSARY IN GOOD PRACTICE TO PROVIDE A COMPLETE SYSTEM, SHALL BE FURNISHED AND INSTALLED AS THOUGH ITEMIZED HERE IN EVERY DETAIL.
- CONTRACTOR IS RESPONSIBLE FOR AND SHALL PROVIDE ALL LABOR, MATERIAL, TRENCHING, CONDUIT, TRANSFORMER PAD AND OTHER REQUIRED EQUIPMENT PER UTILITY COMPANY PLANS AND SPECIFICATIONS NECESSARY FOR A COMPLETE UNDERGROUND CONDUIT SYSTEM FROM THE UTILITY POINT OF SERVICE TO THE UTILITY CO. TRANSFORMER AND FROM THE UTILITY CO. TRANSFORMER TO THE ELECTRICAL SERVICE ENTRANCE SECTION.
- ALL TRENCHING, CONDUITS, ETC. SHALL BE ROUTED AND INSTALLED IN SUCH A MANNER THAT WILL NOT DAMAGE EXISTING FACILITIES, SHOULD DAMAGE OCCUR, IT WILL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR DAMAGE TO THE SATISFACTION OF THE OWNER OR INSPECTOR.
- ALL CONDUIT RUNS SHOWN ON THIS PLAN ARE SCHEMATIC IN NATURE. THE CONTRACTOR SHALL MAKE SURE THAT ALL CONDUIT, ETC. FALLS WITHIN THE CONSTRUCTION AREA/RIGHT OF WAY. (THIS INCLUDES MAINTAINING ALL REQUIRED CLEARANCES.)
- WHEN CROSSING PATHWAYS OR SIDEWALKS, CONTRACTOR SHALL BORE UNDER EXISTING CONCRETE WALKS AND SAWCUT ASPHALT WALKS. ASPHALT WALKS SHALL BE REPLACED IN KIND.

- CONTRACTOR SHALL GUARANTEE WORK INSTALLED UNDER THE CONTRACT TO BE FREE FROM DEFECTIVE WORKMANSHIP AND MATERIALS, USUAL WEAR EXPECTED, AND SHOULD ANY SUCH DEFECTS DEVELOP WITHIN A PERIOD OF ONE YEAR ACCEPTANCE OF THE WORK BY THE OWNER, THE CONTRACTOR SHALL REPAIR AND/OR REPLACE ANY DEFECTIVE ITEMS AND DAMAGE RESULTING FROM FAILURE OF THESE ITEMS, AT NO EXPENSE WHATSOEVER TO THE OWNER.
- CONTRACTOR SHALL IDENTIFY SERVICE ENTRANCE SECTION MAIN SERVICE DISCONNECT(S) WITH 3/32-INCH THICK LAMINATED PHENOLIC TYPE NAMEPLATES WITH 1/4-INCH MINIMUM HEIGHT LETTERS. NAMEPLATE TO BE BLACK MATTE FINISH SURFACE WITH WHITE LETTER ENGRAVING, ATTACH NAMEPLATE TO THE OUTSIDE PANEL FACE WITH TWO STAINLESS STEEL SELF-TAPPING SCREWS. NAMEPLATE SHALL READ "SERVICE DISCONNECT" PER NEC ARTICLE 230.70(9).
- ALL CIRCUITS SHALL BE LEGIBLY IDENTIFIED AT THE PANEL, JUNCTION BOXES AND AT ALL EQUIPMENT IN A PERMANENT MANNER (I.E. ETCHED PLATES, CONDUCTOR TAG, PERMANENT MARKER, ETC.) THE LABELING SHALL INCLUDE PANEL CIRCUIT NUMBER, "TO" AND "FROM" IDENTIFICATION, AND MARKED "SPARE" WHERE APPLICABLE.
- CONTRACTOR SHALL TEST ELECTRICAL SYSTEM FOR SHORT CIRCUITS AND MEGGER TEST FEEDERS AND BRANCH CIRCUIT WIRING. INSURE LOW IMPEDANCE GROUND PATH SYSTEM. PERFORM MPOUT TESTING WHEN REQUIRED BY LOCAL JURISDICTION.
- ALL CONDUIT AND J-BOXES SHOWN SHALL BE CONCEALED WHEN POSSIBLE, WHEN NOT POSSIBLE, CONDUIT AND J-BOXES MAY BE SURFACE MOUNTED WITH PERMISSION OF THE OWNER OR OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL COORDINATE ALL EQUIPMENT CONNECTIONS WITH EQUIPMENT SUPPLIER PRIOR TO ROUGH-IN. PROVIDE ADDITIONAL FUSED DISCONNECT SWITCHES AND CONTROLS IF OVERCURRENT PROTECTION OR CONTROLS IS NOT INTEGRAL WITH UNITS.
- ALL EQUIPMENT SHALL BE FUSE SIZED PER MANUFACTURERS RECOMMENDATIONS AND ALL APPROVAL.
- ELECTRICAL DEVICES, DISCONNECT SWITCHES, ETC., SHALL BE SUPPORTED INDEPENDENT OF AND ISOLATED FROM EQUIPMENT VIBRATIONS.
- ALL OUTDOOR ELECTRICAL EQUIPMENT SHALL BE NEMA-3R OR NEMA-4 ENCLOSURES.
- ALL POLE LIGHTS SHALL BE PROVIDED WITH A TWO POLE FUSE HOLDER BUSBARN #100X OR A SINGLE POLE FUSE HOLDER BUSBARN #100X OR EQUAL FOR INLINE FUSING, PROVIDE A FUSING IN FUSHOLDER.
- CONTRACTOR TO INSTALL PULL BOX ADJACENT TO EACH PATHWAY, AREA AND PARKING LOT LIGHT, SEE PULL BOX INSTALLATION DETAIL. PULL BOXES MAY NOT BE SHOWN AT ALL LOCATIONS ON PLANS.
- PRIOR TO POURING THE POLE BASES OR COVERING ANY ELECTRICAL CONDUITS, CONTACT THE INSPECTION DEPARTMENT 24 HOURS IN ADVANCE FOR APPROVAL.
- MATERIALS SHALL BE NEW AND OF THE BEST QUALITY WITH MANUFACTURER'S NAME PRINTED THEREON. MATERIALS SHALL BE MANUFACTURED IN ACCORDANCE WITH NEMA, ANSI, UNDERWRITERS LABORATORY OR OTHER APPLICABLE STANDARDS AND RATED FOR HEAVY DUTY SERVICE.
- ALL WIRING DEVICES SHALL BE SPECIFICATION GRADE. ALL 15 AND 20 AMP, 125 AND 250 VOLT, NONLOCKING RECEPTACLES INSTALLED OUTDOORS SHALL BE LISTED WEATHER-RESISTANT TYPE. ALL WEATHERPROOF WHILE IN-USE RECEPTACLE COVERS SHALL BE METAL.
- SELECTION OF MATERIALS SHALL BE IN STRICT ACCORDANCE WITH THE DRAWINGS AND/OR SPECIFICATIONS. THE USE OF MANUFACTURER'S NAME, MODEL, AND NUMBER IS INTENDED TO ESTABLISH STYLE, QUALITY, APPEARANCE, USEFULNESS, AND BID PRICE. CONTRACTOR SHALL SUBMIT TO THE OWNER OR OWNER'S REPRESENTATIVE FOR REVIEW AND APPROVAL (PRIOR TO ORDERING MATERIALS) COPIES OF EQUIPMENT SHOP DRAWINGS AS FOLLOWS: 1) LIGHT FIXTURES, 2) POLES, 3) POLE BASES, 4) SERVICE ENTRANCE SECTION, 5) ELECTRICAL EQUIPMENT, 6) DISCONNECT SWITCHES, 7) TIME CLOCKS AND OTHER CONTROLS, 8) LIGHTING CONTROLS AND 9) PULL BOXES. AT THE TIME OF EACH SUBMITTAL, THE CONTRACTOR SHALL DEFINE AND DELINEATE IN WRITING ANY DEVIATIONS FROM THE CONTRACT DOCUMENTS. THE REVIEW WILL BE ONLY FOR CONFORMANCE WITH THE DESIGN CONCEPT OF THE WORK AND FOR COMPLIANCE WITH THE INFORMATION CONTAINED IN THE CONTRACT DOCUMENTS. THE REVIEW SHALL NOT INDICATE REVIEW OF THE ASSEMBLY IN WHICH THE ITEM FUNCTIONS. REVIEW BY THE OWNER OR OWNER'S REPRESENTATIVE WILL NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS IN THE SUBMITTALS NOR FROM HIS RESPONSIBILITY FOR COMPLYING WITH THE CONTRACT DOCUMENTS.
- THE SUBMITTALS SHALL BE NEATLY GROUPED AND ORGANIZED. PERTINENT INFORMATION SHALL BE HIGHLIGHTED, AND THE SPECIFIC PRODUCT SHALL BE IDENTIFIED. ALL SUBMITTALS SHALL BE COMPLETE, AND PRESENTED IN ONE PACKAGE. THE SUBMITTAL SHALL INCLUDE A COMPLETE LIST OF THE EQUIPMENT AND MATERIALS, INCLUDING THE MANUFACTURER'S NAME, PRODUCT SPECIFICATION, DESCRIPTIVE DATA, TECHNICAL LITERATURE, PERFORMANCE CHARTS, CATALOG COPIES, INSTALLATION INSTRUCTIONS, AND SPARE PART RECOMMENDATIONS FOR EACH DIFFERENT ITEM OF THE EQUIPMENT SPECIFIED.
- ALL CABLE SPLICES SHALL BE MADE USING SEALED CONNECTORS OR SEALED BRANCH CONNECTORS FOR BRANCHES. WIRE NUTS SHALL NOT BE USED FOR ANY BRANCHED WIRING. ALL ABOVE GRADE LV CABLE SHALL BE INSTALLED IN CONDUIT.



## SHEET INDEX

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SHEET SE3	SITE ELECTRICAL PLAN
SHEET SE4	SITE ELECTRICAL PLAN
SHEET SE5	SITE ELECTRICAL PLAN
SHEET SE6	SITE ELECTRICAL PLAN
SHEET SE7	SITE ELECTRICAL PLAN
SHEET SE8	SITE ELECTRICAL DETAILS
SHEET SE9	SITE ELECTRICAL DETAILS
SHEET SE10	SITE ELECTRICAL DETAILS
SHEET SE11	SITE ELECTRICAL DETAILS
SHEET SE12	SITE ELECTRICAL DETAILS

NO. OF ORO VALLEY DEVELOPMENT REVIEW AND INSPECTION PLAN SHEETS  
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## PHASE 1 - OUTDOOR LIGHTING CALCULATIONS

BASED ON ORO VALLEY ZONING CODE, TABLE 27-5, PROJECT IS LOCATED IN LIGHTING AREA E2a AND IS ALL RESIDENTIAL ZONING. OPTION III WAS USED FOR THIS CALCULATION.

LIGHT FIXTURE DESCRIPTION	QUANTITY	LUMENS	BLOCK 1		BLOCK 2		BLOCK 3		BLOCK 4		INFRASTRUCTURE		COMMUNITY PARK		TOTAL
			QUANTITY	LUMENS	QUANTITY	LUMENS	QUANTITY	LUMENS	QUANTITY	LUMENS	QUANTITY	LUMENS	QUANTITY	LUMENS	
S A-50W LED AREA LIGHT-TYPE T2	2	5272	0	0	0	0	0	0	0	0	0	0	2	10544	10544
S B-50W LED AREA LIGHT-TYPE T3	7	5374	0	0	0	0	0	0	0	0	0	0	7	37618	37618
S C-50W LED AREA LIGHT-TYPE SL4	1	5105	0	0	0	0	0	0	0	0	0	0	1	5105	5105
S D-50W LED AREA LIGHT-TYPE SLR	1	4722	0	0	0	0	0	0	0	0	0	0	1	4722	4722
S E-42W CFL BOLLARD LIGHT	14	3200	0	0	0	0	0	0	0	0	0	0	14	44800	44800
US F,KAN-4.5W LED ACCENT LIGHT	79	255	10	2550	16	1530	16	4080	16	4080	8	2040	23	5865	20145
US G,H,J-O-5.5W LED ACCENT LIGHT	225	355	30	10650	20	7100	31	11005	25	8875	63	22365	56	19880	79875
US J-5W LED STEP LIGHT	24	280	0	0	0	0	0	0	0	0	0	0	24	6720	6720
S P-20W LED RAMADA DOWNLIGHT	3	1801	1	1801	0	0	0	0	0	0	0	0	2	3602	5403
S Q-9W LED WALL SCORNE	2	673	0	0	0	0	0	0	0	0	0	0	2	1346	1346
US L-5W LED INGRADE UPLIGHT	38	300	0	0	0	0	0	0	0	0	38	11400	0	11400	
** S 9W RESTROOM WALL MNT "C" BY BLDG	6	540	0	0	0	0	0	0	0	0	0	0	6	3240	3240
** S 17W RESTROOM CEILING MNT "C" BY BLDG	1	1020	0	0	0	0	0	0	0	0	0	0	1	1020	1020
** S 48W PL POOL LIGHTS (4320L X 102W=432)	11	432	0	0	0	0	0	0	0	0	0	0	11	4752	4752
TOTAL PROPOSED UNSHIELDED LUMENS															126132
PROPOSED OPEN SPACE AREA IN ACRES															41.1930
TOTAL PROPOSED UNSHIELDED LUMENS PER ACRE															3062*
MAX ALLOWED UNSHIELDED LUMENS PER ACRE															4000
TOTAL PROPOSED SHIELDED LUMENS															110558
TOTAL SHIELDED LUMENS PER ACRE															2684
TOTAL PROPOSED LUMENS PER ACRE															6194*
MAX ALLOWED LUMENS PER ACRE															35000

COMMUNITY PARK SPECIAL NOTE:  
 LIGHT FIXTURES F, B, G2 ON THE BUILDING ELECTRICAL PLANS ARE FULL CUTOFF AND INSTALLED UNDER CANOPIES. THESE LIGHTS ARE EXEMPT PER SECTION 27.5.11 AND ARE NOT INCLUDED IN THIS CALCULATION.

- \* PROJECT IS IN COMPLIANCE WITH ORO VALLEY OUTDOOR LIGHTING CODE.
- S SHIELDED FIXTURES
- US UNSHIELDED FIXTURES
- \*\* FIXTURES INSTALLED WITH RESTROOM/POOL PLANS (ONLY SHOWN HEREIN FOR OUTDOOR CALC)

Zoning Conditions:  
 Up lights, fixtures F,A,G,H,I & G-2 shall be installed with Internal Noncombustible Lumens (NCL) to shield lights from vehicles as detailed in the plans.  
 Up lighting: "visor" shall be aimed at the property line to ensure source is not visible from adjacent property as stated in plans.  
 All unshielded lights (up lights and wall lights): Timers shall be installed to ensure lights turn off at 5:00pm per plans (except per code).  
 Light fixtures near room/entry: House side, inside shall be installed as detailed on the plans on the fixtures that are shown for residential use.

ARIZONA BLUE STAINK  
 1000 N. 10TH AVENUE  
 SUITE 100  
 PHOENIX, AZ 85015  
 602-263-1100  
 1-800-545-4547  
 WWW.AZBLUESTAINK.COM

WRIGHT ENGINEERING  
 PROJECT NO:  
**15006**  
 DESIGN BY: C.J.G.  
 DRAWN BY: C.J.G.  
 CHECKED BY: ADK

**WRIGHT**  
 engineering corporation  
 ELECTRICAL ENGINEERING AND DESIGN  
 105 S. 10TH AVENUE, SUITE 100  
 PHOENIX, ARIZONA 85015  
 PHONE: 480.977.5877  
 WWW.WRIGHTENG.COM

PROJECT: TITLE  
**RANCHO VISTOSO-PHASE 1**  
**W. MOORE RD & N. RANCHO VISTOSO BLVD**  
**ELECTRICAL COVER SHEET**

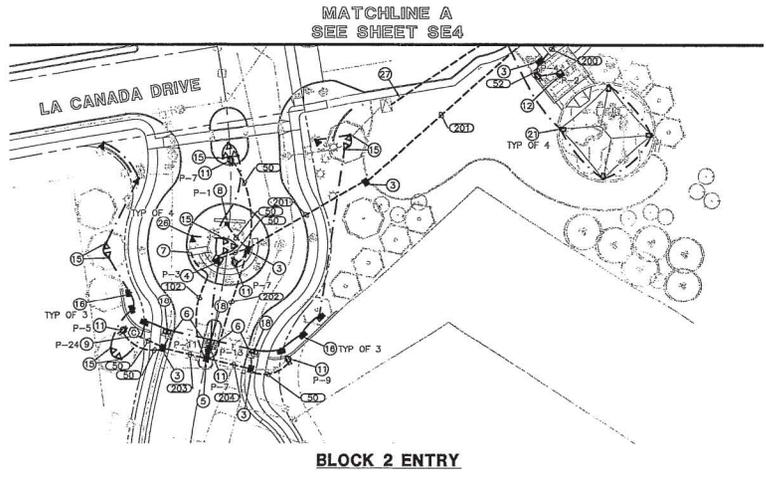
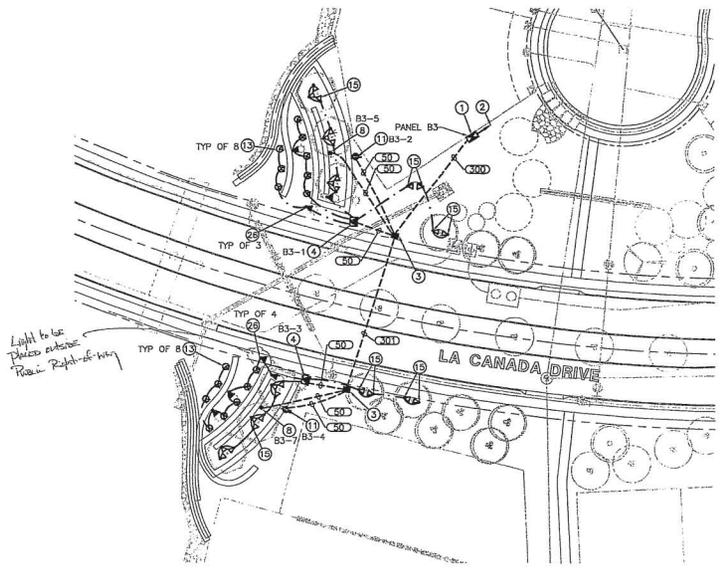
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APPROVED  
 [Signature]  
 DATE: 10-13-15

DRAWING NO:  
**SE1**  
 OF 12

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- ### LEGEND
- 100A 120/240V 1φ POWER PEDESTAL
  - 100A 120/208V 3φ SUB-PANEL
  - LOW VOLTAGE TRANSFORMER
  - CONCRETE PULL BOX
  - 42W CFL CONCRETE BOLLARD
  - RAMADA LIGHT
  - 120V GFI RECEPTACLE
  - ◆ INGRADE UPLIGHT
  - WALL SCONCE LIGHT
  - TREE UPLIGHT
  - CACTUS UPLIGHT
  - WALL ACCENT UPLIGHT
  - COLUMN ACCENT UPLIGHT
  - COLUMN UPLIGHT
  - CABION WALL UPLIGHT
  - RAMADA/SHADE STRUCTURE LIGHT
  - RAMADA DOWNLIGHT
  - STEP LIGHT
  - AREA LIGHT
  - SIGN JUNCTION BOX
  - GATE CONTROLLER
  - IRRIGATION CONTROLLER
  - UNDERGROUND CONDUIT
  - LOW VOLTAGE CABLE
  - FIRE HYDRANT
  - CONDUIT & WIRE TAG, SEE CONDUIT & WIRE TABLE
  - A-1 CIRCUIT NUMBER
  - HS HOUSE SIDE SHIELD

### CONSTRUCTION NOTES

- ① 100A 120/240V SINGLE PHASE METERED PEDESTAL, SEE PEDESTAL MOUNTED SERVICE DETAIL ON SHEET SE10.
- ② 2.5" SCH. 40 PVC CONDUIT TO TEP POINT OF SERVICE, CONTRACTOR SHALL VERIFY POINT OF SERVICE LOCATION & INSTALL CONDUIT TO THIS LOCATION.
- ③ #3 1/2 PULL BOX, INSTALL PER PULL BOX DETAIL ON SHEET SE11.
- ④ 300W INGRADE LOW VOLTAGE TRANSFORMER, COORDINATE EXACT LOCATION WITH LANDSCAPE ARCHITECT, TRANSFORMER SHALL BE DIRECT WIRED (NOT PLUG IN), SEE LOW VOLTAGE WIRING GUIDELINES ON SHEET SE11 FOR WIRE SIZING.
- ⑤ #5 PULL BOX, INSTALL PER PULL BOX DETAIL ON SHEET SE11.
- ⑥ GATE CONTROLLER, COORDINATE WITH GATE CONTRACTOR FOR EXACT LOCATION AND DETAILS, ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR CONDUIT, STUB UPS, CONDUCTORS, SPLICES AND OTHER NECESSARY COMPONENTS FOR A COMPLETE SYSTEM, INSTALL 1" CONDUIT FROM NEAREST PULL BOX TO THIS LOCATION.
- ⑦ GATE KEYPAD, COORDINATE WITH GATE CONTRACTOR FOR EXACT LOCATION AND DETAILS, ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR WIRING.
- ⑧ ILLUMINATED SIGN CONNECTION, INSTALL FLUSH MOUNTED NEMA 3R SIGN DISCONNECTING MEANS, MOUNT ON BACK OF WALL PER NEC 500.8, ALL CONDUIT SHALL BE CONCEALED IN WALL, COORDINATE WITH SIGN INSTALLER.
- ⑨ ELECTRICAL CONTRACTOR SHALL INSTALL POWER FEED TO IRRIGATION CONTROLLER & MAKE ALL 120V CONNECTIONS, COORDINATE WORK WITH IRRIGATION CONTRACTOR.
- ⑩ 100A 120/208V THREE PHASE WALL MOUNTED SUB-PANEL P INSTALLED AS PART OF POOL BUILDING, SEE WALL MOUNTED SERVICE DETAIL ON SHEET SE4.
- ⑪ 20A GFCI GROUND MOUNTED RECEPTACLE WITH METAL WEATHER PROOF WHILE IN USE COVER, SEE DETAIL ON SHEET SE11.
- ⑫ RAMADA LIGHT TYPE P AND RECEPTACLE, SEE RAMADA ELECTRICAL DETAIL SHEET SE12.
- ⑬ INGRADE ENTRY UPLIGHT, TYPE L, SEE INGRADE ENTRY UPLIGHT DETAIL ON SHEET SE12, COORDINATE WITH LANDSCAPE ARCHITECT FOR FINAL PLACEMENT AND AIMING.
- ⑭ WALL SCONCE LIGHT, TYPE Q, CENTER FIXTURE 10" FROM TOP OF WALL.
- ⑮ TREE UPLIGHT, TYPE H, SEE DETAIL ON SHEET SE11, COORDINATE WITH LANDSCAPE ARCHITECT FOR FINAL TREE LOCATION AND AIMING, NOTE THAT SPECIMAN TREES AND OTHER SELECT TREES HAVE (S) UPLIGHTS ARRANGED AS SHOWN ON PLANS, ALL OTHER TREES WILL HAVE (2).
- ⑯ WALL ACCENT UPLIGHT, TYPE G, SEE DETAIL ON SHEET SE11, COORDINATE WITH LANDSCAPE ARCHITECT FOR FINAL PLACEMENT AND AIMING.
- ⑰ COLUMN ACCENT UPLIGHT, TYPE F, SEE DETAIL ON SHEET SE11, COORDINATE WITH LANDSCAPE ARCHITECT FOR FINAL PLACEMENT AND AIMING.
- ⑱ COLUMN UPLIGHT, TYPE M, SEE DETAIL ON SHEET SE11, COORDINATE WITH LANDSCAPE ARCHITECT FOR FINAL PLACEMENT AND AIMING.
- ⑲ CABION WALL UPLIGHT, TYPE N, SEE DETAIL ON SHEET SE11, COORDINATE WITH LANDSCAPE ARCHITECT FOR FINAL PLACEMENT AND AIMING.
- ⑳ BOLLARD LIGHT, TYPE E, CENTERED 18" FROM EDGE OF SIDEWALK, SEE BOLLARD LIGHT DETAIL SHEET SE12.
- ㉑ PAVILION/TOT LOT LIGHT, TYPE I, SEE DETAILS ON SHEET SE5 & SE12, COORDINATE WITH LANDSCAPE ARCHITECT FOR FINAL PLACEMENT AND AIMING, TOT LOT LIGHTS SHALL BE AIMED DOWNWARD, PAVILION LIGHTS SHALL BE AIMED UPWARD FOR INDIRECT LIGHTING EFFECT.
- ㉒ RAMADA DOWNLIGHT, TYPE O, SEE DETAIL ON SHEET SE5, COORDINATE WITH LANDSCAPE ARCHITECT FOR FINAL PLACEMENT AND AIMING.
- ㉓ STEP LIGHT, TYPE J, SEE DETAIL ON SHEET SE11.
- ㉔ AREA LIGHT ON A 30" RAISED FOUNDATION WITH A 15" MOUNTING HEIGHT, SEE DETAIL ON SHEET SE12.
- ㉕ AREA LIGHT WITH DOUBLE ARM ON A 30" RAISED FOUNDATION WITH A 15" MOUNTING HEIGHT, SEE DETAIL ON SHEET SE12.
- ㉖ CACTUS UPLIGHT, TYPE K, PER DETAIL ON SHEET SE11, COORDINATE WITH LANDSCAPE ARCHITECT FOR EXACT CACTUS TO BE UPLIGHTED, LOCATIONS AND QUANTITIES ARE APPROXIMATE.
- ㉗ CONTRACTOR SHALL INSTALL 2 PARALLEL SETS OF 2.5" CONDUIT WITH (4) AL #250KCMIL IN EACH SET FROM TEP TRANSFORMER TO POOL RESTROOM BUILDING SERVICE, COORDINATE WITH TEP AND POOL BUILDING ELECTRICAL CONTRACTOR TO MAKE CONNECTIONS, ALL MATERIALS, INSTALLATION, AND SPECIFICATIONS PER TEP REQUIREMENTS.

TOWN OF ORO VALLEY DEVELOPMENT SERVICES  
 SUBMITTALS PERMISSIBLE IN THE  
 CITY OF ORO VALLEY  
 PERMITS DIVISION  
 1000 N. GARDEN ST. ORO VALLEY, AZ 85163  
 (520) 833-1100  
 WWW.OROVALLEYAZ.GOV



WRIGHT ENGINEERING  
 PROJECT NO:  
**15006**  
 DESIGN BY: CJG  
 DRAWN BY: CJG  
 CHECKED BY: ADK

**WRIGHT** ENGINEERING CORPORATION  
 ELECTRICAL ENGINEERING AND DESIGN  
 185 EAST CHILTON DRIVE • CHANDLER, ARIZONA 85225  
 PHONE: 480-948-0700  
 WWW.WRIGHTENG.COM

PROJECT: TITLE:

ORO VALLEY, ARIZONA  
**RANCHO VISTOSO-PHASE 1**  
 W. MOORE RD & N. RANCHO VISTOSO BLVD  
**SITE ELECTRICAL PLAN**

REG. DATE: 1 SUBMITTALS (REVISED) (DESCRIPTIONS)  
 1 APR 2015 1ST TOWN SUBMITTAL  
 2 OCT 2015 2ND TOWN SUBMITTAL

ARIZONA STATE BOARD OF ELECTRICAL ENGINEERS  
 LICENSE NO. 15006  
 C. J. GARDNER  
 Electrical Engineer  
 Expire 12-31-15

DRAWING NO:  
**SE2**  
 OF 12

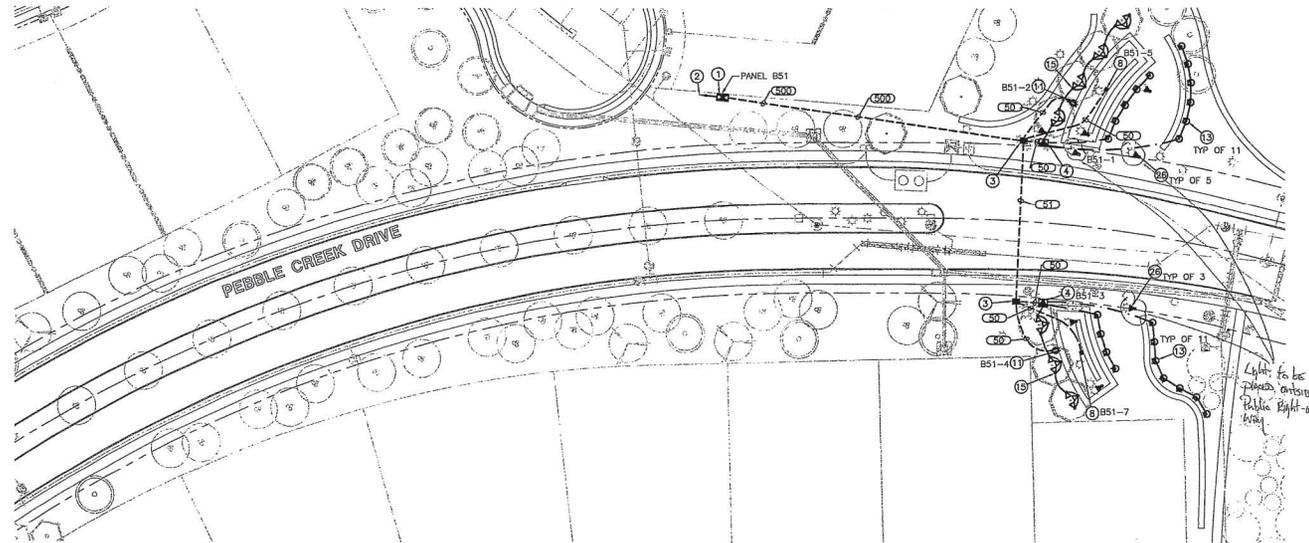
ARIZONA BLANK STAMP  
 No. 20,000,000,000  
 0256  
 DATE: 8/11/07  
 800-263-1100  
 1-800-STAKE-IT  
 (credit: security: safety)



THESE DRAWINGS AND SPECIFICATIONS ARE THE SOLE PROPERTY OF WRIGHT ENGINEERING CORPORATION AND MAY NOT BE REPRODUCED OR MODIFIED FOR ANY USE WITHOUT THE EXPRESS WRITTEN PERMISSION OF WRIGHT ENGINEERING CORPORATION.

**CONSTRUCTION NOTES**

- 1 100A 120/240V SINGLE PHASE METERED PEDESTAL. SEE PEDESTAL MOUNTED SERVICE DETAIL ON SHEET SE10.
- 2 2.5" SCH. 40 PVC CONDUIT TO TEP POINT OF SERVICE. CONTRACTOR SHALL VERIFY POINT OF SERVICE LOCATION & INSTALL CONDUIT TO THIS LOCATION.
- 3 #3 1/2 PULL BOX. INSTALL PER PULL BOX DETAIL ON SHEET SE11.
- 4 300W INGRADE LOW VOLTAGE TRANSFORMER. COORDINATE EXACT LOCATION WITH LANDSCAPE ARCHITECT. TRANSFORMER SHALL BE DIRECT WIRED (NOT PLUG IN). SEE LOW VOLTAGE WIRING GUIDELINES ON SHEET SE11 FOR WIRE SIZING.
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- 7 GATE KEYPAD. COORDINATE WITH GATE CONTRACTOR FOR EXACT LOCATION AND DETAILS. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR WIRING.
- 8 ILLUMINATED SIGN CONNECTION. INSTALL FLUSH MOUNTED NEMA 3R SIGN DISCONNECTING MEANS, MOUNT ON BACK OF WALL PER NEC 800.6. ALL CONDUIT SHALL BE CONCEALED IN WALL. COORDINATE WITH SIGN INSTALLER.
- 9 ELECTRICAL CONTRACTOR SHALL INSTALL POWER FEED TO IRRIGATION CONTROLLER & MAKE ALL 120V CONNECTIONS. COORDINATE WORK WITH IRRIGATION CONTRACTOR.
- 10 100A 120/208V THREE PHASE WALL MOUNTED SUB-PANEL P INSTALLED AS PART OF POOL BUILDING. SEE WALL MOUNTED SERVICE DETAIL ON SHEET SE9.
- 11 20A GFCI GROUND MOUNTED RECEPTACLE WITH METAL WEATHER PROOF WHILE IN USE COVER. SEE DETAIL ON SHEET SE11.
- 12 RAMADA LIGHT TYPE P AND RECEPTACLE. SEE RAMADA ELECTRICAL DETAIL SHEET SE12.
- 13 INGRADE ENTRY UPLIGHT, TYPE L. SEE INGRADE ENTRY UPLIGHT DETAIL ON SHEET SE12. COORDINATE WITH LANDSCAPE ARCHITECT FOR FINAL PLACEMENT AND AIMING.
- 14 WALL SCONCE LIGHT, TYPE O. CENTER FIXTURE 10" FROM TOP OF WALL.
- 15 TREE UPLIGHT, TYPE H. SEE DETAIL ON SHEET SE11. COORDINATE WITH LANDSCAPE ARCHITECT FOR FINAL TREE LOCATION AND AIMING. NOTE THAT SPECIMAN TREES AND OTHER SELECT TREES HAVE (3) UPLIGHTS ARRANGED AS SHOWN ON PLANS; ALL OTHER TREES WILL HAVE (2).
- 16 WALL ACCENT UPLIGHT, TYPE G. SEE DETAIL ON SHEET SE11. COORDINATE WITH LANDSCAPE ARCHITECT FOR FINAL PLACEMENT AND AIMING.
- 17 COLUMN ACCENT UPLIGHT, TYPE F. SEE DETAIL ON SHEET SE11. COORDINATE WITH LANDSCAPE ARCHITECT FOR FINAL PLACEMENT AND AIMING.
- 18 COLUMN UPLIGHT, TYPE M. SEE DETAIL ON SHEET SE11. COORDINATE WITH LANDSCAPE ARCHITECT FOR FINAL PLACEMENT AND AIMING.
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- 22 RAMADA DOWNLIGHT, TYPE O. SEE DETAIL ON SHEET SE5. COORDINATE WITH LANDSCAPE ARCHITECT FOR FINAL PLACEMENT AND AIMING.
- 23 STEP LIGHT, TYPE J. SEE DETAIL ON SHEET SE11.
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- 27 CONTRACTOR SHALL INSTALL 2 PARALLEL SETS OF 2.5" CONDUIT WITH (4) #4 ALUMINUM IN EACH SET FROM TEP TRANSFORMER TO POOL RESTROOM BUILDING SERVICE. COORDINATE WITH TEP AND POOL BUILDING ELECTRICAL CONTRACTOR TO MAKE CONNECTIONS. ALL MATERIALS, INSTALLATION, AND SPECIFICATIONS PER TEP REQUIREMENTS.



**LEGEND**

- 100A 120/240V 1# POWER PEDESTAL
- 100A 120/208V 3# SUB-PANEL
- LOW VOLTAGE TRANSFORMER
- CONCRETE PULL BOX
- 42W CFL CONCRETE BOLLARD
- RAMADA LIGHT
- 120V GFI RECEPTACLE
- INGRADE UPLIGHT
- WALL SCONCE LIGHT
- TREE UPLIGHT
- CACTUS UPLIGHT
- WALL ACCENT UPLIGHT
- COLUMN ACCENT UPLIGHT
- COLUMN UPLIGHT
- GABION WALL UPLIGHT
- RAMADA/SHADE STRUCTURE LIGHT
- RAMADA DOWNLIGHT
- STEP LIGHT
- AREA LIGHT
- SIGN JUNCTION BOX
- GATE CONTROLLER
- IRRIGATION CONTROLLER
- UNDERGROUND CONDUIT
- LOW VOLTAGE CABLE
- FIRE HYDRANT
- CONDUIT & WIRE TAG, SEE CONDUIT & WIRE TABLE
- A-1 CIRCUIT NUMBER
- HSS HOUSE SIDE SHIELD

FORM OF OFFICIAL ENGINEERING CONTRACT  
 ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED  
 DATE 08/20/2013 BY 60324 UCBAW/STW/STW  
 2 OCT 2013 10:00 AM TOWN SUBMITTAL  
 SPECIAL CONTRACT



ARIZONA BLUE STAKE  
 100% BLUE STAKE  
 3/4" DIA 311 or  
 3/8" DIA 311 or  
 1-800-STAKE-TT  
 (PHOTO: BUREAU OF SURVEY)

WRIGHT ENGINEERING  
 PROJECT NO:  
**15006**  
 DESIGN BY: CJO  
 DRAWN BY: CJO  
 CHECKED BY: ADK

**WRIGHT**  
 ENGINEERING CORPORATION  
 ELECTRICAL ENGINEERING AND DESIGN  
 185 EAST CHILTON DRIVE • CHANDLER, ARIZONA 85225  
 PHONE: 480.497.1807  
 WWW.WRIGHTENR.COM

PROJECT TITLE:  
**ORO VALLEY, ARIZONA  
 RANCHO VISTOSO-PHASE 1  
 W. MOORE RD & N. RANCHO VISTOSO BLVD  
 SITE ELECTRICAL PLAN**

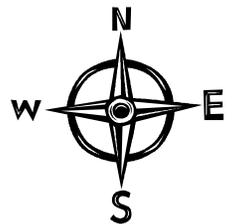
REV.	DATE	BY	DESCRIPTION
1	08/20/2013	CJO	ISSUE FOR PERMITS
2	08/20/2013	CJO	TOWN SUBMITTAL

WRIGHT ENGINEERING CORPORATION  
 185 EAST CHILTON DRIVE  
 CHANDLER, ARIZONA 85225  
 480.497.1807

DRAWING NO:  
**SE7**  
 OF 12

15006.DWG 15006-Rev00a 08/20/2013 10:00 AM TOWN SUBMITTAL

# EXHIBIT "B"



## LOCATION MAP CENTER POINTE VISTOSO (A.K.A. MARACAY AT VISTOSO)

LICENSE AGREEMENT  
LA CANADA DRIVE AND PEBBLE CREEK DRIVE



## **Town Council Regular Session**

Item # G.

**Meeting Date:** 06/01/2016

**Requested by:** Joshua Potter

**Submitted By:** Joshua Potter, Development Infrastructure Services

**Department:** Development Infrastructure Services

---

### **Information**

#### **SUBJECT:**

Resolution No. (R)16-24, authorizing and approving easements granted by Maracay 91, LLC to the Town of Oro Valley for the purposes of construction and maintenance of drainage facilities located within the La Cañada Drive and Pebble Creek Drive right-of-ways

#### **RECOMMENDATION:**

Staff recommends approval.

#### **EXECUTIVE SUMMARY:**

The easements are shown in Exhibit "A" and will be granted to the public for access and maintenance of drainage facilities located within the La Cañada Drive and Pebble Creek Drive right-of-ways. Some of the drainage facilities extend beyond the limits of the right-of-way. The easements are necessary to provide access to the facilities through the private development known as Center Pointe Vistoso (a.k.a. Maracay at Vistoso) for the purposes of construction and maintenance.

#### **BACKGROUND OR DETAILED INFORMATION:**

A system of storm drains, culverts, basins and channels were constructed as part of the Center Pointe Vistoso subdivision improvements. Portions of La Cañada Drive and Pebble Creek Drive (Public Streets) were completed as part of the development.

The drainage facilities are required to provide an overall drainage system for the project as shown in the approved project plans. Portions of the storm drains and culverts cross the right-of-way and extend into the common areas of the development. The purpose of the easements is to grant access to the Town of Oro Valley for maintenance and construction. The Town will be responsible for maintenance of the portions of the drainage facilities within the right-of-way upon acceptance of the constructed improvements. Maracay 91, LLC and/or its successors will be responsible for maintenance for all portions of the facilities located outside the limits of the public right-of-way.

**FISCAL IMPACT:**

N/A

**SUGGESTED MOTION:**

I MOVE to (approve/deny) Resolution No. (R)16-24, approving and accepting easements granted by Maracay 91, LLC to the Town of Oro Valley for the purposes of construction and maintenance of drainage facilities located within the La Cañada Drive and Pebble Creek Drive right-of-ways.

---

**Attachments**

(R)16-24 Center Pointe Vistoso Drainage Easements

Exhibit A

Exhibit B

---

**RESOLUTION NO. (R)16-24**

**A RESOLUTION OF THE MAYOR AND COUNCIL OF THE TOWN OF ORO VALLEY, ARIZONA, ACCEPTING AN EASEMENT GRANTED BY THE MARACAY 91, LLC., TO THE TOWN OF ORO VALLEY FOR THE CONSTRUCTION AND MAINTENANCE OF DRAINAGE IMPROVEMENTS OVER, UNDER AND ACROSS BLOCKS 1-5 AND COMMON AREA A OF MARACAY HOMES AT VISTOSO**

**WHEREAS**, the Maracay 91, LLC, desires to grant the Town a permanent drainage easement over, under and across Blocks 1-5 and Common Area A of Maracay Homes at Vistoso which grantor form and legal description of said Easement is attached hereto as Exhibit "A" and the Easement location maps are attached hereto as Exhibit "B"; and

**WHEREAS**, the easement is necessary to construct and maintain drainage improvements over, under and across Blocks 1-5 and Common Area A of Maracay Homes at Vistoso; and

**WHEREAS**, accepting an Easement to the property allows the public to legally access their property for the purpose of maintaining drainage facilities located within the public right of way; and

**WHEREAS**, it is in the best interest of the Town to accept an permanent drainage easement, attached hereto as Exhibit "A", of Maracay Homes at Vistoso to allow legal access to Blocks 1-5 and Common Area A, as described by Exhibit "A" for the purpose of maintaining drainage facilities located within the public right of way usage.

**NOW, THEREFORE BE IT RESOLVED** by the Mayor and Council of the Town of Oro Valley that an Easement, attached hereto as Exhibit "A", between the Town of Oro Valley and Maracay 91, LLC is hereby granted.

**PASSED AND ADOPTED** by the Mayor and Council of the Town of Oro Valley, Arizona this 1<sup>st</sup> day of June, 2016.

**TOWN OF ORO VALLEY**

---

Dr. Satish I. Hiremath, Mayor

**ATTEST:**

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Julie K. Bower, Town Clerk

\_\_\_\_\_  
Tobin Sidles, Legal Services Director

Date: \_\_\_\_\_

Date: \_\_\_\_\_

# EXHIBIT “A”

# EXHIBIT “B”

EXHIBIT "A"

When Recorded Mail To:  
The WLB Group, Inc.  
4444 E. Broadway Blvd.  
Tucson, AZ 85711

PERMANENT DRAINAGE EASEMENT

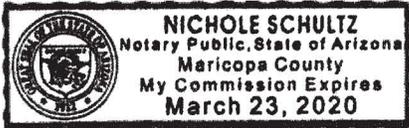
For valuable consideration, Maracay 91, LLC, ("Grantor"), does hereby grant to the Town of Oro Valley, a political subdivision of the State of Arizona, ("Grantee") an easement for the construction and maintenance of drainage improvements over, under and across the property described on the attached Exhibit "A" (the Property). Grantor hereby covenants that the existing contours of the above described land shall not be excavated, filled, or altered without prior written approval of the Town of Oro Valley Engineer.

Grantee shall have the right to construct and maintain improvements within the Property and to enter upon the Property for the purpose of maintaining drainage facilities located within the Public right-of-way. Maintenance of the drainage facilities within the easement and property, outside the limits of the Public right-of-way are the responsibility of the Grantor or their heirs, successors and assigns.

Grantor may use the Property for any purpose consistent with the actual use of this easement.

All grants, covenants and provisions herein shall be binding and inure to the benefit of the heirs, successors and assigns of the parties hereto.

IN WITNESS WHEREOF, Grantor has executed this easement this 25<sup>th</sup> day of April, 2016.



Maracay 91, LLC, an Arizona Limited Liability Company

By: [Signature] <sup>T. Lemon</sup>  
<sub>v.p. Land Acq. & Dev't</sub>  
Authorized Agent

STATE OF ARIZONA        )  
  ) ss  
COUNTY OF PIMA        )

This instrument was acknowledged before me, the undersigned authority, on this 25<sup>th</sup> day of APRIL 2016 by THOMAS H. LEMON as V.P. LAND ACQUISITIONS & DEV'T of Maracay 91, LLC.

[Signature]  
Notary Public

My Commission Expires:

MARCH 23, 2020



**LEGAL DESCRIPTION  
DRAINAGE AND MAINTENANCE EASEMENT**

Four parcels of land lying within Block 1 per the Block Plat of Maracay Homes at Vistoso as recorded in Sequence No. 20142480246, Pima County Records, located in Section 26, Township 11 South, Range 13 East, Gila and Salt River Meridian, Pima County, Arizona, further described as follows;

**EASEMENT 1**

**COMMENCING** at the Northwest corner of said Block 1 being the beginning of a non-tangent curve concave to the North on the South line of La Canada Drive as shown on said Block Plat;

**THENCE** along the North line of said Block 1, along the South line of said La Canada Drive, along the arc of said curve to left, having a radius of 973.15 feet, a central angle of  $0^{\circ}11'41''$ , with a radial bearing in of  $S 18^{\circ}12'47'' W$  and a radial bearing out of  $S 18^{\circ}01'06'' W$ , for an arc length of 3.31 feet to the **POINT OF BEGINNING**;

**THENCE** continue along Said South line, continuing along the arc of said curve to left, having a radius of 973.15 feet, a central angle of  $1^{\circ}10'39''$ , the chord of which bears  $S 72^{\circ}34'14'' E$ , a distance 20.00 feet, for an arc length of 20.00 feet to a point of non-tangency hereafter known as **POINT "A"**;

**THENCE** leaving said South line,  $S 17^{\circ}00'52'' W$ , a distance of 45.78 feet;

**THENCE**  $N 72^{\circ}59'08'' W$ , a distance of 12.64 feet to the West line of said Block 1;

**THENCE** along said West line,  $N 03^{\circ}56'44'' E$ , a distance of 32.53 feet;

**THENCE** leaving said West line,  $N 17^{\circ}00'52'' E$ , a distance of 14.24 feet to the **POINT OF BEGINNING**.

**EASEMENT 2**

**COMMENCING** at said **POINT "A"**, being the beginning of a non-tangent curve concave to the North on the South line of La Canada Drive as shown on said Block Plat;

**THENCE** continue along Said South line, continuing along the arc of said curve to left, having a radius of 973.15 feet, a central angle of  $25^{\circ}27'40''$ , the chord of which bears  $S 85^{\circ}53'23'' E$ , a distance 428.90 feet, for an arc length of 432.45 feet to a point of non-tangency;

**THENCE** continue along said South line, N 80°45'01" E, a distance of 32.35 feet to the **POINT OF BEGINNING**;

**THENCE** continue N 80°45'01" E, along said South line, a distance of 20.73 feet to a point hereafter known as **POINT "B"**;

**THENCE** leaving said South line, S 24°28'53" E, a distance of 52.98 feet;

**THENCE** S 65°31'07" W, a distance of 20.00 feet;

**THENCE** N 24°28'53" W, a distance of 58.42 feet to the **POINT OF BEGINNING**.

### EASEMENT 3

**COMMENCING** at said **POINT "B"** on the South line of La Canada Drive as shown on said Block Plat;

**THENCE** continue along said South line, N 80°45'01" E, a distance of 84.18 feet to the **POINT OF BEGINNING**;

**THENCE** continue N 80°45'01" E, along said South line, a distance of 20.28 feet to a point hereafter known as **POINT "C"**;

**THENCE** leaving said South line, S 00°17'54" W, a distance of 49.91 feet;

**THENCE** N 89°42'06" W, a distance of 20.00 feet;

**THENCE** N 00°17'54" E, a distance of 46.54 feet to the **POINT OF BEGINNING**.

### EASEMENT 4

**COMMENCING** at said **POINT "C"** on the South line of La Canada Drive as shown on said Block Plat;

**THENCE** continue along said South line, N 80°45'01" E, a distance of 373.97 feet to the **POINT OF BEGINNING**;

**THENCE** continue N 80°45'01" E, along said South line, a distance of 73.66 feet to the Northeast corner of said Block 1;

**THENCE** leaving said South line, S 09°14'59" E, along the East line of said Block 1, a distance of 70.00 feet;

September 11, 2015  
185050-MY-04-1003x

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**THENCE S 80°45'01" W, a distance of 73.66 feet;**

**THENCE N 09°14'59" W, a distance of 70.00 feet to the POINT OF BEGINNING.**

Prepared By:  
THE WLB GROUP, INC.

Peter D. Cote, RLS 44121



EXPIRES 3-31-2018

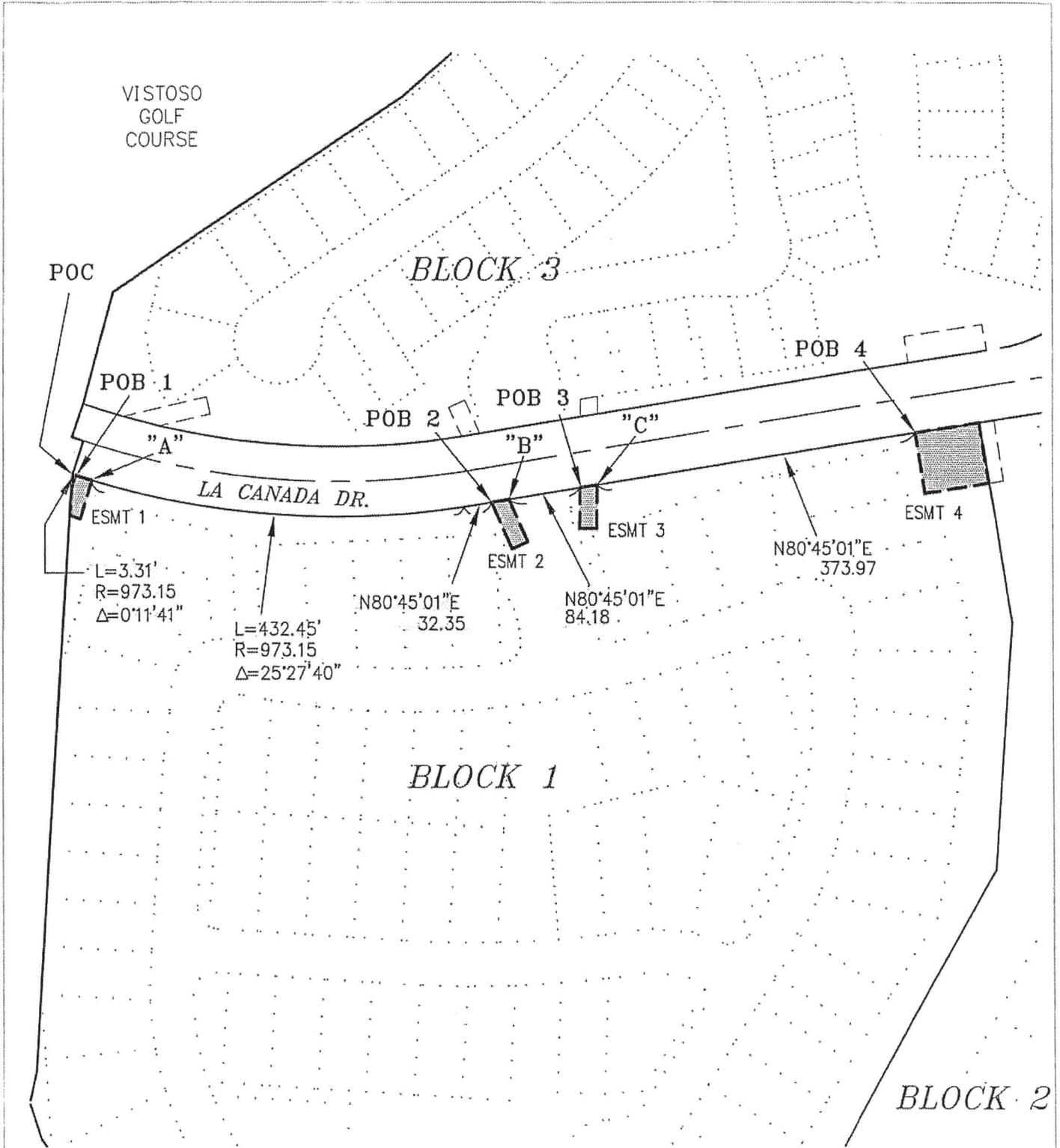


EXHIBIT TO ACCOMPANY DESCRIPTION OF  
PUBLIC DRAINAGE EASEMENT  
BLOCK 1 OF MARACAY HOMES AT VISTOSO  
Seq. No. 20142480246  
SECTION 26, T-11S, R-13E, G.S.R.M.,  
PIMA COUNTY, ARIZONA

1"=150'

The WLB Group Inc.

September 11, 2015  
185050-MY-04-1003x

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**LEGAL DESCRIPTION  
DRAINAGE AND MAINTENANCE EASEMENT**

A parcel of land lying within Block 2 per the Block Plat of Maracay Homes at Vistoso as recorded in Sequence No. 20142480246, Pima County Records, located in Section 26, Township 11 South, Range 13 East, Gila and Salt River Meridian, Pima County, Arizona, further described as follows;

**BEGINNING** at the Northwest corner of said Block 2 being on the South line of La Canada Drive as shown on said Block Plat;

**THENCE** along said South line, N 80°45'01" E, a distance of 16.34 feet;

**THENCE** leaving said South line, S 09°14'59" E, a distance of 70.00 feet;

**THENCE** S 80°45'01" W, a distance of 16.34 feet to the West line of said Block 2;

**THENCE** N 09°14'59" W, along said West line, a distance of 70.00 feet to the **POINT OF BEGINNING**.

Prepared By:  
THE WLB GROUP, INC.

Peter D. Cote, RLS 44121



EXPIRES 3-31-2018

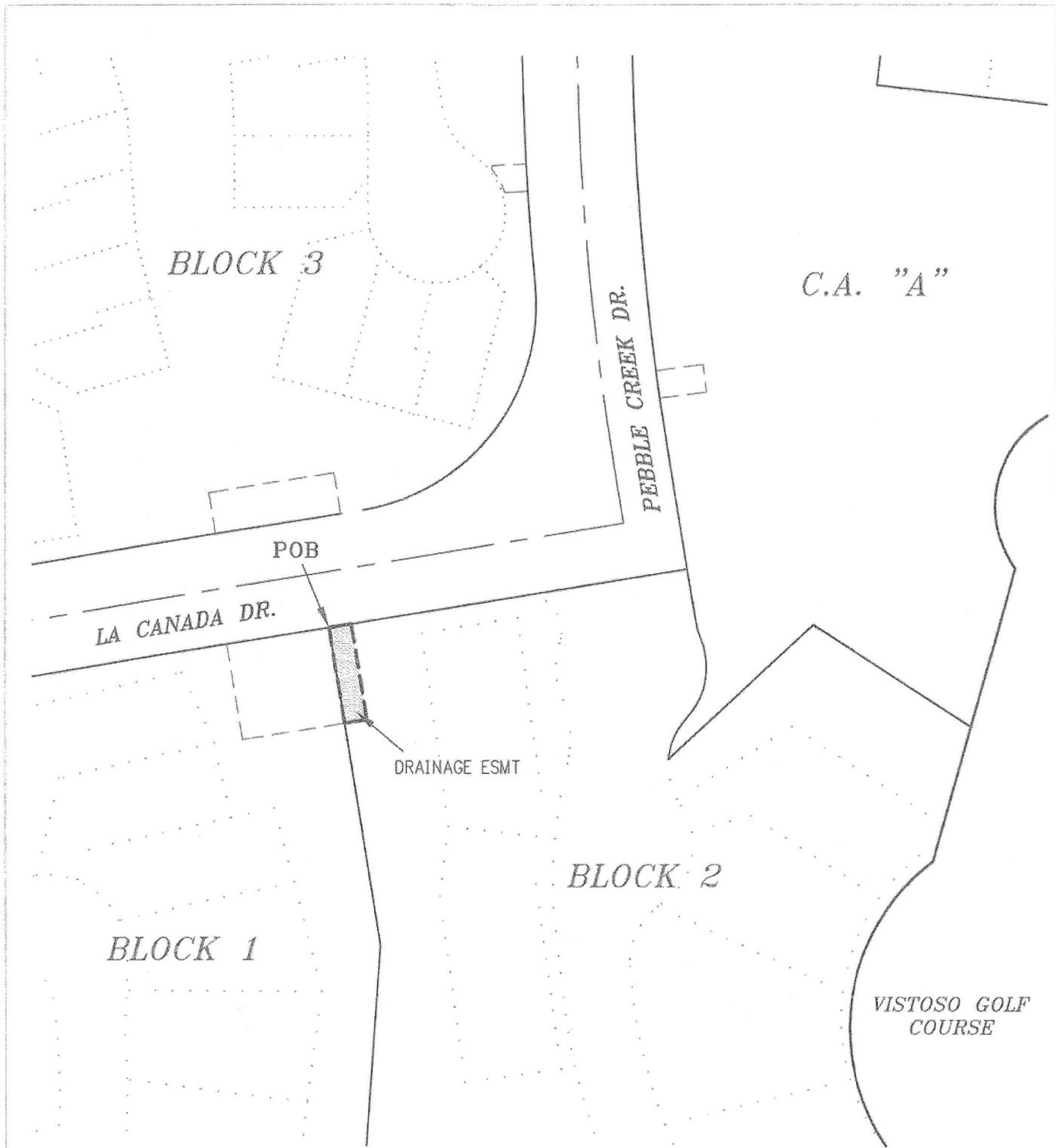
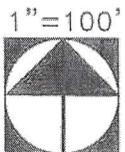


EXHIBIT TO ACCOMPANY DESCRIPTION OF  
 PUBLIC DRAINAGE EASEMENT  
 BLOCK 1 OF MARACAY HOMES AT VISTOSO  
 Seq. No. 20142480246  
 SECTION 26, T-11S, R-13E, G.S.R.M.,  
 PIMA COUNTY, ARIZONA





**LEGAL DESCRIPTION  
DRAINAGE AND MAINTENANCE EASEMENT**

Seven parcels of land lying within Block 3 per the Block Plat of Maracay Homes at Vistoso as recorded in Sequence No. 20142480246, Pima County Records, located in Section 26, Township 11 South, Range 13 East, Gila and Salt River Meridian, Pima County, Arizona, further described as follows;

**EASEMENT 1**

**COMMENCING** at Southwest corner of said Block 3 being the beginning of a non-tangent curve concave to the Northeast on the North line of La Canada Drive as shown on said Block Plat;

**THENCE** along the South line of said Block 3, along the North line of said La Canada Drive, along the arc of said curve to left, having a radius of 895.63 feet, a central angle of  $3^{\circ}04'52''$ , with a radial bearing in of  $S 19^{\circ}01'58'' W$  and a radial bearing out of  $S 15^{\circ}57'06'' W$ , for an arc length of 48.16 feet to the **POINT OF BEGINNING**;

**THENCE** continue along said North line, continuing along the arc of said curve to left, having a radius of 985.13 feet, a central angle of  $2^{\circ}46'50''$ , the chord of which bears  $S 72^{\circ}26'20'' E$ , a distance 43.46 feet, for an arc length of 43.47 feet to a point of non-tangency hereafter known as **POINT "G"**;

**THENCE** leaving said North line,  $N 77^{\circ}09'48'' E$ , a distance of 60.32 feet;

**THENCE**  $N 12^{\circ}50'12'' W$ , a distance of 20.00 feet;

**THENCE**  $S 77^{\circ}09'48'' W$ , a distance of 98.91 feet to the **POINT OF BEGINNING**.

**EASEMENT 2**

**COMMENCING** at said **POINT "G"**, being the beginning of a tangent curve concave to the North on the North line of La Canada Drive as shown on said Block Plat;

**THENCE** continue along Said North line, continuing along the arc of said curve to left, having a radius of 895.63 feet, a central angle of  $21^{\circ}41'19''$ , the chord of which bears  $S 87^{\circ}40'24'' E$ , a distance 337.01 feet, for an arc length of 339.03 feet to a point of non-tangency;

**THENCE** continue along said North line,  $N 80^{\circ}45'01'' E$ , a distance of 10.57 feet to the **POINT OF BEGINNING**;

**THENCE** continue N 80°45'01" E, along said North line, a distance of 20.73 feet to a point hereafter known as **POINT "H"**;

**THENCE** leaving said South line, N 24°28'53" W, a distance of 41.54 feet;

**THENCE** S 65°31'07" W, a distance of 20.00 feet;

**THENCE** S 24°28'53" E, a distance of 36.09 feet to the **POINT OF BEGINNING**.

### **EASEMENT 3**

**COMMENCING** at said **POINT "H"** on the North line of La Canada Drive as shown on said Block Plat;

**THENCE** continue along said North line, N 80°45'01" E, a distance of 119.42 feet to the **POINT OF BEGINNING**;

**THENCE** continue N 80°45'01" E, along said North line, a distance of 20.28 feet to a point hereafter known as **POINT "I"**;

**THENCE** leaving said North line, N 00°17'54" E, a distance of 19.68 feet to point on the Southerly line of Lot 1 of said Block 3;

**THENCE** S 80°45'01" W, along the Southerly line of said Lot 1, a distance of 15.83 feet;

**THENCE** leaving said Southerly line, S 80°06'48" W, a distance of 4.46 feet;

**THENCE** S 00°17'54" W, a distance of 19.63 feet to the **POINT OF BEGINNING**.

### **EASEMENT 4**

**COMMENCING** at said **POINT "I"** on the North line of La Canada Drive as shown on said Block Plat;

**THENCE** continue along said North line, N 80°45'01" E, a distance of 365.49 feet to the **POINT OF BEGINNING**;

**THENCE** continue N 80°45'01" E, along said North line, a distance of 90.00 feet to a point hereafter known as **POINT "J"**;

**THENCE** leaving said North line, N 09°14'59" W, a distance of 30.00 feet;

**THENCE** S 80°45'01" W, a distance of 90.00 feet;

**THENCE** S 09°14'59" E, a distance of 30.00 feet to the **POINT OF BEGINNING**.

**EASEMENT 5**

**COMMENCING** at said **POINT "J"** on the North line of La Canada Drive as shown on said Block Plat;

**THENCE** along said North line, N 80°45'01" E, a distance of 16.33 feet to the beginning of a tangent curve concave to the Northwest;

**THENCE** along said North line, along the arc of said curve to left, having a radius of 150.00 feet, a central angle of 86°16'26", the chord of which bears N 37°36'48" E, a distance 205.12 feet, for an arc length of 225.86 feet to a point of compound curvature on the West line of Pebble Creek Drive as shown on said Block Plat;

**THENCE** along Said West line, along the arc of said compound curve to right, having a radius of 2140.00 feet, a central angle of 1°49'09", the chord of which bears N 04°36'50" W, a distance 67.95 feet, for an arc length of 67.95 feet to the **POINT OF BEGINNING**;

**THENCE** continue along Said West line, continuing along the arc of said curve to right, having a radius of 2140.00 feet, a central angle of 00°32'08", the chord of which bears N 03°20'45" W, a distance 20.00 feet, for an arc length of 20.00 feet to a point hereafter known as **POINT "K"**;

**THENCE** leaving said West line, S 87°07'38" W, a distance of 24.88 feet;

**THENCE** S 02°52'22" E, a distance of 2.45 feet to the beginning of a non-tangent curve concave to the Southwest;

**THENCE** along the arc of said curve to right, having a radius of 51.00 feet, a central angle of 21°57'45", with a radial bearing in of N 50°04'44" E and a radial bearing out of N 72°41'49" E, for an arc length of 19.55 feet to a point of non-tangency;

**THENCE** N 87°07'38" E, a distance of 16.71 feet to the **POINT OF BEGINNING**.

**EASEMENT 6**

**COMMENCING** at said **POINT "K"** on the West line of Pebble Creek Drive as shown on said Block Plat;

**THENCE** along said West line, along the arc of said curve to right, having a radius of 2140.00 feet, a central angle of 13°10'08", the chord of which bears N 03°24'56" E, a distance 490.77 feet, for an arc length of 491.85 feet to a point of tangency;

**THENCE** continue along said West line, N 10°00'00" E, a distance of 235.21 feet to the **POINT OF BEGINNING**;

**THENCE** continue N 10°00'00" E, along said West line, a distance of 20.00 feet to a point hereafter known as **POINT "L"**;

**THENCE** leaving said West line, N 80°00'00" W, a distance of 49.14 feet;

**THENCE** S 10°00'00" W, a distance of 20.00 feet;

**THENCE** S 80°00'00" E, a distance of 49.14 feet to the **POINT OF BEGINNING**.

#### EASEMENT 7

**COMMENCING** at said **POINT "L"** on the West line of Pebble Creek Drive as shown on said Block Plat;

**THENCE** along said West line, N 10°00'00" E, a distance of 160.49 feet to the beginning of a tangent curve concave to the Southeast;

**THENCE** continue along said West line, along the arc of said curve to right, having a radius of 820.00 feet, a central angle of 16°09'00", the chord of which bears N 18°04'30" E, a distance 230.37 feet, for an arc length of 231.13 feet to the **POINT OF BEGINNING**;

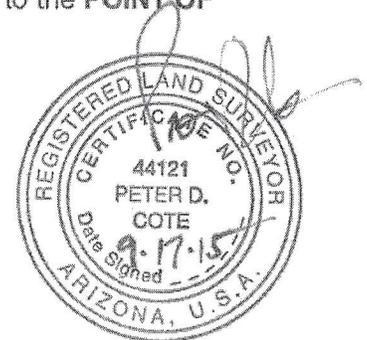
**THENCE** continue along said West line, continuing along the arc of said curve to right, having a radius of 820.00 feet, a central angle of 1°28'43", the chord of which bears N 26°53'21" E, a distance 21.16 feet, for an arc length of 21.16 feet to the Northeast corner of said Block 3;

**THENCE** N 62°22'17" W, along the North line of said Block 3, a distance of 18.61 feet;

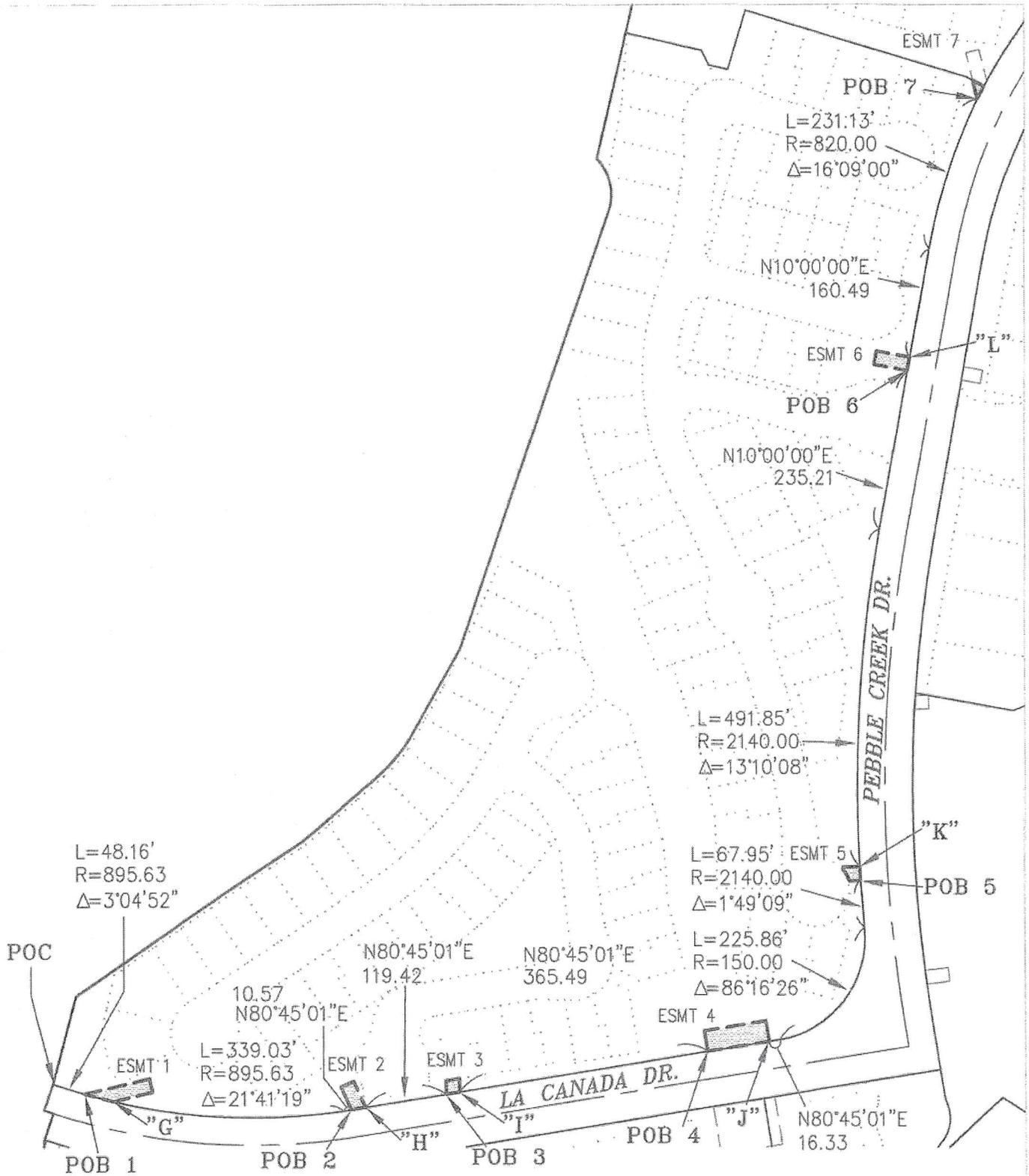
**THENCE** leaving said North line, S 14°07'12" E, a distance of 28.36 feet to the **POINT OF BEGINNING**.

Prepared By:  
THE WLB GROUP, INC.

Peter D. Cote, RLS 44121



EXPIRES 3-31-2018



**EXHIBIT TO ACCOMPANY DESCRIPTION OF  
 PUBLIC DRAINAGE EASEMENT  
 BLOCK 3 OF MARACAY HOMES AT VISTOSO  
 Seq. No. 20142480246  
 SECTION 26, T-11S, R-13E, G.S.R.M.,  
 PIMA COUNTY, ARIZONA**



1" = 100'



**LEGAL DESCRIPTION  
DRAINAGE AND MAINTENANCE EASEMENT**

Three parcels of land lying within Block 4 per the Block Plat of Maracay Homes at Vistoso as recorded in Sequence No. 20142480246, Pima County Records, located in Section 26, Township 11 South, Range 13 East, Gila and Salt River Meridian, Pima County, Arizona, further described as follows;

**EASEMENT 1**

**COMMENCING** at the Southwest corner of said Block 4, being the beginning of a non-tangent curve concave to the East on the East line of Pebble Beach Drive as shown on said Block Plat;

**THENCE** along the West line of said Block 4, along the East line of said Pebble Beach Drive, along the arc of said curve to right, having a radius of 2060.00 feet, a central angle of  $6^{\circ}15'37''$ , with a radial bearing in of  $N 86^{\circ}15'37'' W$  and a radial bearing out of  $N 80^{\circ}00'00'' W$ , for an arc length of 225.08 feet to a point of tangency;

**THENCE**  $N 10^{\circ}00'00'' E$ , along said West line a distance of 235.21 feet to the **POINT OF BEGINNING**;

**THENCE** continue  $N 10^{\circ}00'00'' E$ , continuing along said West line, a distance of 20.00 feet to point hereafter known as **POINT "E"**;

**THENCE** leaving said west line,  $S 80^{\circ}00'00'' E$ , a distance of 28.78 feet;

**THENCE**  $S 10^{\circ}00'00'' W$ , a distance of 20.00 feet;

**THENCE**  $N 80^{\circ}00'00'' W$ , a distance of 20.00 feet to the **POINT OF BEGINNING**.

**EASEMENT 2**

**COMMENCING** at aforementioned **POINT "E"**,

**THENCE**  $N 10^{\circ}00'00'' E$ , along the East line of Pebble Creek Drive, along the Westerly line of said Block 4, a distance of 160.49 feet to the beginning of a tangent curve concave to the Southeast;

**THENCE** continue along Said West line, along the arc of said curve to right, having a radius of 740.00 feet, a central angle of  $80^{\circ}00'00''$ , the chord of which bears  $N 50^{\circ}00'00'' E$ , a distance of 951.33 feet, for an arc length of 1033.23 feet to a point of tangency;

**THENCE**  $N 90^{\circ}00'00'' E$ , along the North line of said Block 4, a distance of 66.60 feet to the **POINT OF BEGINNING**;

**THENCE**  $N 90^{\circ}00'00'' E$ , along the South line of Pebble Creek Drive, along the North line of said Block 4, a distance of 3.00 feet to the beginning of a tangent curve concave to the South;

**THENCE** continue along Said North line, along the arc of said curve to right, having a radius of 655.00 feet, a central angle of  $1^{\circ}27'53''$ , the chord of which bears  $S 89^{\circ}16'03'' E$ , a distance of 17.00 feet, for an arc length of 17.00 feet to a point of non-tangency hereafter known as **POINT "F"**;

**THENCE** leaving said North line,  $S 00^{\circ}00'00'' E$ , a distance of 33.55 feet;

**THENCE**  $N 90^{\circ}00'00'' W$ , a distance of 20.00 feet;

**THENCE**  $N 00^{\circ}00'00'' W$ , a distance of 33.77 feet to the **POINT OF BEGINNING**.

### **EASEMENT 3**

**COMMENCING** at aforementioned **POINT "F"** being the beginning of a non-tangent curve concave to the Southwest on the Southerly line of Pebble Beach Drive as shown on said Block Plat;

**THENCE** along the Northerly line of said Block 4, along the Southerly line of said Pebble Beach Drive, along the arc of said curve to right, having a radius of 665.00 feet, a central angle of  $14^{\circ}28'21''$ , with a radial bearing in of  $N 01^{\circ}27'53'' E$  and a radial bearing out of  $N 15^{\circ}56'14'' E$ , for an arc length of 167.97 feet to the beginning of a non-tangent curve concave to the Southwest;

**THENCE** along the Northerly line of said Block 4, along the Southerly line of said Pebble Beach Drive, along the arc of said curve to right, having a radius of 660.00 feet, a central angle of  $0^{\circ}55'30''$ , with a radial bearing in of  $N 13^{\circ}26'05'' E$  and a radial bearing out of  $N 14^{\circ}21'36'' E$ , for an arc length of 10.66 feet to the **POINT OF BEGINNING**;

**THENCE** continue along the Northerly line of said Block 4, continuing along the arc of said curve to right, having a radius of 660.00 feet, a central angle of  $6^{\circ}25'50''$ , the chord of which bears  $S 72^{\circ}25'29'' E$ , a distance of 74.03 feet, for an arc length of 74.07 feet;

**THENCE** leaving said Northerly line,  $S 56^{\circ}45'07'' E$ , a distance of 63.10 feet;

**THENCE** S 33°14'53" W, a distance of 20.00 feet;

**THENCE** N 56°45'07" W, a distance of 134.38 feet to the **POINT OF BEGINNING**.

Prepared By:  
THE WLB GROUP, INC.

Peter D. Cote, RLS 44121



EXPIRES 3-31-2018

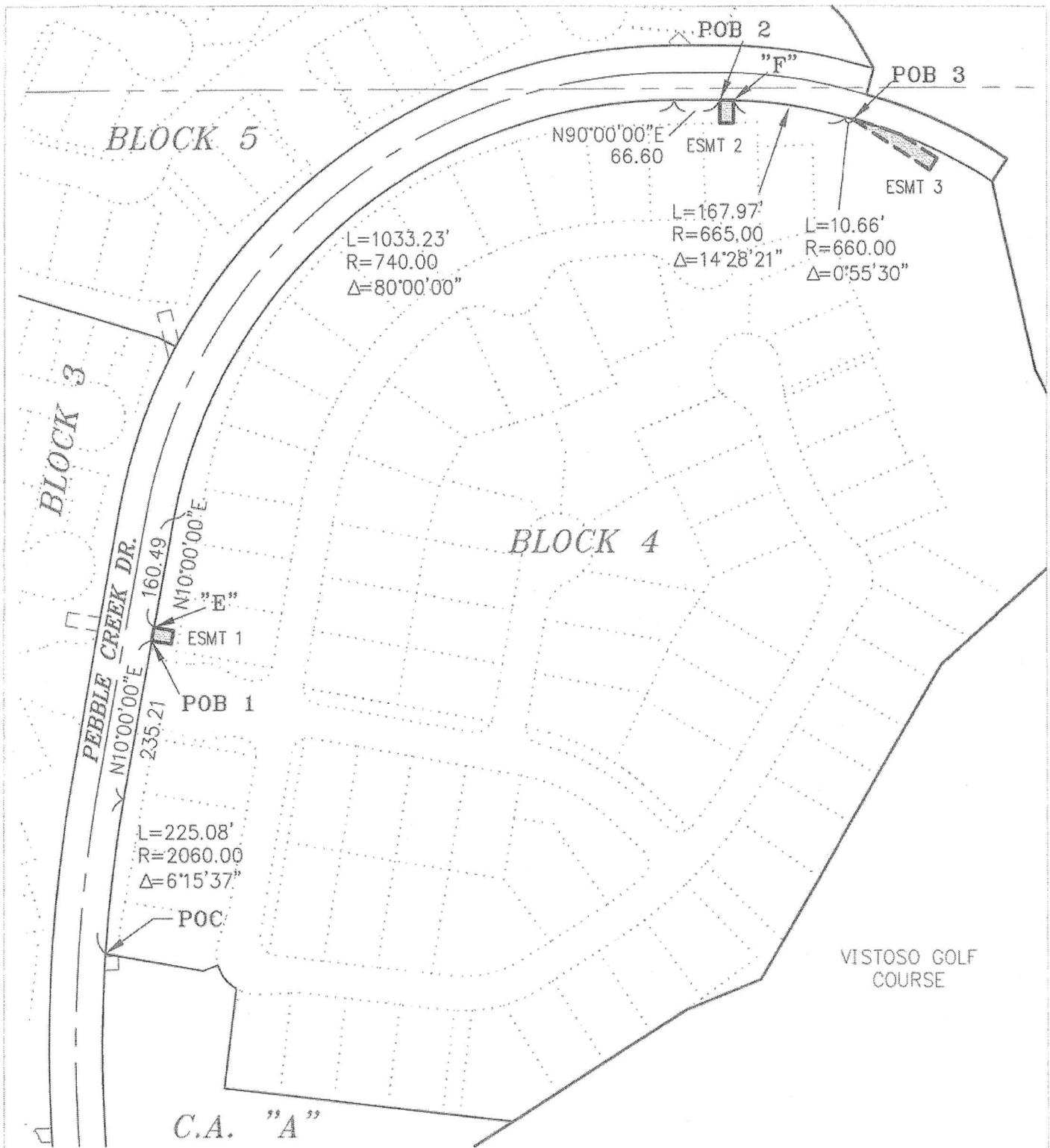
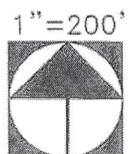


EXHIBIT TO ACCOMPANY DESCRIPTION OF  
 PUBLIC DRAINAGE EASEMENT  
 BLOCK 4 OF MARACAY HOMES AT VISTOSO  
 Seq. No. 20142480246  
 SECTION 26, T-11S, R-13E, G.S.R.M.,  
 PIMA COUNTY, ARIZONA





**LEGAL DESCRIPTION  
DRAINAGE AND MAINTENANCE EASEMENT**

Two parcels of land lying within Block 5 per the Block Plat of Maracay Homes at Vistoso as recorded in Sequence No. 20142480246, Pima County Records, located in Sections 23 & 26, Township 11 South, Range 13 East, Gila and Salt River Meridian, Pima County, Arizona, further described as follows;

**EASEMENT 1**

**BEGINNING** at Southeast corner of said Block 5 being the beginning of a non-tangent curve concave to the Southeast on the Northwesterly line of Pebble Creek Drive as shown on said Block Plat;

**THENCE** along said Northerly line, along the arc of said curve to right, having a radius of 820.00 feet, a central angle of  $0^{\circ}38'16''$ , the chord of which bears  $N 27^{\circ}56'51'' E$ , a distance 9.13 feet, for an arc length of 9.13 feet to a point hereafter called **POINT "M"**;

**THENCE** leaving said Northerly line,  $N 14^{\circ}07'12'' W$ , a distance of 46.71 feet;

**THENCE**  $S 75^{\circ}52'48'' W$ , a distance of 20.00 feet;

**THENCE**  $S 14^{\circ}07'12'' E$ , a distance of 41.10 feet to the Southerly line of said Block 5;

**THENCE**  $S 62^{\circ}22'17'' E$ , along said North line, a distance of 18.61 feet to the **POINT OF BEGINNING**.

**EASEMENT 2**

**COMMENCING** at said **POINT "M"**, being the beginning of a non-tangent curve concave to the Southeast on the Northwesterly line of Pebble Creek Drive as shown on said Block Plat;

**THENCE** along said Northerly line, along the arc of said curve to right, having a radius of 820.00 feet, a central angle of  $61^{\circ}30'04''$ , the chord of which bears  $N 59^{\circ}01'01'' E$ , a distance 838.54 feet, for an arc length of 880.19 feet to the **POINT OF BEGINNING**;

**THENCE** continue along said Northerly line, continuing along the arc of said curve to right, having a radius of 820.00 feet, a central angle of  $0^{\circ}13'57''$ , the chord of which bears  $N 89^{\circ}53'02'' E$ , a distance 3.33 feet, for an arc length of 3.33 feet to a point of tangency;

**THENCE**  $N 90^{\circ}00'00'' E$ , along said Northerly line, a distance of 24.63 feet;

**THENCE** leaving said Northerly line, N 44°20'11" W, a distance of 26.74 feet;

**THENCE** S 45°39'49" W, a distance of 20.00 feet;

**THENCE** S 44°20'11" E, a distance of 7.21 feet to the **POINT OF BEGINNING**.

Prepared By:  
THE WLB GROUP, INC.

Peter D. Cote, RLS 44121



EXPIRES 3-31-2018

VISTOSO GOLF COURSE

BLOCK 5

SEC. 23

SEC. 26

L=880.19'  
R=820.00'  
Δ=61°30'04"

POB 2

ESMT 2

PEBBLE CREEK DR.

ESMT 1

POB

BLOCK 4

EXHIBIT TO ACCOMPANY DESCRIPTION OF  
PUBLIC DRAINAGE EASEMENT  
BLOCK 5 OF MARACAY HOMES AT VISTOSO  
Seq. No. 20142480246  
SECTIONS 23 & 26, T-11S, R-13E, G.S.R.M.,  
PIMA COUNTY, ARIZONA

1"=150'





**LEGAL DESCRIPTION  
DRAINAGE AND MAINTENANCE EASEMENT**

Two parcels of land lying within Common Area "A" per the Block Plat of Maracay Homes at Vistoso as recorded in Sequence No. 20142480246, Pima County Records, located in Section 26, Township 11 South, Range 13 East, Gila and Salt River Meridian, Pima County, Arizona, further described as follows;

**EASEMENT 1**

**COMMENCING** at the Northwest corner of said Common Area "A", being the beginning of a non-tangent curve concave to the East on the East line of Pebble Beach Drive as shown on said Block Plat;

**THENCE** along the West line of said Common Area "A", along the West line of said Pebble Beach Drive, along the arc of said curve to left, having a radius of 2060.00 feet, a central angle of 0°06'30", with a radial bearing in of N 86°15'37" W and a radial bearing out of N 86°22'06" W, for an arc length of 3.89 feet to the **POINT OF BEGINNING**;

**THENCE** continue along said West line, continuing along the arc of said curve to left, having a radius of 2060.00 feet, a central angle of 0°33'30", the chord of which bears S 03°21'09" W, a distance 20.08 feet, for an arc length of 20.08 feet to a point of non-tangency hereafter known as **POINT "D"**;

**THENCE** leaving said West line, N 88°21'58" E, a distance of 20.92 feet;

**THENCE** N 01°38'02" W, a distance of 20.00 feet;

**THENCE** S 88°21'58" W, a distance of 19.18 feet to the **POINT OF BEGINNING**.

**EASEMENT 2**

**COMMENCING** at afore mentioned **POINT "D"**;

**THENCE** along the West line of said Common Area "A", along the West line of said Pebble Beach Drive, along the arc of said curve to left, having a radius of 2060.00 feet, a central angle of 10°32'33", the chord of which bears S 02°11'53" E, a distance of 378.51 feet, for an arc length of 379.04 feet to the **POINT OF BEGINNING**;

September 11, 2015  
185050-MY-04-1003x

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**THENCE** continue along Said West line, continuing along the arc of said curve to left, having a radius of 2060.00 feet, a central angle of  $0^{\circ}33'32''$ , the chord of which bears  $S 07^{\circ}44'50'' E$ , a distance 20.00 feet, for an arc length of 20.00 feet to a point of non-tangency;

**THENCE** leaving said West line,  $N 82^{\circ}47'31'' E$ , a distance of 34.00 feet;

**THENCE**  $N 07^{\circ}12'29'' W$ , a distance of 20.00 feet;

**THENCE**  $S 82^{\circ}47'31'' W$ , a distance of 34.18 feet to the **POINT OF BEGINNING**.

Prepared By:  
THE WLB GROUP, INC.

Peter D. Cote, RLS 44121



EXPIRES 3-31-2018

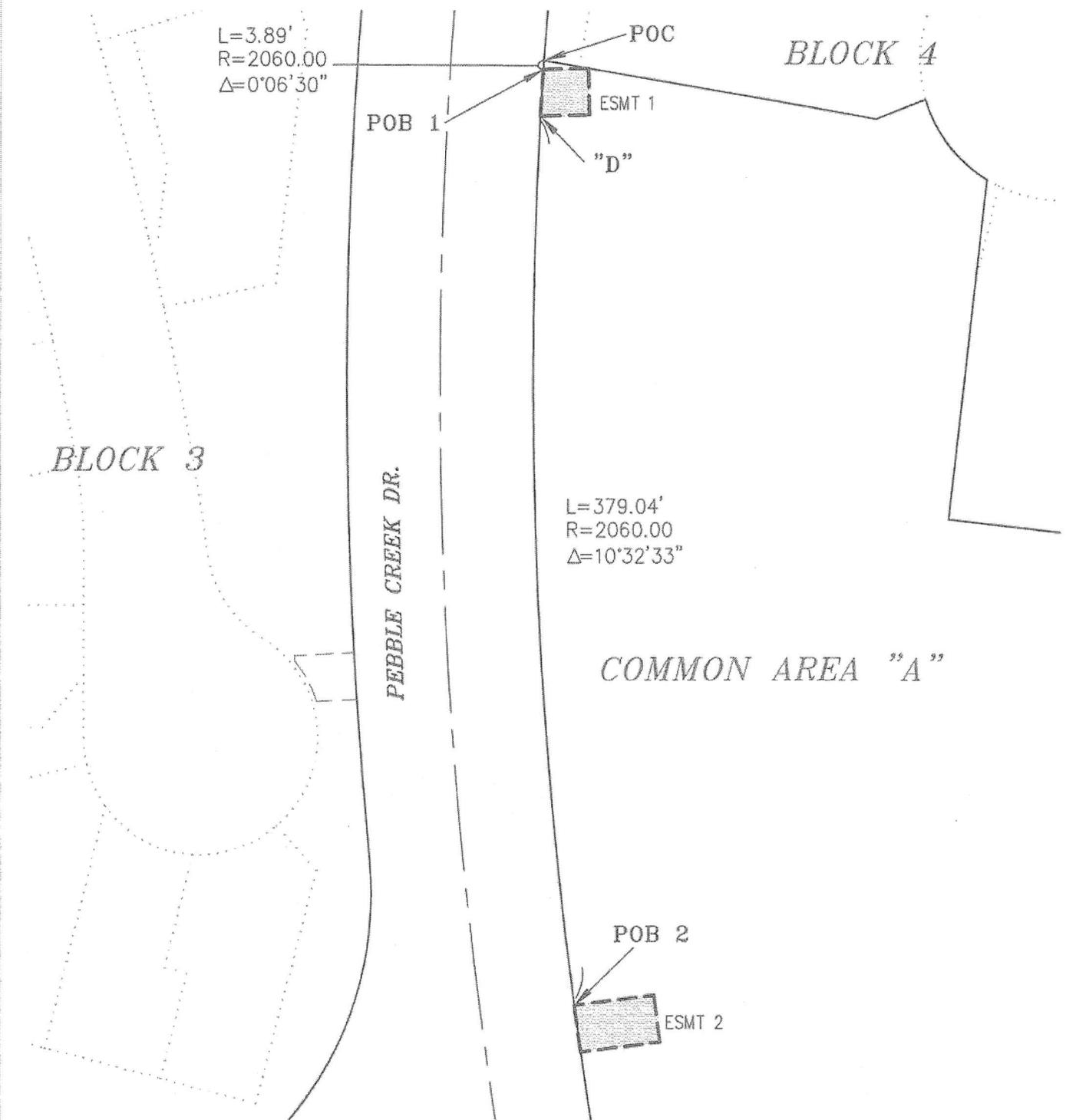


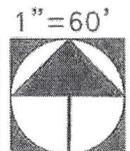
EXHIBIT TO ACCOMPANY DESCRIPTION OF  
 PUBLIC DRAINAGE EASEMENT  
 COMMON AREA "A"

MARACAY HOMES AT VISTOSO

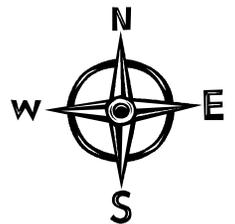
Seq. No. 20142480246

SECTION 26, T-11S, R-13E, G.S.R.M.,

PIMA COUNTY, ARIZONA



# EXHIBIT "B"



## LOCATION MAP CENTER POINTE VISTOSO (A.K.A. MARACAY AT VISTOSO)

DRAINAGE EASEMENT  
LA CANADA DRIVE AND PEBBLE CREEK DRIVE



**Town Council Regular Session**

Item # 1.

**Meeting Date:** 06/01/2016

**Requested by:** Julie Bower

**Submitted By:** Mike Standish, Town  
Clerk's Office

**Department:** Town Clerk's Office

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**Information**

**SUBJECT:**

PUBLIC HEARING: DISCUSSION AND POSSIBLE ACTION REGARDING AN APPLICATION FOR A SERIES 12 (RESTAURANT) LIQUOR LICENSE FOR MOD PIZZA, LOCATED AT 10580 N. ORACLE RD. #150

**RECOMMENDATION:**

Staff recommends approval of this liquor license to the Arizona Department of Liquor Licenses and Control for the following reasons:

1. No protests to this license have been received.
2. The necessary background investigation was conducted by the Police Department.
3. The Police Department has no objection to the approval of the Series 12 Liquor License.

**EXECUTIVE SUMMARY:**

An application for a new Series 12 (Restaurant) Liquor License has been submitted by Agent Andrea Lewkowitz for MOD Pizza, located at 10580 N. Oracle Rd. #150.

Ms. Lewkowitz has submitted all necessary paperwork to the Town of Oro Valley and the Arizona Department of Liquor Licenses and Control and has paid all related fees associated with applying for the liquor license (\$500 Application Processing Fee).

**BACKGROUND OR DETAILED INFORMATION:**

This non-transferable, on-sale retail privileges liquor license allows the holder of a restaurant license to sell and serve spirituous liquor solely for consumption on the premises of an establishment, which derives at least 40% of its gross revenue from the sale of food. Failure to meet the 40% food requirement shall result in revocation of the license.

In accordance with Section 4-201 of the Arizona Revised Statutes, the application was posted for 20 days on the premises of the applicant's property, ending May 16, 2016. No protests were received during this time period.

Police Chief Daniel Sharp completed a standard background check on MOD Pizza and Agent Andrea Lewkowitz. Chief Sharp has no objection to the approval of the Series 12 (Restaurant) License.

**FISCAL IMPACT:**

Per Ordinance No. (O)11-16, the Town of Oro Valley charges a \$500 liquor license application processing fee to cover the costs incurred by the Town to process the application.

Per Section 8-2-6 Schedule of the Oro Valley Town Code, persons licensed by the State of Arizona to deal in spirituous liquor within the Town shall pay an annual license fee of \$80.00 to the Town.

**SUGGESTED MOTION:**

I MOVE to (recommend or deny) approval of the issuance of a Series 12 Liquor License to the Arizona Department of Liquor Licenses and Control for Andrea Lewkowitz for MOD Pizza, located at 10580 N. Oracle Rd. #150.

---

**Attachments**

MOD Pizza Liquor License

---

**DANIEL G. SHARP**  
CHIEF OF POLICE

TO: Mike Standish  
FROM:  Daniel G. Sharp  
DATE: May 12, 2016  
RE: Background Investigation, Application for Liquor License  
MOD Pizza, Owner / Agent Andrea Lewkowitz  
10580 N Oracle Road Suite 150

On May 12, 2016, the Oro Valley Police Department completed the standard background check on MOD Pizza and Owner / Agent Andrea Lewkowitz.

The Oro Valley Police Department has no objection for the issuance of a liquor license to MOD Pizza, Owner / Agent Andrea Lewkowitz to be located at 10580 N Oracle Road Suite 150.

16 APR 19 11:41 AM 3 08



Arizona Department of Liquor Licenses and Control
800 W Washington 5th Floor
Phoenix, AZ 85007
www.azliquor.gov
(602) 542-5141

Application for Liquor License
Type or Print with Black Ink

SECTION 1 This application is for a:

- Interim Permit (Complete Section 5)
[X] New License (Complete Sections 2, 3, 4, 13, 14, 15, 16)
Person Transfer (Complete Section 2, 3, 4, 12, 13, 14, 16)
Location Transfer (Bars and Liquor Stores Only)
Probate/ Will Assignment/ Divorce Decree
Government (Complete Sections 2, 3, 4, 10, 13, 16)
Seasonal

SECTION 2 Type of Ownership:

- J.T.W.R.O.S. (Complete Section 6)
Individual (Complete Section 6)
Partnership (Complete Section 6)
Corporation (Complete Section 7)
[X] Limited Liability Co (Complete Section 7)
Club (Complete Section 8)
Government (Complete Section 10)
Trust (Complete Section 6)
Tribe (Complete Section 6)
Other (Explain)

SECTION 3 Type of license

LICENSE # 12104436

1. Type of License: Series #12

APPLICATION FEE AND INTERIM PERMIT FEES (IF APPLICABLE) ARE NOT REFUNDABLE
A service fee of \$25 will be charged for all dishonored checks (A.R.S. § 44-6852)

SECTION 4 Applicants

1. Individual Owner/Agent's Name: Lewkowitz Andrea Dahlman
Last First Middle P105 6227

2. Owner Name: MOD Super Fast Pizza, LLC
(Ownership name for type of ownership checked on section 2) B1052267

3. Business Name: MOD Pizza
(Exactly as it appears on the exterior of premises) B1058558

4. Business Location Address: 10580 N. Oracle Road, #150 Oro Valley AZ 85737 Pima
(Do not use PO Box) Street City State Zip Code County

5. Mailing Address: 2600 N. Central Avenue, Suite 1775 Phoenix AZ 85004
(All correspondence will be mailed to this address) Street City State Zip Code

6. Business Phone: Pending Daytime Contact Phone: (602) 200-7222

7. Email Address: andrea@lewklaw.com

8. Is the Business located within the incorporated limits of the above city or town? [X] Yes [ ] No

9. Does the Business location address have a street address for a City or Town but is actually in the boundaries of another City, Town or Tribal Reservation? [ ] Yes [X] No

If Yes, what City, Town or Tribal Reservation is this Business located in:

10. Total Price paid for Series 6 Bar, Series 7 Beer & Wine Bar or Series 9 Liquor Store ( license only) \$

Fees: 100 Application, 50 Department Use Only Site Inspection, 150 Total of All Fees
Is Arizona Statement of Citizenship & Alien Status for State Benefits complete? [X] Yes [ ] No
Accepted by: [Signature] Date: 4/19/16 License #: 12104436

## **Restaurant (Series 12)**

This non-transferable, on-sale retail privileges liquor license allows the holder of a restaurant license to sell and serve spirituous liquor solely for consumption on the premises of an establishment which derives at least forty percent (40%) of its gross revenue from the sale of food. Failure to meet the 40% food requirement shall result in revocation of the license.



**Town Council Regular Session**

Item # 2.

**Meeting Date:** 06/01/2016

**Requested by:** Bayer Vella

**Submitted By:** Rosevelt Arellano  
Development Infrastructure Services

**Department:** Development Infrastructure Services

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**Information**

**SUBJECT:**

PUBLIC HEARING: ORDINANCE NO. (O)16-08, AMENDING SECTION 25.1.V OF THE ORO VALLEY ZONING CODE REVISED REGARDING THE HOURS OF OPERATION FOR MEDICAL MARIJUANA DISPENSARIES

**RECOMMENDATION:**

The Planning and Zoning Commission has recommended approval of the request as provided in Attachment 1.

**EXECUTIVE SUMMARY:**

The purpose of this code amendment is to consider increasing the hours of operation for medical marijuana dispensaries from 9:00 a.m. – 5:00 p.m. to 7:00 a.m. – 10:00 p.m. The applicant's stated reason for the request is to improve patients' access to prescribed medication.

There is currently one (1) medical marijuana dispensary within Town limits located in the Rancho Vistoso Safeway Center. This is owned and operated by the applicant, Catalina Hills Care.

The application (Attachment 2) was considered and recommended for approval by the Planning and Zoning Commission on May 3, 2016.

**BACKGROUND OR DETAILED INFORMATION:**

**Zoning Provisions:**

Below is a list of notable zoning provisions related to regulating the use and locations of medical marijuana dispensaries:

- Permitted in C-1 and C-2 zones
- No drive-thru service

- Maximum floor area: 2,000 square feet
- 1,000' minimum setback required from churches, child care centers, libraries, parks, rehabilitation centers, and places where children may be enrolled
- 2,000' minimum setback required from other medical marijuana dispensaries

### Arizona Department of Health Services Rules

The existing rules will allow two (2) medical marijuana dispensaries in Oro Valley, and will permit additional dispensaries provided that the use complies with zoning and the dispensary relocates into the Town after three (3) years of an issued medical marijuana dispensary certificate at a separate location in the State.

There is currently one (1) medical marijuana dispensary in Oro Valley and no relocation requests.

### Applicant's Request:

The proposed code amendment (Attachment 1) would increase the hours of operation for medical marijuana dispensaries from 9:00 a.m. – 5:00 p.m. to 7:00 a.m. – 10:00 p.m. The stated goal of this request is to improve patients' access to prescribed medicine.

### Public Safety:

The Oro Valley Police Department does not have any objections to the proposed hours of operation because they do not have public safety issues at the business location and are satisfied with the results of a recent site inspection. The application (Attachment 2) contains a list of the internal and external security measures taken by the applicant after consultation with the Oro Valley Police Department.

### Comparison with other businesses in the Rancho Vistoso Safeway Center:

There are 25 businesses in the Rancho Vistoso Safeway Center. The applicant's request to operate after 5 p.m. is consistent with over half of them (Attachment 3). Several businesses are open until 9 or 10 p.m. and Safeway is open until midnight.

In regards to design and aesthetics, the dispensary appears inconspicuous because it blends into the shopping center as a typical medical office business. Photos of the dispensary and the surrounding buildings are provided in Attachment 4.

### Consistency with other neighboring medical marijuana dispensaries:

The proposed hours of 7:00 a.m. to 10:00 p.m. are consistent with the City of Tucson and are slightly longer than those hours found in other local jurisdictions. Neighboring jurisdictions have the following dispensary business hours adopted:

- Tucson                      7 a.m. to 10 p.m.
- Marana                      7 a.m. to 7 p.m.
- Casa Grande              7 a.m. to 7 p.m.

- Sahuarita 7 a.m. to 7 p.m.
- Pima County 9 a.m. to 5 p.m.
- South Tucson 9 a.m. to 5 p.m.

Consistency with other Oro Valley retail pharmacies:

The proposed hours of operation are consistent with other retail pharmacies in Oro Valley (Attachment 5). The proposed change in hours will provide customers with access to prescribed medicine before and after normal working hours of 8:00 a.m. to 5:00 p.m.

Zoning Compatibility:

The proposed hours of operation are consistent with a retail pharmacy use and will not generate unusual volumes of traffic, nuisance or other direct impacts on adjacent properties. It is important to note that the existing zoning provisions are intended to reduce the impacts of a medical marijuana dispensary by regulating its size, location and design. As the proposed hours of operation are consistent with other retail businesses in commercial zoning districts, the proposed change will be compatible with other commercial uses.

General Plan Analysis:

There are no specific policies in the General Plan relative to the request.

Public Notification and Comment:

Public notice has been provided as follows:

- All HOAs in the Town
- Public hearing notice was posted:
  - In the Territorial newspaper
  - At Town Hall
  - On the Town website

Planning and Zoning Commission Action:

The request was heard by the Planning and Zoning Commission on May 3, 2016. The discussion at the public hearing focused on typical retail business hours, public safety and the potential impacts of permitting additional operating hours between 7:00 p.m. to 10:00 p.m.

At the conclusion of the public hearing, the commission recommended approval based on the finding that the request would be consistent with other retail operations and the lack of public safety concern by the Oro Valley Police Department. The Planning and Zoning Commission staff report and minutes are provided as Attachments 6 and 7.

**FISCAL IMPACT:**

N/A

**SUGGESTED MOTION:**

I MOVE to adopt Ordinance No. (O)16-08, amending Section 25.1.V of the Oro Valley Zoning Code regarding the hours of operations for medical marijuana dispensaries, finding that the amendment is consistent with other retail operations.

OR

I MOVE to deny Ordinance No. (O)16-08, amending 25.1.V of the Oro Valley Zoning Code regarding the hours of operations for medical marijuana dispensaries, finding that

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**Attachments**

(O)16-08 Extending Medical Marijuana Dispensary Hours

Attachment 2 - Application

Attachment 3 - Existing hours for Safeway Center

Attachment 4 - Photos of Safeway Center Businesses

Attachment 5 - Existing hours for OV pharmacies

Attachment 6 - PZC report

Attachment 7 - PZC draft meeting minutes

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**ORDINANCE NO. (O)16-08**

**AN ORDINANCE OF THE TOWN OF ORO VALLEY ARIZONA, AMENDING THE ORO VALLEY ZONING CODE REVISED (OVZCR) CHAPTER 25, USE REGULATIONS, SECTION 25.1.V.1.b.xi, MEDICAL MARIJUANA DISPENSARY – DEVELOPMENT STANDARDS, REGARDING HOURS OF OPERATION OF MEDICAL MARIJUANA DISPENSARIES; REPEALING ALL RESOLUTIONS, ORDINANCES AND RULES OF THE TOWN OF ORO VALLEY IN CONFLICT THEREWITH; PRESERVING THE RIGHTS AND DUTIES THAT HAVE ALREADY MATURED AND PROCEEDINGS THAT HAVE ALREADY BEGUN THEREUNDER**

**WHEREAS**, on March 13, 1981, the Mayor and Council approved Ordinance (O) 81-58, which adopted that certain document entitled “Oro Valley Zoning Code Revised” (OVZCR); and

**WHEREAS**, on October 29, 2010, the Mayor and Council approved Ordinance (O) 10-13, which amended the OVZCR to allow for regulation of facilities related to the cultivation and dispensation of medical marijuana; and

**WHEREAS**, the proposed amendment to the OVZCR, Chapter 25, Use Regulations, Section 25.1.V.1.b.xi, Medical Marijuana Dispensary – Development Standards, is to consider increasing the hours of operation of medical marijuana dispensaries from 9 a.m. to 5 p.m. to 7 a.m. to 10 p.m. to allow for improved patient access to prescribed medicine; and

**WHEREAS**, there is currently one (1) medical marijuana dispensary within Town limits which is located in the Rancho Vistoso Safeway Center; and

**WHEREAS**, the Planning and Zoning Commission reviewed the proposed amendment to the OVZCR, Chapter 25, Use Regulations, Section 25.1.V.1.b.xi, Medical Marijuana Dispensary – Development Standards regarding increasing the hours of operation of medical marijuana dispensaries within the Town at a duly noticed public hearing on May 3, 2016 in accordance with State Statutes and recommended approval to the Town Council; and

**WHEREAS**, at a duly noticed Town Council Meeting on June 1, 2016, the Oro Valley Town Council has considered the proposed amendment to the OVZCR, Chapter 25, Use Regulations, Section 25.1.V.1.b.xi, Medical Marijuana Dispensary – Development Standards regarding increasing the hours of operation of medical marijuana dispensaries

within the Town and the Planning and Zoning Commission's recommendation and finds it consistent with the Town's General Plan and other Town ordinances.

**NOW, THEREFORE, BE IT ORDAINED by the Mayor and Council of the Town of Oro Valley, Arizona that:**

**SECTION 1.** That certain document entitled Oro Valley Zoning Code Revised, is hereby amended to add the amendment OVZCR, Chapter 25, Use Regulations, Section 25.1.V.1.b.xi, Medical Marijuana Dispensary – Development Standards regarding increasing the hours of operation of medical marijuana dispensaries within the Town, attached hereto as Exhibit “A”.

**SECTION 2.** All Oro Valley ordinances, resolutions, or motions and parts of ordinances, resolutions or motions of the Council in conflict with the provisions of this Ordinance are hereby repealed.

**SECTION 3.** If any section, subsection, sentence, clause, phrase or portion of this Ordinance is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions thereof.

**PASSED AND ADOPTED** by the Mayor and Council of the Town of Oro Valley, Arizona, this 1<sup>st</sup> day of June, 2016.

**TOWN OF ORO VALLEY**

\_\_\_\_\_  
Dr. Satish I. Hiremath, Mayor

**ATTEST:**

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Julie K. Bower, Town Clerk

\_\_\_\_\_  
Tobin Sidles, Legal Services Director

Date: \_\_\_\_\_

Date: \_\_\_\_\_

# EXHIBIT “A”

Zoning Code Amendment  
Modified Text

Additions shown in **BOLD AND CAPS**

Deletion shown in ~~strike through~~ font

- xi. The permitted hours of operation of a medical marijuana dispensary are  
between the hours of ~~9:00 a.m. and 5:00 p.m.~~ **7:00 A.M. TO 10:00 P.M.**

**ZONING STRATEGIES LLC**(480) 628-1499  
jenifercorey@zoning-strategies.com

April 14, 2016

Rosevelt Arellano  
Town of Oro Valley  
Development & Infrastructure Services Department  
11000 N. La Canada Drive  
Oro Valley, AZ 85737RE: Text Amendment Request pertaining to the hours of operation for a  
medical marijuana dispensary

Dear Rosevelt,

Thank you for meeting with Steve Cottrell and myself on January 8, 2016. As you know, this firm represents Catalina Hills Care, the owner and operator for a medical marijuana dispensary at 12152 N. Rancho Vistoso Blvd, Suite C-140. The purpose of this correspondence is to formally request a text amendment to the Town Ordinance that pertains to the operation of a medical marijuana dispensary. Specifically, we request the following Text Amendment:

**25.1.(V) Medical Marijuana Uses**1.b.xi. The permitted hours of operation of a medical marijuana dispensary are between the hours of ~~9:00 a.m. and 5:00 p.m.~~ 7:00 a.m. and 10:00 p.m.

Medical marijuana hours of operation are established by Section 25-1, Section V.1.b.xi of the Oro Valley Zoning Code. As a dispensary operator, Catalina Hills Care has found that the current 9 a.m. to 5:00 p.m. operating hours are not appropriate. By limiting the hours of operation, the ordinance unfairly restricts patient access to prescribed medicine.

Oro Valley is a suburban community, with the vast majority of residents commuting to work in Tucson. Due to the limited hours of operation, Catalina Care is closed when patients leave for and return home from work. As a result, patients are forced to either leave work early, or to drive to other dispensaries, the closest being 10 miles away. This condition is not in the best interest of patients.

**Background:**

The establishment of the medial marijuana industry in Arizona in 2010, and particularly in Oro Valley, has gone smoother than expected. It went well because Oro Valley took a very involved and strategic approach to regulating a new industry and to make sure that Oro Valley has responsible operators. Looking back with hindsight, combined with Catalina Hills Care's operational experience, we believe the community could benefit from modifying the hours of operation.

Catalina Care has been operating as a medical marijuana dispensary for more than three years. Since opening, without incident – there have been no police reports filed or complaints to the owner of the shopping center. We've worked directly with the Police Department to implement a successful security plan to ensure the safety of our patients, our employees and surrounding business owners.

Like other communities, Oro Valley originally established dispensary business operation hours to coincide with daylight hours. This concern has remained unfounded due to the extensive security measures in place. The following security measures have been put in place after consultation with the Police Department:

- Glass security film for breakage;
- Strike plates on back and safe room doors;
- Peep holes on doors;
- Replace style of panic button;
- Battery backup for camera system;
- Name of business on rear door;
- Light above back door;
- Panoramic peep hole on back door;
- Security and password upgrades to wifi range, signal output and bandwidth;
- Security video DVR backup;
- Green cross for front door;
- Increase amount of security camera monitoring for outside perimeter; and
- Security video coverage for 100% of interior of dispensary.

### **Request**

Oro Valley took a very conservative approach to regulating medical marijuana in 2010. In fact, the Town's operational requirements, including the hours of operation are among the most conservative in the state. Since there have been no real issues associated with dispensaries in Oro Valley, we believe it is appropriate to re-evaluate and ease the hours of operation consistent with adjacent communities.

By modifying the hours of operation to 7am – 10pm, Oro Valley will improve access to patients within our community. Patients will have access to vital medicine in the evening hours in a location that is convenient, safe and the most importantly, near home.

As part of this text amendment, we are requesting NO changes to other provisions in the Zoning Ordinance. The existing spacing requirements, operational restrictions and extensive security measures in place as requested by the Police Department – will remain unchanged. This change only applies to dispensaries and not cultivation facilities.

**City Comparison of Hours of Operation**

Pima County –	9 a.m. to 5 p.m.
Tucson –	7 a.m. to 10 p.m.
South Tucson –	9 a.m. to 5 p.m.
Marana –	7 a.m. to 7 p.m.
Casa Grande –	7a.m to 7 p.m.
Sahuarita –	7 a.m. to 7 p.m.
Tempe –	8 a.m. to 8 p.m.

Approval of this text amendment will not have a detrimental impact to the community. In fact, expanded hours of operation will result in improved access for Oro Valley patients by providing a safe and centrally located dispensary to fill their prescriptions. This proposal only modifies the hours of operation that a medical marijuana dispensary can operate, consistent with other nearby communities. This request does not modify any other zoning ordinance requirement, security and operational measure in place. The Town's sole dispensary – Catalina Hills Care – has operated without an incident since opening and serves to demonstrate that medical marijuana can operate in a safe and responsible manner.

Please let us know if you require additional information or documents to address this text amendment. Otherwise, we look forward to addressing these requests with you at the forthcoming hearing.

Sincerely,

Zoning Strategies LLC

Jenifer Corey  
Principal

Safeway Shopping Center  
Existing Hours of Operation  
Attachment 3

1. Catalina Hills Care (Applicant)	Mon-Sat: Sun:	9 a.m. to 5 p.m. 11 a.m. to 5 p.m.
2. Safeway	Mon-Sun:	5 a.m. to 12 a.m.
3. Flavor of India	Mon-Sun:	11 a.m. to 10 p.m.
4. Dragon Village	Mon-Fri: Sat-Sun:	11 a.m. to 9 p.m. 12 p.m. to 9 p.m.
5. Planet Beach Contempo Spa	Mon-Thu: Fri: Sat-Sun:	9 a.m. to 8 p.m. 9 a.m. to 6 p.m. 10 a.m. to 5 p.m.
6. Safeway Fuel	Mon-Sat: Sun:	6:30 a.m. to 7:30 p.m. 8 a.m. to 6 p.m.
7. The Tutoring Center	Mon-Thu: Fri: Sat.	2:30 p.m. to 7:30 p.m. By appointment 8:30 a.m. to 12:30 p.m.
8. Artistry Academy Music and Art	Mon-Fri: Sat-Sun:	10:30 a.m. to 7 p.m. By appointment
9. Desert Palms Physical Therapy	Mon-Fri:	7 a.m. to 7 p.m.
10. Cost Cutters	Mon-Sat: Sun:	8 a.m. to 7 p.m. 11 a.m. to 5 p.m.
11. Pusch Ridge Chiropractic	Mon-Wed: Fri:	8 a.m. to 6 p.m. 8 a.m. to 12 p.m.
12. Stravaganza Hair Salon	Mon-Sat:	9 a.m. to 6 p.m.
13. Vistoso Cleaners	Mon-Fri: Sat:	7 a.m. to 6 p.m. 8 a.m. to 4 p.m.
14. Nails of World	Mon-Sat: Sun:	7 a.m. to 6 p.m. 8 a.m. to 4 p.m.
15. Aim Mail	Mon-Fri: Sat:	8:30 a.m. to 6 p.m. 9 a.m. to 4 p.m.
16. Adient Gyllenhall Physical Therapy	Mon-Fri:	7 a.m. to 5:30 p.m.
17. Smile More Dental	Mon-Thu: Fri:	7 a.m. to 5 p.m. By appointment
18. Pusch Ridge Pet Clinic	Mon-Fri: Sat:	7:45 a.m. to 5 p.m. 8:45 a.m. to 12 p.m.
19. State Farm	Mon-Fri: Sat.:	9 a.m. to 5 p.m. By appointment

20. Hanger Prosthetics	Mon-Fri:	8 a.m. to 5 p.m.
21. Bank of America	Mon-Thu:	8:30 a.m. to 5 p.m.
	Fri:	10 a.m. to 5 p.m.
	Sat:	10 a.m. to 1 p.m.
22. Halo Hair Studio	Tue-Sat:	9 a.m. to 5 p.m.
23. Lab Corp	Mon-Fri:	7 a.m. to 4 p.m.
24. Saguaro Café	Mon-Sun:	6 a.m. to 2 p.m.
25. Cheers to You! Nutrition	Mon-Fri:	7 a.m. to 2 p.m.
	Sat:	8 a.m. to 1 p.m.



**PHOTOS OF SURROUNDING BUSINESSES**  
**MEDICAL MARIJUANA DISPENSARY (OV1600512)**

Oro Valley Pharmacies  
Hours of Operation  
Attachment 5

1. Target (Rooney Ranch) Mon–Fri: 9 a.m. to 9 p.m. / Sat–Sun: 9 a.m. to 6 p.m.
2. Safeway Pharmacy (Rancho Vistoso) Mon–Fri: 8 a.m. to 8 p.m. / Sat–Sun: 9 a.m. to 6 p.m.
3. CVS Pharmacy (San Dorado) Mon–Fri: 8 a.m. to 9 p.m. / Sat: 9 a.m. to 6 p.m.  
Sun: 10 a.m. to 6 p.m.
4. Fry's Pharmacy (10450 La Cañada Drive) Mon–Fri: 9 a.m. to 8 p.m. / Sat: 9 a.m. to 6 p.m.  
Sun: 10 a.m. to 6 p.m.
5. Walgreens (10405 La Cañada Drive) Mon–Fri: 8 a.m. to 10 p.m. / Sat: 9 a.m. to 6 p.m.  
Sun: 10 a.m. to 6 p.m.
6. Walgreens (Oracle Road in Rancho Vistoso) Mon–Sun: 6 a.m. to 12 a.m.



## Initiation of Code Amendment Planning and Zoning Commission Staff Report

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**SUBJECT:** Request to set applicant's Zoning Code Amendment related to medical marijuana dispensaries for public hearing

**MEETING DATE:** May 3, 2016

**AGENDA ITEM:** 2

**STAFF CONTACT:** Roosevelt Arellano, Senior Planner  
rarellano@orovalleyaz.gov (520) 229-4817

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**Applicant:** Planning and Zoning staff

**Request:** Zoning Code Amendment related to increasing the hours of operation for medical marijuana dispensaries

**Location:** C-1 and C-2 zoned properties

**Recommendation:** Initiate Zoning Code Amendment

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### **SUMMARY:**

Section 22.3.B of the Oro Valley Zoning Code provides that all applications for code amendments must be initiated and set for public hearing by the Planning and Zoning Commission and/or Town Council. Should the amendment be initiated, the Commission may consider the proposed change in hours of operation.

Staff recently received a request (Attachment 1) from a business owner to pursue a code amendment to increase the permitted hours of operation from 9:00 a.m. – 5:00 p.m. to 7:00 a.m. – 10:00 p.m. The stated reason for the request is to improve patients' access to prescribed medicine.

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### **BACKGROUND:**

There is currently one (1) medical marijuana dispensary within Town limits located in the Rancho Vistoso Safeway Center. This is owned and operated by the applicant.

### Timeline:

Below is an overview of key actions regarding medical marijuana dispensaries in Oro Valley:

- October 2010: Oro Valley approves zoning provisions for medical marijuana dispensaries
- November 2010: Arizona legalizes the use of medical marijuana
- March 2013: Oro Valley issues the applicant a business license to operate a medical marijuana dispensary

Please refer to Agenda Item No. 3 for further background and discussion.

**Zoning Code Initiation: Medical Marijuana Dispensary  
Planning and Zoning Commission Staff Report**

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Page 2 of 2

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**RECOMMENDATION:**

Staff recommends that the Planning and Zoning Commission initiate and set a public hearing for a Zoning Code Amendment related to increasing the hours of operation for medical marijuana dispensaries.

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**SUGGESTED MOTION:**

The Planning and Zoning Commission may wish to consider the following suggested motion:

I MOVE to initiate and set a public hearing for a Zoning Code Amendment to Section 25.1.v (Medical Marijuana Dispensaries) regarding hours of operation.

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**ATTACHMENTS:**

1. Application

  
\_\_\_\_\_  
Bayer Vella, Planning Manager

**MINUTES  
ORO VALLEY PLANNING AND ZONING COMMISSION  
REGULAR SESSION  
May 3, 2016  
HOPI CONFERENCE ROOM  
11000 N. LA CAÑADA DRIVE**

**REGULAR SESSION AT OR AFTER 6:00 PM**

**CALL TO ORDER**

Chairman Leedy called the May 3, 2016 Planning and Zoning Commission meeting to order at 6:00 PM.

**ROLL CALL**

**PRESENT:**

Bill Leedy, Chair  
Charlie Hurt, Vice Chair  
Tom Drzazgowski, Commissioner  
Tom Gribb, Commissioner  
Greg Hitt, Commissioner  
Bob Swope, Commissioner  
Melanie Barrett, Commissioner

**ALSO PRESENT:**

Joe Andrews, Chief Civil Deputy Attorney  
Michael Spaeth, Senior Planner

**PLEDGE OF ALLEGIANCE**

Chairman Leedy led the audience and the Commission in the Pledge of Allegiance.

**CALL TO AUDIENCE**

No speaker request.

**COUNCIL LIAISON COMMENTS**

The Council Liaison was not present at the meeting.

**REGULAR SESSION AGENDA**

- 1. REVIEW AND/OR APPROVAL OF THE APRIL 5, 2016 REGULAR SESSION MEETING MINUTES**

**MOTION:** A motion was made by Commissioner Drzazgowski and seconded by Vice Chair Hurt to approve the April 5, 2016 Regular Session Meeting Minutes.

**MOTION** carried, 6-0.

**2. DISCUSSION AND POSSIBLE ACTION REGARDING A REQUEST FOR THE PLANNING AND ZONING COMMISSION TO INITIATE A ZONING CODE AMENDMENT RELATIVE TO THE HOURS OF OPERATION FOR MEDICAL MARIJUANA DISPENSARIES**

Rosevelt Arellano, Senior Planner, presented an overview of the initiation.

Commissioner Barrett proposed listening to the information about the amendment before a motion is made about the initiation.

Joe Andrews, Chief Civil Deputy Attorney responded that initially you would have no information upfront. The initiation is only to inform staff about moving forward, if not staff can request the initiation in front of Town Council.

**MOTION:** A motion was made by Vice Chair Hurt and seconded by Commissioner Drzazgowski to initiate and set a public hearing for a Zoning Code Amendment to Section 25.1.v (Medical Marijuana Dispensaries) regarding hours of operation.

**MOTION** carried, 7-0.

**3. PUBLIC HEARING: DISCUSSION AND POSSIBLE ACTION REGARDING A ZONING CODE AMENDMENT RELATED TO THE HOURS OF OPERATION FOR MEDICAL MARIJUANA DISPENSARIES, OV1500512**

Rosevelt Arellano, Senior Planner, provided a presentation that included the following:

- Applicant's request
- Hours of Operation
- Approval

Jennifer Corey, Principal Planner, Zoning Strategies LLC, representing the applicant, provided the presentation that included the following:

- Text Amendment
- About Catalina Care
- What do we propose?
- Site Location
- MMJ History (CHAA Map)
- Locations in Metro Tucson
- Hours of Operation

- Is this a public safety problem?
- Community Benefit
- Neighborhood Outreach

Steve Cottrell, owner and operator of Catalina Hills Care, provided an overview on the hours of operation and comments from residents.

Commissioner Swope questioned the amount of clientele seen throughout the day.

Mr. Cottrell responded between 45-65 clients a day.

Chairman Leedy requested the representative from Oro Valley Police Department comment on the performance of this facility and concerns of the extension of hours.

Sargent Dean of the Oro Valley Police Department commented that upon review the Police Department looked at this as any other business here in Oro Valley. A history was ran for this location and there were no concerns. The Oro Valley Police Department has had an excellent working relationship and based upon their history over the last 24 months, the police department has no objections.

Chairman Leedy questioned whether the proposed extended hours of operation posed any concerns.

Sargent Dean responded that the police department is completely indifferent to the hours of operation.

Commissioner Barrett is uncertain as to why this proposed code amendment is being treated as any other commercial use. Given the fact the Oro Valley code has two full pages of conditions on this specific use. Commissioner Barrett doesn't find it appropriate to come at it from the perspective that it is similar to other commercial uses.

Chairman Leedy opened the public hearing.

Dave Perry, President and CEO of the Greater Oro Valley Chamber of Commerce and Oro Valley resident, commented that the proposed project is a member of the Chamber and they did not ask Mr. Perry to speak. In general terms, if the Oro Valley Police Department doesn't see a problem with the extended hours, he doesn't see a problem either. Mr. Cottrell, owner is running a legitimate business in our community and one that has been approved by the voters. Mr. Perry thinks that if the extension of hours makes their business more viable, he is in support of that.

Chairman Leedy closed the public hearing.

**MOTION:** A motion was made by Vice Chair Hurt and seconded by Commissioner Drzazgowski to recommend approval of the Zoning Code Amendment in Attachment 2

related to the hours of operation for medical marijuana dispensaries, based on the finding that the request would be consistent with the retail operations.

Commissioner Barrett proposed a friendly amendment that the operating hours be the same as our neighboring communities, 7 am - 7 pm.

Vice Chair Hurt accepted the friendly amendment.

Commissioner Drzazgowski denied the friendly amendment.

**MOTION** carried, 6-1 with Commissioner Barrett opposed.

#### **4. ORO VALLEY MAIN STREETS PLANNING AND ZONING COMMISSION LIAISON UPDATE**

Commissioner Drzazgowski, Main Street Committee Representative, provided the following Main Streets update:

- The Town is doing great things
- Two meetings were held for the Design Focus Groups, and spoke about what make a great main street
- Things that were considered: Urban Design and Public Art
- Highlights: Necessary component with economic viability
- Locations: Oracle and First Avenue and Lambert and La Canada
- Workshop is May 5-7

#### **PLANNING UPDATE (INFORMATIONAL ONLY)**

Michael Spaeth, Senior Planner, provided the following planning update that included the following:

- Main Street Workshop, May 5 -7
- Planning items for the Town Council May 4th meeting
- Planning items for the Town Council May 19th meeting
- Upcoming items for the Planning and Zoning Commission meeting on June 7th
- Upcoming Neighborhood meetings

#### **ADJOURNMENT**

**MOTION:** A motion was made by Commissioner Hitt and seconded by Vice Chair Hurt to adjourn the Planning and Zoning Commission meeting at 7:12 PM.

**MOTION** carried, 7-0.



## **Town Council Regular Session**

Item # 3.

**Meeting Date:** 06/01/2016

**Requested by:** Councilmember Burns & Councilmember Zinkin

**Submitted By:** Mike Standish, Town Clerk's Office

**Department:** Town Clerk's Office

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### **Information**

#### **SUBJECT:**

MOTION FOR RECONSIDERATION OF THE MAY 19, 2016 APPROVAL TO AMEND THE FY 2015/16 ADOPTED BUDGET BY POSTPONING TO FY 2016/17 THE FIRST ANNUAL \$120,000 REPAYMENT OF THE \$1.2 MILLION IN GENERAL FUND CONTINGENCY RESERVES LOANED TO THE COMMUNITY CENTER FUND IN FY 2014/15

#### **RECOMMENDATION:**

N/A

#### **EXECUTIVE SUMMARY:**

On May 19, 2016, at its regular meeting, Council voted to approve amending the FY 2015/16 adopted budget by postponing to FY 2016/17 the first annual \$120,000 repayment of the \$1.2 million in General Fund Contingency Reserves loaned to the Community Center Fund in FY 2014/15.

Councilmember Burns has requested that the matter be returned to the Council agenda for reconsideration and Councilmember Zinkin has seconded his request. Pursuant to Rule 11.1(B) of the Town Council's Parliamentary Rules & Procedures, the reconsideration of any action taken by Council must be by motion by a Councilmember who was on the prevailing side of the vote. Such motion must be filed with the Town Clerk's office and the clerk shall place the item on the agenda.

Should the motion for reconsideration be successful, the matter will be considered in a separate agenda item at a future Council meeting.

#### **BACKGROUND OR DETAILED INFORMATION:**

N/A

#### **FISCAL IMPACT:**

N/A

**SUGGESTED MOTION:**

I MOVE for reconsideration of the May 19, 2016 approval to amend the FY 2015/16 adopted budget by postponing to FY 2016/17 the first annual \$120,000 repayment of the \$1.2 million in General Fund Contingency Reserves loaned to the Community Center Fund in FY 2014/15.

Or

I MOVE to deny reconsideration of the May 19, 2016 approval to amend the FY 2015/16 adopted budget by postponing to FY 2016/17 the first annual \$120,000 repayment of the \$1.2 million in General Fund Contingency Reserves loaned to the Community Center Fund in FY 2014/15.

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**Attachments**

*No file(s) attached.*

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**Town Council Regular Session**

Item # 4.

**Meeting Date:** 06/01/2016

**Requested by:** Stacey Lemos

**Submitted By:** Stacey Lemos, Finance

**Department:** Finance

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**Information**

**SUBJECT:**

PRESENTATION OF FIVE-YEAR FINANCIAL FORECAST THROUGH FY 2020/21

**RECOMMENDATION:**

This item is for presentation and discussion.

**EXECUTIVE SUMMARY:**

The Town's adopted financial policies provide "as a part of the annual Town budget preparation cycle, the Finance Department shall prepare a minimum 5-year financial forecast of projected revenues and expenditures to measure the financial sustainability of the Town's operations and service levels." As such, staff will present the 5-year financial forecast through FY 2020/21 for the General Fund, Highway Fund, Bed Tax Fund and Community Center Fund.

The forecast assumptions were compiled by referencing several sources of data, including the University of Arizona, Joint Legislative Budget Committee (JLBC), State Finance Advisory Committee, Arizona Department of Revenue and the Arizona Department of Transportation. Staff also incorporated Town historical trend data and professional judgment into formulation of this forecast. For the newly added Community Center Fund forecast, staff worked with Troon management and Parks and Recreation management on the preparation of this forecast.

**BACKGROUND OR DETAILED INFORMATION:**

Attached to this communication are the following fund forecasts:

General Fund

- 5-Year Forecast of Revenues and Expenditures by Category
- General Fund Forecast Assumptions
- Graph of Forecasted Revenues, Expenditures and Fund Balance

Overall, the General Fund remains stable over the 5-year horizon, with moderate revenue growth and an emphasis on fiscally conservative spending. Revenues in the

General Fund reflect 2% - 4% growth in recurring revenue sources, such as state shared revenues and local retail sales tax. One-time revenues generated from construction sales taxes and building permits are slightly more volatile with fluctuation in the forecasted single-family residential (SFR) permits issued per year, as well as forecasted commercial building activity. The forecast assumes residential construction will peak in FY 18/19 with 275 SFR permits issued, declining to 200 in FY 20/21. The forecast assumes a steady, conservative level of commercial construction with infill projects and potential development continuing on available parcels within Town.

General Fund expenditure projections reflect the continued commitment to providing fair employee compensation, maintaining adequate funding of the Town's rising pension and health insurance costs, minimizing operations and maintenance (O&M) budget increases, and allocating remaining available resources to asset replacement (computers and vehicles) and capital infrastructure needs. Capacity for capital infrastructure needs are expected to fluctuate, based on available funding sources and the re-establishment of the transfer of construction sales taxes to subsidize Highway Fund operations beginning in FY 16/17.

The fund balance in the General Fund is maintained at healthy levels over the five-year period at \$9.9 million to \$10.2 million, which is above the Town's adopted policy requirement of 25% of adopted expenditures each year.

## **Highway Fund**

- 5-Year Forecast of Revenues and Expenditures by Category
- Highway Fund Forecast Assumptions
- Graph of Forecasted Revenues, Expenditures and Fund Balance

Highway Fund revenues are comprised primarily of State shared highway user (gas tax) revenues and local construction sales taxes (transferred from the General Fund beginning in FY 16/17). The State shared highway user revenue projections are provided by the Arizona Department of Transportation. The construction sales tax revenues transferred from the General Fund will maintain the overall fund balance in the Highway Fund at roughly \$500,000 each year.

Highway Fund expenditures reflect similar assumptions as those included in the General Fund forecast for personnel and O&M costs. Funding for the pavement preservation program is included in the forecast at \$1,250,000 each year. As with the General Fund, capacity for capital needs in the Highway Fund are expected to fluctuate, based on available funding sources.

The fund balance in the Highway Fund is projected to decrease to approximately \$500,000 by FY 17/18 and will be maintained at about that same level through FY 20/21.

## **Bed Tax Fund**

- 5-Year Forecast of Revenues and Expenditures by Category
- Bed Tax Fund Forecast Assumptions
- Graph of Forecasted Revenues, Expenditures and Fund Balance

The Bed Tax Fund captures revenues generated by the Town's 6% lodging tax on hotels/motels. State law requires that two-thirds of our bed tax collections be allocated to tourism promotion purposes and economic development. Revenues are expected to grow at a healthy level following completed renovations at the Hilton El Conquistador and continued economic recovery projected in the tourism industry.

Bed Tax Fund expenditures reflect existing contract amounts with Visit Tucson and the Greater Oro Valley Chamber of Commerce, as well as continued funding for SAACA and special events. Also included in the fund are the debt service payments for the Aquatic Center bonds, repayment to the General Fund of \$35,000 per year for borrowed reserves used toward the Aquatic Center construction costs, and payment to the General Fund for the incremental increased operating costs of the Aquatic Center..

The FY 20/21 ending balance in the Bed Tax Fund is projected at about \$417,000.

### **Community Center Fund**

- 5-Year Forecast of Revenues and Expenditures by Category
- Bed Tax Fund Forecast Assumptions
- Graph of Forecasted Revenues, Expenditures and Fund Balance

The Community Center Fund captures Town and contracted operating revenues generated from the Town's Community Center, as well as a dedicated half-cent sales tax that subsidizes operations and provides funding for capital investment. Sales tax collections are expected to grow 3% - 4% per year. Contracted operating revenues from Troon are expected to grow at a healthy, but conservative level of 3.5% per year, following planned capital investments and continued marketing of the facility. Town operating revenues are expected to grow 4% - 4.5% over the forecast period from growth in member dues and recreation program revenues.

Assumptions for contracted operating expenditures from Troon include 3% increases per year in personnel costs, 2% increases per year in costs of good sold, and, with the exception of utilities and base management fees, a 3% increase per year for repair & maintenance and other operating expenditures. Utility costs are held flat over the forecast period due to Council approval of the energy efficiency project. Base management fees are also held flat over the forecast period. The expenditure forecast for Town operations reflect similar assumptions as those included in the General and Highway Fund forecasts for personnel, while operations & maintenance is anticipated to increase 1% - 6% per year. As with the General and Highway Funds, capacity for capital needs can be expected to fluctuate. The Community Center Fund forecast includes the annual loan repayment to the General Fund of \$120,000.

The FY 20/21 ending balance in the Community Center Fund is projected at about \$101,000.

### **FISCAL IMPACT:**

N/A

**SUGGESTED MOTION:**

None - this item is for presentation and discussion.

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**Attachments**

General Fund Forecast

General Fund Assumptions

General Fund Chart

Highway Fund Forecast

Highway Fund Assumptions

Highway Fund Chart

Bed Tax Fund Forecast

Bed Tax Fund Assumptions

Bed Tax Fund Chart

Community Center Fund Forecast

Community Center Fund Assumptions

Community Center Fund Chart

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**TOWN OF ORO VALLEY**  
**Five-Year Forecast**

**GENERAL FUND**

	<u>FY 2015/16 ESTIMATED</u>	<u>FY 2016/17 RECOMMENDED</u>	<u>FY 2017/18 PROJECTED</u>	<u>FY 2018/19 PROJECTED</u>	<u>FY 2019/20 PROJECTED</u>	<u>FY 2020/21 PROJECTED</u>
Beginning Fund Balance	\$ 10,151,872	\$ 9,904,536	\$ 9,939,785	\$ 9,967,375	\$ 10,068,374	\$ 10,190,519
<b>REVENUES</b>						
<b>Local Sales Taxes</b>	<b>14,717,655</b>	<b>15,653,000</b>	<b>16,379,164</b>	<b>17,012,152</b>	<b>16,958,017</b>	<b>17,133,294</b>
<b>Licenses &amp; Permits</b>	<b>1,469,062</b>	<b>1,615,500</b>	<b>1,847,800</b>	<b>2,075,974</b>	<b>1,907,333</b>	<b>1,776,383</b>
<b>State &amp; Fed Grants</b>	<b>1,959,804</b>	<b>2,140,847</b>	<b>2,071,254</b>	<b>2,091,967</b>	<b>2,112,887</b>	<b>2,134,016</b>
<b>State Shared Revenues</b>	<b>10,574,275</b>	<b>10,824,605</b>	<b>11,712,017</b>	<b>11,958,994</b>	<b>12,319,267</b>	<b>12,691,732</b>
<b>Other Intergovernmental</b>	<b>115,000</b>	<b>115,000</b>	<b>117,300</b>	<b>119,646</b>	<b>122,039</b>	<b>124,480</b>
<b>Charges for Services</b>	<b>1,969,976</b>	<b>2,128,601</b>	<b>2,242,459</b>	<b>2,309,733</b>	<b>2,379,025</b>	<b>2,450,396</b>
<b>Fines</b>	<b>140,000</b>	<b>130,000</b>	<b>140,000</b>	<b>160,000</b>	<b>163,200</b>	<b>166,464</b>
<b>Interest Income</b>	<b>94,400</b>	<b>89,200</b>	<b>90,984</b>	<b>92,804</b>	<b>94,660</b>	<b>96,553</b>
<b>Miscellaneous</b>	<b>139,882</b>	<b>140,000</b>	<b>144,200</b>	<b>148,526</b>	<b>152,982</b>	<b>157,571</b>
<b>Other Financing Sources</b>	<b>305,000</b>	<b>305,000</b>	<b>305,000</b>	<b>305,000</b>	<b>305,000</b>	<b>305,000</b>
<b>TOTAL REVENUES</b>	<b>\$ 31,485,054</b>	<b>\$ 33,141,753</b>	<b>\$ 35,050,179</b>	<b>\$ 36,274,795</b>	<b>\$ 36,514,409</b>	<b>\$ 37,035,888</b>

**TOWN OF ORO VALLEY  
Five-Year Forecast**

**GENERAL FUND**

<b>EXPENDITURES</b>	<b>FY 2015/16 ESTIMATED</b>	<b>FY 2016/17 RECOMMENDED</b>	<b>FY 2017/18 PROJECTED</b>	<b>FY 2018/19 PROJECTED</b>	<b>FY 2019/20 PROJECTED</b>	<b>FY 2020/21 PROJECTED</b>
<b>Personnel</b>	<b>22,266,064</b>	<b>23,235,962</b>	<b>24,302,520</b>	<b>25,509,316</b>	<b>26,745,511</b>	<b>28,009,275</b>
<b>Operations &amp; Maintenance</b>	<b>7,397,250</b>	<b>7,479,393</b>	<b>7,396,644</b>	<b>7,461,935</b>	<b>6,569,699</b>	<b>6,613,283</b>
<b>Capital Outlay</b>	<b>432,960</b>	<b>565,845</b>	<b>351,584</b>	<b>358,916</b>	<b>366,394</b>	<b>374,022</b>
<b>Use of Contingency</b>	<b>319,131</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
<b>Transfers Out</b>	<b>1,316,987</b>	<b>1,825,304</b>	<b>2,971,840</b>	<b>2,843,628</b>	<b>2,710,661</b>	<b>2,018,314</b>
<b>TOTAL EXPENDITURES</b>	<b>\$ 31,732,392</b>	<b>\$ 33,106,504</b>	<b>\$ 35,022,589</b>	<b>\$ 36,173,796</b>	<b>\$ 36,392,265</b>	<b>\$ 37,014,894</b>
<b>Surplus/(Deficit)</b>	<b>\$ (247,338)</b>	<b>\$ 35,249</b>	<b>\$ 27,590</b>	<b>\$ 100,999</b>	<b>\$ 122,144</b>	<b>\$ 20,994</b>
Ending Fund Balance	\$ 9,904,534	\$ 9,939,785	\$ 9,967,375	\$ 10,068,374	\$ 10,190,519	\$ 10,211,512
<b>Reserve as % of Expenditures</b>	<b>31.2%</b>	<b>30.0%</b>	<b>28.5%</b>	<b>27.8%</b>	<b>28.0%</b>	<b>27.6%</b>

**GENERAL FUND FORECAST  
REVENUE ASSUMPTIONS**

<i>Revenue Category</i>	<i>Assumptions</i>
<b>Local Sales Taxes</b>  -All categories except construction  -Construction	No annexations assumed  2-4% growth per year in retail tax collections 3-4% growth per year in restaurant/bar tax collections 2-3% growth per year in utility tax collections  Revenues range from \$3.1M to \$3.9M per year depending on single family residential (SFR) and commercial development forecast Nakoma Sky independent living and memory care project included in construction sales tax forecast for FY 17/18 and FY 18/19 Forecast beyond FY 18/19 assumes continued, conservative levels of one-time commercial development Assumes no further legislative changes to construction sales tax reporting
<b>Licenses &amp; Permits</b>	<i>Residential Bldg Permits -</i> SFR Forecast: FY 16/17 - 230 FY 17/18 - 250 FY 18/19 - 275 FY 19/20 - 225 FY 20/21 - 200 SFR revenue/permit of \$4,100-\$4,500 - average over last 4 years Miscellaneous residential permit revenues of \$175K - average over last 4 years  <i>Commercial Building Permits -</i> Revenues stable over last 4 years, averaging \$315K/yr FY 16/17 revenues include the Amphi school and the All Seasons facility at Innovation Corporate Center FY 17/18 revenues include the Nakoma Sky independent living and memory care project Forecast beyond FY 17/18 assumes continued, conservative levels of one-time commercial development permitting activity
<b>Grant Revenues</b>	Minimal growth projected for public safety grants and RTA reimbursement per year for Transit operations
<b>State Shared Revenues</b>	Projections based on Joint Legislative Budget Committee quarterly report (April 2016) Growth projections range from 2-4% Forecast assumes use of Census estimates each year, reflecting new legislation passed in 2016 Projected growth in state-shared income tax (urban revenue sharing) is conservative due to legislative tax changes
<b>Charges for Services</b>	Growth of 3-5% per year
<b>Interest Income</b>	2% growth per year
<b>Fines</b>	Forecast based on historical collections
<b>Other Intergovernmental</b>	Includes Pima County animal control revenues and reimbursement of Library building & maintenance costs
<b>Miscellaneous</b>	Minimal growth projected over the forecast horizon
<b>Other Financing Sources</b>	Fund transfers: \$120K annual loan repayment from the Community Center Fund; \$185K from the Bed Tax Fund, consisting of \$185K annually from the Bed Tax Fund, consisting of \$150K to cover incremental operating costs of expanded Aquatic Center and \$35K repayment to contingency reserves for financing the construction of the expanded Aquatic Center

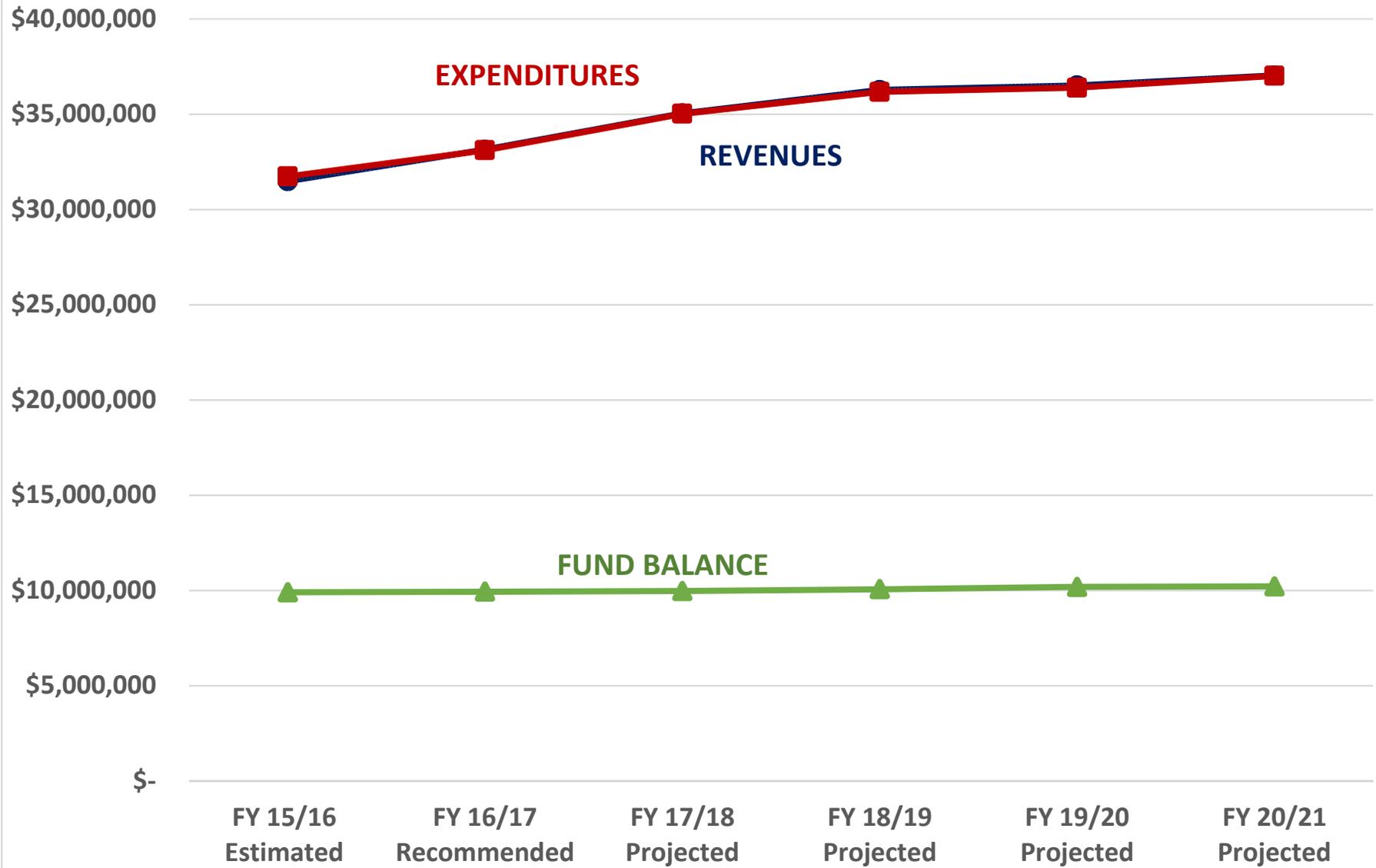
**GENERAL FUND FORECAST  
EXPENDITURE ASSUMPTIONS**

***Expenditure Category***

***Assumptions***

<b><u>Salaries and Benefits</u></b>	Step increases and 3.5% merits, 5% public safety pension increases; 2% health insurance premium increases Forecast does not include any staffing level increases
<b><u>Operations &amp; Maintenance</u></b>	Minimal inflation Forecast assumes continued downward pressure on operating costs General Plan update completed in FY 16/17 OV Marketplace tax rebate ends in spring 2019 Beginning FY 19/20, vehicle reserve balances should reach adequate levels to begin funding replacements
<b><u>CIP Funding</u></b>	Shown as transfers out to CIP Fund Capacity will be limited to available funding and can be expected to fluctuate Transfers of construction sales tax to the Highway Fund will impact the remaining capacity available for CIP funding
<b><u>Debt Service Transfers</u></b>	Ongoing (Series 2005, 2007 and Clean Renewable Energy Bonds)
<b><u>Construction Sales Tax to HW Fund</u></b>	Portion of construction sales tax allocated to Highway Fund shown as transfers out and ranges from \$100K to \$1.5 million

# General Fund Revenues, Expenditures and Fund Balance



**TOWN OF ORO VALLEY  
Five-Year Forecast**

**HIGHWAY FUND**

	<u>FY 2015/16 ESTIMATED</u>	<u>FY 2016/17 RECOMMENDED</u>	<u>FY 2017/18 PROJECTED</u>	<u>FY 2018/19 PROJECTED</u>	<u>FY 2019/20 PROJECTED</u>	<u>FY 2020/21 PROJECTED</u>
Beginning Fund Balance	\$ 3,291,083	\$ 2,001,727	\$ 877,892	\$ 525,344	\$ 452,454	\$ 456,450
<b>REVENUES</b>						
State Grants	173,341	195,000	102,080	23,200	-	-
Highway User Tax	2,985,464	3,000,000	3,114,303	3,207,733	3,303,964	3,403,083
Charges for Services	134,000	134,000	138,556	143,267	148,138	153,175
Licenses & Permits	48,000	52,500	50,000	50,000	50,000	50,000
Interest Income	22,400	28,600	29,172	29,755	30,351	30,958
Miscellaneous	38,582	80,000	10,000	10,000	10,000	10,000
Transfers from General Fund	-	100,000	800,000	1,200,000	1,500,000	1,200,000
<b>TOTAL REVENUES</b>	<b>\$ 3,401,787</b>	<b>\$ 3,590,100</b>	<b>\$ 4,244,111</b>	<b>\$ 4,663,955</b>	<b>\$ 5,042,453</b>	<b>\$ 4,847,216</b>
<b>EXPENDITURES</b>						
Personnel	1,922,899	1,984,174	2,051,636	2,121,392	2,193,519	2,268,098
O&M	826,643	1,012,979	967,359	981,532	950,848	964,856
Capital Outlay	363,235	528,750	100,000	155,000	415,000	105,000
Pavement Preservation	1,350,000	1,150,000	1,250,000	1,250,000	1,250,000	1,250,000
Transfer to Debt Service	228,366	38,032	227,665	228,921	229,091	227,206
<b>TOTAL EXPENDITURES</b>	<b>\$ 4,691,143</b>	<b>\$ 4,713,935</b>	<b>\$ 4,596,659</b>	<b>\$ 4,736,845</b>	<b>\$ 5,038,458</b>	<b>\$ 4,815,161</b>
<b>Surplus/(Deficit)</b>	<b>\$ (1,289,356)</b>	<b>\$ (1,123,835)</b>	<b>\$ (352,548)</b>	<b>\$ (72,890)</b>	<b>\$ 3,995</b>	<b>\$ 32,055</b>
Ending Fund Balance	\$ 2,001,727	\$ 877,892	\$ 525,344	\$ 452,454	\$ 456,450	\$ 488,505

## HIGHWAY FUND ASSUMPTIONS

### REVENUES

**Category**

**Assumptions**

<b><u>State Grants</u></b>	Reimbursements from Pima Association of Governments and Regional Transportation Authority for contract administration of roadway widening projects Revenues correspond to forecasted project schedules and are subject to fluctuation
<b><u>Highway User Tax</u></b>	Projections per Arizona Department of Transportation Base HURF growth approximately 3.5% per year Forecast assumes continued HURF sweeps for Department of Public Safety funding Forecast assumes use of Census estimates each year, reflecting new legislation passed in 2016
<b><u>Charges for Services</u></b>	Reimbursement from Stormwater Utility Fund for storm clean-up of streets Growth tied to annual Highway Fund personnel increases
<b><u>Licenses &amp; Permits</u></b>	Road permits roughly flat - \$50K per year based on historicals
<b><u>Interest Income</u></b>	2% growth per year
<b><u>Miscellaneous</u></b>	\$10K projected miscellaneous revenues based on historicals
<b><u>Transfer from General Fund</u></b>	Portion of construction sales tax required to subsidize pavement preservation program and Highway Fund operations; ranges from \$100K to \$1.5 million each year

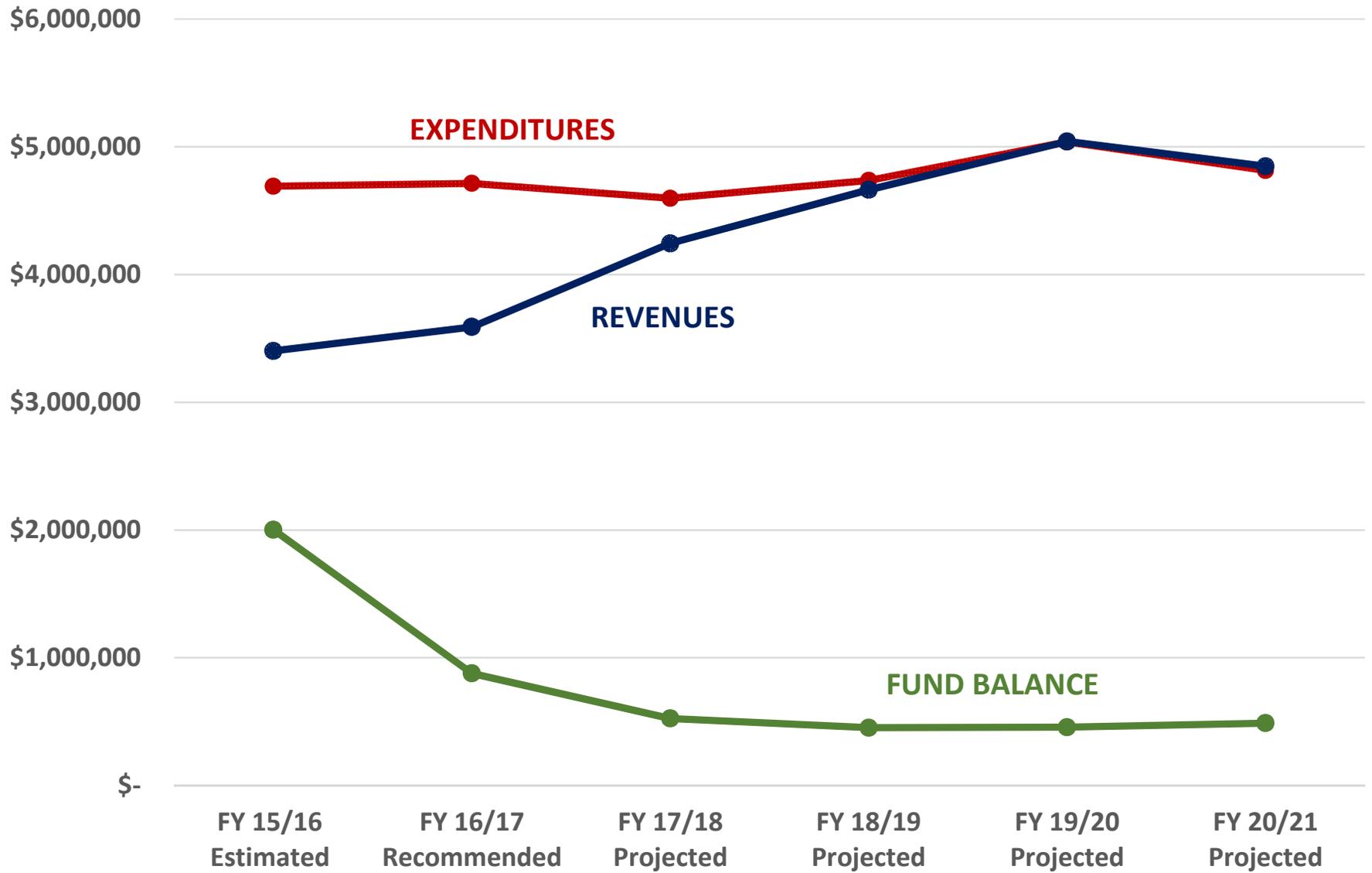
### EXPENDITURES

**Category**

**Assumptions**

<b><u>Salaries and Benefits</u></b>	3.5% merit increases, 2% health insurance premium increases, pension rates held flat
<b><u>Operations &amp; Maintenance</u></b>	Minimal inflation As with General Fund, downward pressure on operating costs will continue
<b><u>Debt Service Transfers</u></b>	Transfers for Series 2005 debt service (savings in FY 16/17 are result of refunding)
<b><u>CIP Funding</u></b>	Capacity will be limited to available funding and can be expected to fluctuate
<b><u>Pavement Preservation</u></b>	Funding maintains current OCI rating of 77

# Highway Fund Revenues, Expenditures and Fund Balance



**TOWN OF ORO VALLEY**  
**Five-Year Forecast**

**BED TAX FUND**

	<u>FY 2015/16 ESTIMATED</u>	<u>FY 2016/17 RECOMMENDED</u>	<u>FY 2017/18 PROJECTED</u>	<u>FY 2018/19 PROJECTED</u>	<u>FY 2019/20 PROJECTED</u>	<u>FY 2020/21 PROJECTED</u>
Beginning Fund Balance	\$ 464,626	\$ 332,778	\$ 229,900	\$ 243,673	\$ 274,641	\$ 333,849
<b>REVENUES</b>						
Bed Taxes	945,000	1,085,805	1,171,584	1,206,731	1,242,933	1,280,221
Interest Income	4,800	6,200	6,324	6,450	6,579	6,711
<b>TOTAL REVENUES</b>	<b>\$ 949,800</b>	<b>\$ 1,092,005</b>	<b>\$ 1,177,908</b>	<b>\$ 1,213,182</b>	<b>\$ 1,249,513</b>	<b>\$ 1,286,932</b>
<b>EXPENDITURES</b>						
Economic Development						
Personnel	244,573	259,409	268,229	277,349	286,779	296,529
General O&M	15,231	15,730	15,887	16,046	16,207	16,369
Visit Tucson	215,000	250,000	275,000	275,000	275,000	275,000
Chamber of Commerce	30,000	30,000	30,000	30,000	30,000	30,000
SAACA	32,300	32,550	35,000	35,000	35,000	35,000
Special Events	45,000	22,000	50,000	50,000	50,000	50,000
Tohono Chul	10,000	-	-	-	-	-
Local Econ Dev Marketing	75,000	75,000	80,000	85,000	85,000	90,000
Other Financing Uses						
Tfr to Debt Service Fund	229,544	225,194	225,019	228,819	227,319	225,619
Tfr to General Government CIP Fund		100,000	-	-	-	-
Aquatics/Econ Dev Gen Fund Subsidy	185,000	185,000	185,000	185,000	185,000	185,000
<b>TOTAL EXPENDITURES</b>	<b>\$ 1,081,648</b>	<b>\$ 1,194,883</b>	<b>\$ 1,164,135</b>	<b>\$ 1,182,214</b>	<b>\$ 1,190,304</b>	<b>\$ 1,203,516</b>
<b>Surplus/(Deficit)</b>	<b>\$ (131,848)</b>	<b>\$ (102,878)</b>	<b>\$ 13,773</b>	<b>\$ 30,968</b>	<b>\$ 59,209</b>	<b>\$ 83,416</b>
Ending Fund Balance	\$ 332,778	\$ 229,900	\$ 243,673	\$ 274,641	\$ 333,849	\$ 417,265

## BED TAX FUND ASSUMPTIONS

### REVENUES

#### Category

#### Assumptions

<b>Local Sales Taxes</b>	
- Bed Tax	Growth in FY 16/17 and FY 17/18 attributable to El Conquistador renovations; 3% growth per year thereafter
<b>Interest Income</b>	
	2% growth per year

### EXPENDITURES

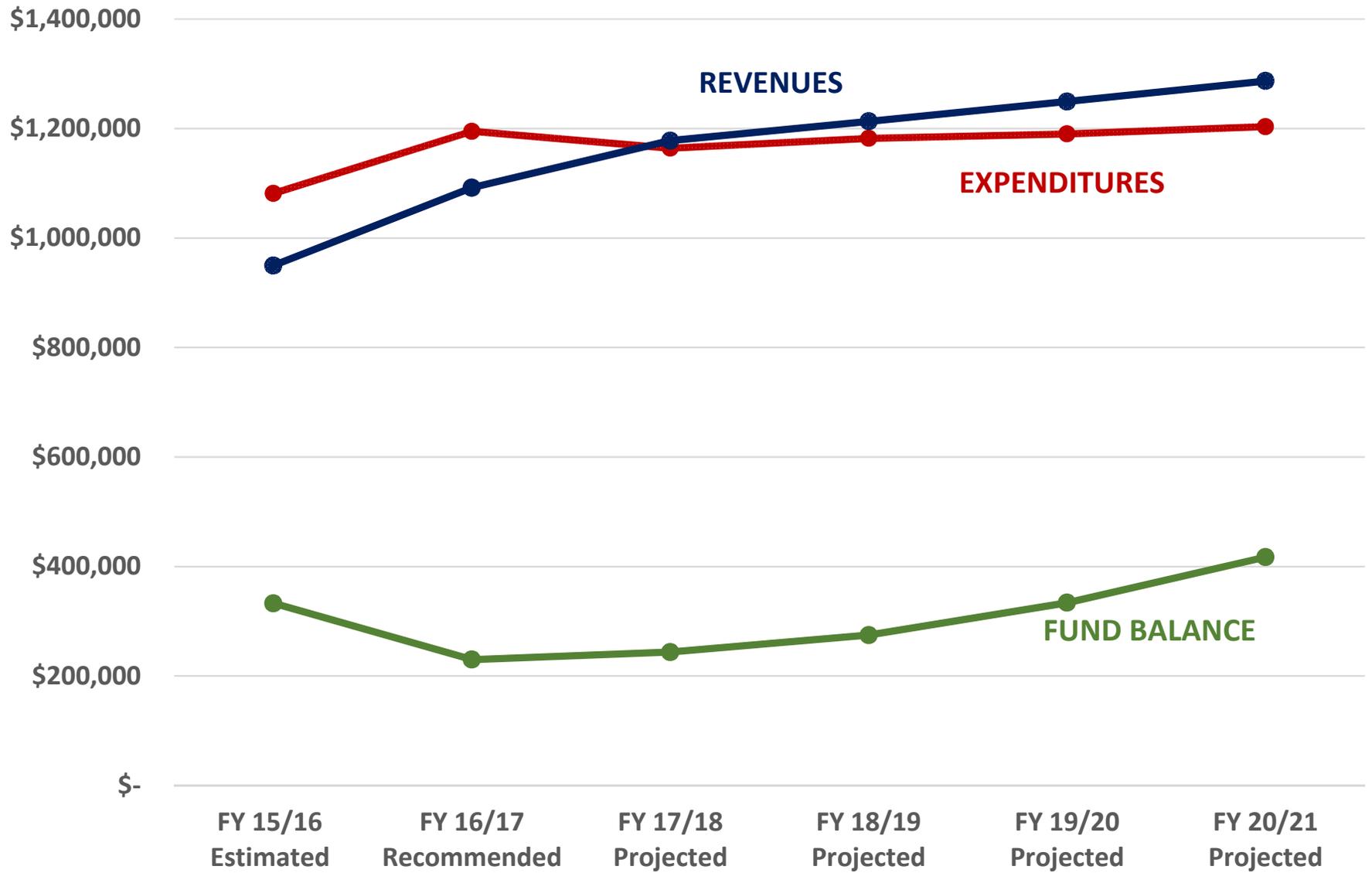
#### Category

#### Assumptions

<b>Salaries and Benefits</b>	
	3.5% merit increases, 2% health insurance premium increases, pension rates held flat
<b>Operations &amp; Maintenance</b>	
	Visit Tucson funded at \$250K-\$275K per year Chamber of Commerce funded at \$30K per year SAACA funding of \$32.5K in FY 16/17 and \$35K per year thereafter Special event capacity of \$22K in FY 16/17 and \$50K continuing capacity in future years Local economic development marketing budget of \$75K-90K per year
<b>Fund Transfers</b>	
	Annual transfers to Debt Service Fund for Aquatics bonds Annual transfer to General Fund - consists of \$150K for incremental operating costs of expanded Aquatic Center and \$35K repayment to contingency reserves for financing the construction of the expanded Aquatic Center \$100K transfer to General Government CIP Fund in FY 16/17 for construction of multi-use fields at Naranja Park

# Bed Tax Fund

## Revenues, Expenditures and Fund Balance



**TOWN OF ORO VALLEY**  
**Five-Year Forecast**

**COMMUNITY CENTER FUND**

	<b>FY 2015/16 ESTIMATED</b>	<b>FY 2016/17 RECOMMENDED</b>	<b>FY 2017/18 PROJECTED</b>	<b>FY 2018/19 PROJECTED</b>	<b>FY 2019/20 PROJECTED</b>	<b>FY 2020/21 PROJECTED</b>
Beginning Fund Balance	\$ 1,025,222	\$ 314,193	\$ 42,028	\$ 90,692	\$ 108,171	\$ 150,287
<b>REVENUES</b>						
Local Sales Tax	2,030,000	2,105,163	2,177,588	2,258,350	2,343,176	2,430,227
Community Center Operating Revenue	713,612	765,061	819,561	852,343	886,437	926,327
Contracted Operating Revenues	3,073,662	3,745,014	3,876,090	4,011,753	4,152,164	4,297,490
Miscellaneous	350	-	-	-	-	-
<b>TOTAL REVENUES</b>	<b>\$ 5,817,624</b>	<b>\$ 6,615,238</b>	<b>\$ 6,873,239</b>	<b>\$ 7,122,446</b>	<b>\$ 7,381,778</b>	<b>\$ 7,654,044</b>
<b>EXPENDITURES</b>						
Community Center Operations	748,712	960,684	1,000,817	1,043,254	1,039,349	1,054,349
Contracted Operations	5,329,941	5,279,519	5,393,758	5,486,714	5,595,313	5,693,930
Capital Outlay	450,000	527,200	310,000	455,000	585,000	835,000
Transfer to General Fund	-	120,000	120,000	120,000	120,000	120,000
<b>TOTAL EXPENDITURES</b>	<b>\$ 6,528,653</b>	<b>\$ 6,887,403</b>	<b>\$ 6,824,575</b>	<b>\$ 7,104,968</b>	<b>\$ 7,339,662</b>	<b>\$ 7,703,279</b>
<b>Surplus/(Deficit)</b>	<b>\$ (711,029)</b>	<b>\$ (272,165)</b>	<b>\$ 48,664</b>	<b>\$ 17,479</b>	<b>\$ 42,116</b>	<b>\$ (49,235)</b>
Ending Fund Balance	\$ 314,193	\$ 42,028	\$ 90,692	\$ 108,171	\$ 150,287	\$ 101,052

## COMMUNITY CENTER FUND ASSUMPTIONS

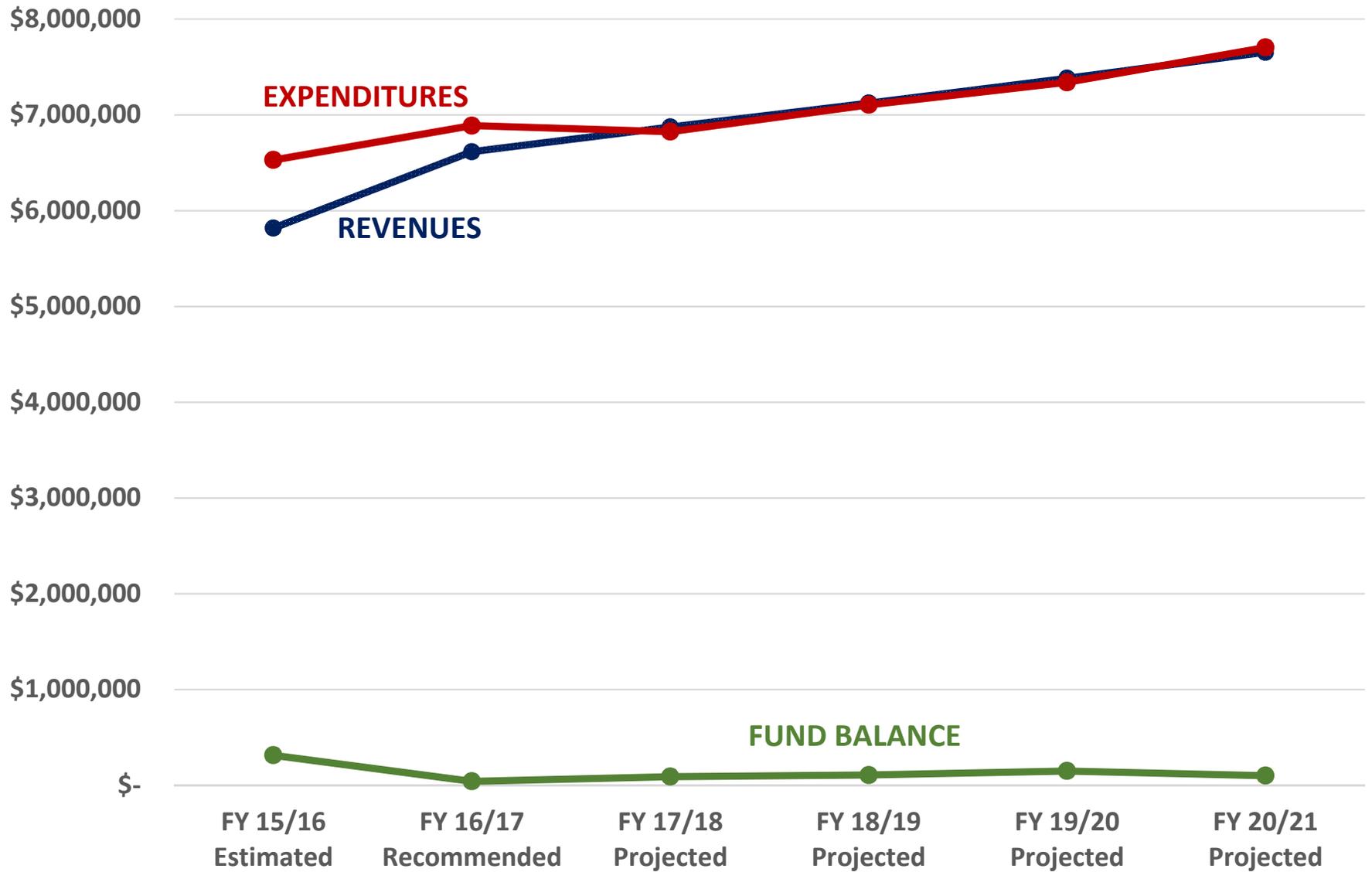
### REVENUES

<i>Category</i>	<i>Assumptions</i>
<b><u>Local Sales Taxes</u></b>	3-4% growth per year in half-cent dedicated sales tax collections, from anticipated retail and restaurant/bar tax growth
<b><u>Community Center Operating Revenues</u></b>	Revenue projections are conservative, while also reflecting the growth anticipated from capital investment in the facility 3-4.5% growth per year in member due revenues 1-4% growth per year in recreation program revenues
<b><u>Contracted Operating Revenues</u></b>	Growth projections of 3.5% per year

### EXPENDITURES

<i>Category</i>	<i>Assumptions</i>
<b><u>Community Center Operations</u></b>	Personnel assumptions include 3.5% merit increases and 2% health insurance premium increases; pension rates held flat Forecast does not include any staffing level increases 1-6% growth per year in operations & maintenance (O&M) costs Forecasted growth in O&M costs includes increased capacity for advertising
<b><u>Contracted Operating Expenditures</u></b>	3% increase per year in payroll and employee benefit costs 2% increase per year in cost of goods sold Utility costs assumed flat due to energy efficiency project 3% increase per year in repair & maintenance and other operating expenditures Base management fees remain flat over forecast period
<b><u>Capital Outlay &amp; CIP Funding</u></b>	Capacity will be limited to available funding and can be expected to fluctuate Forecast includes \$35K each year for fitness equipment needs
<b><u>Transfers to General Fund</u></b>	Assumed at \$120K per year

# Community Center Fund Revenues, Expenditures and Fund Balance





**Town Council Regular Session**

Item # 5.

**Meeting Date:** 06/01/2016

**Requested by:** Stacey Lemos

**Submitted By:** Stacey Lemos, Finance

**Department:** Finance

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**Information**

**SUBJECT:**

PUBLIC HEARING: RESOLUTION NO. (R)16-25, APPROVING THE ADOPTION OF THE FINAL BUDGET OF THE TOWN OF ORO VALLEY FOR THE FISCAL YEAR 2016/17, INCLUDING APPROVAL OF THE 15-YEAR CAPITAL IMPROVEMENT PROGRAM (CIP) FROM FY 2016/17 THROUGH FY 2030/31

**RECOMMENDATION:**

Staff recommends approval.

**EXECUTIVE SUMMARY:**

On May 19, 2016, the Town Council adopted the Tentative Budget and set the local expenditure limitation for Fiscal Year 2016/17 in the amount of \$125,885,698. The Final Budget presented this evening includes the Council-approved changes from the May 19th Council meeting to include the following: funding for new swings at Riverfront Park totaling \$21,480 in the General Fund, a new fund entitled 'Energy Efficiency Project Fund' to account for this project at the Oro Valley Community Center with a budget of \$3 million, and an additional new fund entitled 'Capital Project Bond Fund' to provide budget capacity for the possible issuance of bonds in FY 2016/17 with a budget of \$5 million. Tonight is the second public hearing scheduled for the adoption of the Final Budget, including adoption of the 15-Year Capital Improvement Program (CIP) for FY 2016/17 through FY 2030/31.

No other changes have been proposed to the May 19th Tentative Budget amounts; however, Town Council may authorize additional changes to the the budget amounts this evening so long as those changes do not increase the maximum expenditure cap approved on May 19th.

**BACKGROUND OR DETAILED INFORMATION:**

The attached Auditor General budget forms summarize the revenues, expenditures and interfund transfers included in the FY 2016/17 budget and were published in the Daily Territorial newspaper as required by state law.

Also attached to this communication is the 15-Year CIP for FY 2016/17 through FY 2030/31. The first year CIP costs of \$27.7 million have been included in the Final Budget document.

While updating the 5-Year Financial Forecast presented to Town Council at this evening's meeting, it was necessary to make several adjustments to the proposed 15-Year CIP included in the FY 2016/17 Recommended Budget. These adjustments were necessary to balance the 5-Year Financial Forecast due to fluctuations in future capital funding capacity in the General Fund and Highway Fund. The updated Capital Improvement Program is attached and the changes are highlighted in yellow. Note that changes in the Community Center Fund include: 1) removal of the golf course irrigation pump rebuild due to Council approval of the energy efficiency project; 2) \$25K reduction for tennis court improvements due to ability to self-perform; and 3) acceleration and increase for golf course irrigation replacement for FY's 17/18 through 20/21, based on available capacity per the five-year forecast. Also added to the 15-Year CIP document are two new capital project funds: the Energy Efficiency Project Fund with a budget of \$3 million; and a Capital Project Bond Fund with a budget of \$5 million based on Council direction at the May 19th Council meeting to increase the budget limit for the possible issuance of bonds during FY 2016/17.

It is important to note that the first year of the CIP, FY 2016/17, is included in the adopted budget. The future years in the CIP are a forecast based on current assumptions of funding availability and Town needs and are subject to change and updating during future budget processes.

**FISCAL IMPACT:**

N/A

**SUGGESTED MOTION:**

I MOVE to (approve/deny) Resolution No. (R)16-25, approving the adoption of the final budget of the Town of Oro Valley for the Fiscal Year 2016/17 and further MOVE to approve the Town of Oro Valley 15-Year Capital Improvement Program for FY 2016/17 through FY 2030/31.

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**Attachments**

(R)16-25 Adopting Final Budget for FY 2016/17  
Auditor General Schedules  
15-Year CIP 6.1.16

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**RESOLUTION NO. (R)16-25**

**A RESOLUTION OF THE MAYOR AND COUNCIL OF THE TOWN OF ORO VALLEY, ARIZONA, APPROVING THE ADOPTION OF THE BUDGET OF THE TOWN OF ORO VALLEY FOR THE FISCAL YEAR 2016-2017**

**WHEREAS**, on May 19, 2016, in accordance with Arizona Revised Statutes §§ 42-17101 and 42-17102, the Town authorized an estimate of the different amounts required to meet the public expenditures for the ensuing year, an estimate of revenues from sources other than direct taxation and the amount to be raised by taxation upon real and personal property of the Town of Oro Valley; and

**WHEREAS**, after notice of a public hearing in accordance with Arizona Revised Statutes §§ 42-17103, 42-17104 and 42-17105, the Council met on June 1, 2016 at which time any taxpayer was entitled to appear and be heard in favor of or against any of the proposed expenditures or tax levies before the Council adopted the estimates of the proposed expenditures, constituting the budget of the Town of Oro Valley for the Fiscal Year 2016-2017; and

**WHEREAS**, the sums to be raised by taxation, as specified therein, do not in the aggregate amount exceed the primary property tax levy limits as calculated in accordance with Arizona Revised Statutes § 42-17051(A); and

**WHEREAS**, it is in the best interest of the Town of Oro Valley to approve the estimates and expenditures/expenses shown on the accompanying schedules for the Fiscal Year 2016-2017.

**NOW, THEREFORE, BE IT RESOLVED** by the Mayor and Council of the Town of Oro Valley, Arizona, that the said estimates of revenues and expenditures/expenses shown on the accompanying schedules, as now increased, reduced or changed, are hereby adopted and approved as the budget of the Town of Oro Valley for the Fiscal Year 2016-2017 in the amount of \$125,885,698.

**BE IT FURTHER RESOLVED** that the Mayor and Council of the Town of Oro Valley are hereby authorized to take such steps as are necessary to execute and implement the budget for the Fiscal Year 2016-2017.

**PASSED AND ADOPTED** by the Mayor and Town Council of the Town of Oro Valley, Arizona this 1<sup>st</sup> day of June, 2016.

**TOWN OF ORO VALLEY, ARIZONA**

\_\_\_\_\_  
Dr. Satish I. Hiremath, Mayor

**ATTEST:**

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Julie K. Bower, Town Clerk

\_\_\_\_\_  
Tobin Sidles, Legal Services Director

Date: \_\_\_\_\_

Date: \_\_\_\_\_

**OFFICIAL BUDGET FORMS**

**TOWN OF ORO VALLEY**

**Fiscal Year 2017**

**TOWN OF ORO VALLEY**  
**Summary Schedule of Estimated Revenues and Expenditures/Expenses**  
**Fiscal Year 2017**

Fiscal Year	S c h	FUNDS								
		General Fund	Special Revenue Fund	Debt Service Fund	Capital Projects Fund	Permanent Fund	Enterprise Funds Available	Internal Service Funds	Total All Funds	
2016	Adopted/Adjusted Budgeted Expenditures/Expenses*	E	40,312,070	15,854,769	1,139,600	28,622,362	0	28,887,484	4,871,424	119,687,709
2016	Actual Expenditures/Expenses**	E	30,415,403	11,892,337	1,074,739	5,322,411	0	18,646,002	4,138,703	71,489,595
2017	Fund Balance/Net Position at July 1***		9,904,536	2,890,543	76,186	14,612,974	0	12,339,849	727,413	40,551,501
2017	Primary Property Tax Levy	B	0							0
2017	Secondary Property Tax Levy	B								0
2017	Estimated Revenues Other than Property Taxes	C	32,836,753	11,512,343	323,503	11,667,665	0	16,381,195	4,612,738	77,334,197
2017	Other Financing Sources	D	0	0	0	8,000,000	0	0	0	8,000,000
2017	Other Financing (Uses)	D	0	0	0	0	0	0	0	0
2017	Interfund Transfers In	D	305,000	100,000	474,472	1,867,000	0	0	0	2,746,472
2017	Interfund Transfers (Out)	D	1,825,304	668,226	0	250,000	0	2,942	0	2,746,472
2017	Reduction for Amounts Not Available:									
	LESS: Amounts for Future Debt Retirement:									0
										0
										0
										0
2017	Total Financial Resources Available		41,220,985	13,834,660	874,161	35,897,639	0	28,718,102	5,340,151	125,885,698
2017	Budgeted Expenditures/Expenses	E	41,220,985	13,834,660	874,161	35,897,639	0	28,718,102	5,340,151	125,885,698

**EXPENDITURE LIMITATION COMPARISON**

1. Budgeted expenditures/expenses
2. Add/subtract: estimated net reconciling items
3. Budgeted expenditures/expenses adjusted for reconciling items
4. Less: estimated exclusions
5. Amount subject to the expenditure limitation
6. EEC expenditure limitation

	2016	2017
1. Budgeted expenditures/expenses	\$ 119,687,709	\$ 125,885,698
2. Add/subtract: estimated net reconciling items		
3. Budgeted expenditures/expenses adjusted for reconciling items	119,687,709	125,885,698
4. Less: estimated exclusions		
5. Amount subject to the expenditure limitation	\$ 119,687,709	\$ 125,885,698
6. EEC expenditure limitation	\$ 119,687,709	\$ 125,885,698

The city/town does not levy property taxes and does not have special assessment districts for which property taxes are levied. Therefore, Schedule B has been omitted.

\* Includes Expenditure/Expense Adjustments Approved in the current year from Schedule E.

\*\* Includes actual amounts as of the date the proposed budget was prepared, adjusted for estimated activity for the remainder of the fiscal year.

\*\*\* Amounts on this line represent Fund Balance/Net Position amounts except for amounts not in spendable form (e.g., prepaids and inventories) or legally or contractually required to be maintained intact (e.g., principal of a permanent fund).

**TOWN OF ORO VALLEY**  
**Revenues Other Than Property Taxes**  
**Fiscal Year 2017**

<b>SOURCE OF REVENUES</b>	<b>ESTIMATED REVENUES 2016</b>	<b>ACTUAL REVENUES* 2016</b>	<b>ESTIMATED REVENUES 2017</b>
<b>GENERAL FUND</b>			
<b>Local taxes</b>			
Local Sales Tax	\$ 14,780,654	\$ 14,137,655	\$ 15,073,000
Cable Franchise Tax	570,000	580,000	580,000
<b>Licenses and permits</b>			
Licenses	192,000	195,000	196,000
Permits	1,516,000	1,222,062	1,368,500
Fees	56,000	52,000	51,000
<b>Intergovernmental</b>			
State/County Shared	10,428,531	10,574,275	10,824,605
State Grants	1,434,300	1,442,016	1,662,563
Federal Grants	551,545	517,788	478,284
Other	105,000	115,000	115,000
<b>Charges for services</b>			
Reimbursements	122,000	140,850	131,000
Fees	1,043,100	1,119,892	1,150,675
Other	708,734	709,234	846,926
<b>Fines and forfeits</b>			
Fines	120,000	140,000	130,000
<b>Interest on investments</b>			
Interest Income	94,400	94,400	89,200
<b>Miscellaneous</b>			
Miscellaneous	135,000	139,882	140,000
<b>Total General Fund</b>	<b>\$ 31,857,264</b>	<b>\$ 31,180,054</b>	<b>\$ 32,836,753</b>

\* Includes actual revenues recognized on the modified accrual or accrual basis as of the date the proposed budget was prepared, plus estimated revenues for the remainder of the fiscal year.

**TOWN OF ORO VALLEY**  
**Revenues Other Than Property Taxes**  
**Fiscal Year 2017**

SOURCE OF REVENUES	ESTIMATED REVENUES 2016	ACTUAL REVENUES* 2016	ESTIMATED REVENUES 2017
<b>SPECIAL REVENUE FUNDS</b>			
<b>Highway User Revenue Fund</b>			
Highway User Fuel Tax	\$ 2,985,464	\$ 2,985,464	\$ 3,000,000
Permits	51,000	48,000	52,500
Interest Income	22,400	22,400	28,600
Charges for Services	134,000	134,000	134,000
State Grants	173,341	173,341	195,000
Other	10,000	38,582	80,000
	<u>\$ 3,202,864</u>	<u>\$ 3,401,787</u>	<u>\$ 3,490,100</u>
<b>Bed Tax Fund</b>			
Local Sales Tax	\$ 945,000	\$ 945,000	\$ 1,085,805
Interest Income	4,800	4,800	6,200
	<u>\$ 949,800</u>	<u>\$ 949,800</u>	<u>\$ 1,092,005</u>
<b>Seizures &amp; Forfeitures - State Fund</b>			
Seizures and Forfeitures	\$ 175,000	\$ 63,488	\$ 275,000
Interest Income	1,000	1,000	1,000
	<u>\$ 175,000</u>	<u>\$ 64,488</u>	<u>\$ 275,000</u>
<b>Seizures &amp; Forfeitures - Federal Fund</b>			
Seizures and Forfeitures	\$ 250,000	\$ 9,408	\$ 9,408
Interest Income	300	300	300
	<u>\$ 250,000</u>	<u>\$ 9,708</u>	<u>\$ 9,708</u>
<b>Impound Fee Fund</b>			
Fees	\$ 34,000	\$ 40,000	\$ 40,000
	<u>\$ 34,000</u>	<u>\$ 40,000</u>	<u>\$ 40,000</u>
<b>Community Center Fund</b>			
Local Sales Tax	\$ 2,000,000	\$ 2,000,000	\$ 2,105,163
Charges for Services	5,400,763	3,985,544	4,482,214
Other	28,211	28,211	27,861
	<u>\$ 7,400,763</u>	<u>\$ 6,013,755</u>	<u>\$ 6,615,238</u>
<b>Total Special Revenue Funds</b>	<u>\$ 12,012,427</u>	<u>\$ 10,479,538</u>	<u>\$ 11,512,343</u>

\* Includes actual revenues recognized on the modified accrual or accrual basis as of the date the proposed budget was prepared, plus estimated revenues for the remainder of the fiscal year.

**TOWN OF ORO VALLEY**  
**Revenues Other Than Property Taxes**  
**Fiscal Year 2017**

SOURCE OF REVENUES	ESTIMATED REVENUES 2016	ACTUAL REVENUES* 2016	ESTIMATED REVENUES 2017
<b>DEBT SERVICE FUNDS</b>			
<b>Municipal Debt Service Fund</b>			
Federal Grants	\$ 58,238	\$ 58,238	\$ 54,945
Interest Income		40	
Miscellaneous	90,000	90,000	90,000
	\$ 148,238	\$ 148,278	\$ 144,945
<b>Oracle Road Improvement District</b>			
Special Assessments	\$ 175,153	\$ 175,153	\$ 178,558
	\$ 175,153	\$ 175,153	\$ 178,558
<b>Total Debt Service Funds</b>	\$ 323,391	\$ 323,431	\$ 323,503
<b>CAPITAL PROJECTS FUNDS</b>			
<b>Alternative Water Resources Development Impact Fee Fund</b>			
Development Impact Fees	\$ 1,331,323	\$ 1,117,022	\$ 1,040,089
Interest Income	19,840	19,840	26,400
	\$ 1,351,163	\$ 1,136,862	\$ 1,066,489
<b>Potable Water System Development Impact Fee Fund</b>			
Development Impact Fees	\$ 663,207	\$ 530,480	\$ 519,058
Interest Income	19,840	19,840	28,800
	\$ 683,047	\$ 550,320	\$ 547,858
<b>Townwide Roadway Development Impact Fee Fund</b>			
Development Impact Fees	\$ 424,532	\$ 340,000	\$ 340,167
Interest Income	2,000	3,500	3,000
	\$ 426,532	\$ 343,500	\$ 343,167
<b>Parks &amp; Recreation Impact Fee Fund</b>			
Development Impact Fees	\$ 171,200	\$ 105,000	\$ 132,680
Interest Income		200	
	\$ 171,200	\$ 105,200	\$ 132,680
<b>Police Impact Fee Fund</b>			
Development Impact Fees	\$ 66,917	\$ 47,000	\$ 74,000
Interest Income		300	
	\$ 66,917	\$ 47,300	\$ 74,000
<b>General Government Impact Fee Fund</b>			
Interest Income	\$	\$ 5	\$
	\$	\$ 5	\$
<b>General Government CIP Fund</b>			
State Grants	\$ 81,000	\$	\$ 81,000
	\$ 81,000	\$	\$ 81,000
<b>PAG/RTA Fund</b>			
State Grants	\$ 10,414,000	\$ 3,172,229	\$ 9,249,971
Other	22,500	22,500	22,500
Interest Income	500		
	\$ 10,437,000	\$ 3,194,729	\$ 9,272,471
<b>Library Impact Fee Fund</b>			
Donations	\$ 30,000	\$	\$ 150,000
	\$ 30,000	\$	\$ 150,000
<b>Recreation In Lieu Fee Fund</b>			
Fees	\$	\$ 21,728	\$
	\$	\$ 21,728	\$
<b>Total Capital Projects Funds</b>	\$ 13,246,859	\$ 5,399,644	\$ 11,667,665

\* Includes actual revenues recognized on the modified accrual or accrual basis as of the date the proposed budget was prepared, plus estimated revenues for the remainder of the fiscal year.

**TOWN OF ORO VALLEY**  
**Revenues Other Than Property Taxes**  
**Fiscal Year 2017**

<b>SOURCE OF REVENUES</b>	<b>ESTIMATED REVENUES 2016</b>	<b>ACTUAL REVENUES* 2016</b>	<b>ESTIMATED REVENUES 2017</b>
<b>ENTERPRISE FUNDS</b>			
<b>Oro Valley Water Utility Fund</b>			
Water Sales	\$ 12,160,500	\$ 11,660,941	\$ 11,961,395
Charges for Services	3,184,200	2,988,800	3,043,800
Interest Income	59,520	59,520	72,000
Miscellaneous		13,608	
	\$ 15,404,220	\$ 14,722,869	\$ 15,077,195
<b>Stormwater Utility Fund</b>			
State Grants	\$ 35,000	\$ 35,000	\$
Charges for Services	787,000	787,000	1,303,500
Interest Income	250	300	500
	\$ 822,250	\$ 822,300	\$ 1,304,000
<b>Total Enterprise Funds</b>	<b>\$ 16,226,470</b>	<b>\$ 15,545,169</b>	<b>\$ 16,381,195</b>

\* Includes actual revenues recognized on the modified accrual or accrual basis as of the date the proposed budget was prepared, plus estimated revenues for the remainder of the fiscal year.

**TOWN OF ORO VALLEY**  
**Revenues Other Than Property Taxes**  
**Fiscal Year 2017**

<b>SOURCE OF REVENUES</b>	<b>ESTIMATED REVENUES 2016</b>	<b>ACTUAL REVENUES* 2016</b>	<b>ESTIMATED REVENUES 2017</b>
<b>INTERNAL SERVICE FUNDS</b>			
<b>Fleet Fund</b>			
Fleet Services	\$ 1,333,903	\$ 1,278,303	\$ 1,297,202
Miscellaneous	194,329	184,329	284,796
	\$ 1,528,232	\$ 1,462,632	\$ 1,581,998
<b>Benefit Self Insurance Fund</b>			
Miscellaneous	\$ 2,860,400	\$ 2,860,400	\$ 3,030,740
	\$ 2,860,400	\$ 2,860,400	\$ 3,030,740
<b>Total Internal Service Funds</b>	\$ 4,388,632	\$ 4,323,032	\$ 4,612,738
<b>TOTAL ALL FUNDS</b>	\$ 78,055,043	\$ 67,250,868	\$ 77,334,197

\* Includes actual revenues recognized on the modified accrual or accrual basis as of the date the proposed budget was prepared, plus estimated revenues for the remainder of the fiscal year.

**TOWN OF ORO VALLEY**  
**Other Financing Sources/<Uses> and Interfund Transfers**  
**Fiscal Year 2017**

<b>FUND</b>	<b>OTHER FINANCING 2017</b>		<b>INTERFUND TRANSFERS 2017</b>	
	<b>SOURCES</b>	<b>&lt;USES&gt;</b>	<b>IN</b>	<b>&lt;OUT&gt;</b>
<b>GENERAL FUND</b>				
Transfer from Bed Tax Fund	\$	\$	\$ 185,000	\$
Transfer from Community Center Fund			120,000	
Transfer to Highway Fund				100,000
Transfer to Municipal Debt Service Fund				205,304
Transfer to Oracle Rd Improvement District Fund				3,000
Transfer to General Government CIP Fund				1,517,000
<b>Total General Fund</b>	\$	\$	\$ 305,000	\$ 1,825,304
<b>SPECIAL REVENUE FUNDS</b>				
Highway Fund	\$	\$	\$ 100,000	\$ 38,032
Bed Tax Fund				510,194
Community Center Fund				120,000
<b>Total Special Revenue Funds</b>	\$	\$	\$ 100,000	\$ 668,226
<b>DEBT SERVICE FUNDS</b>				
Municipal Debt Service Fund	\$	\$	\$ 471,472	\$
Oracle Road Improvement District Fund			3,000	
<b>Total Debt Service Funds</b>	\$	\$	\$ 474,472	\$
<b>CAPITAL PROJECTS FUNDS</b>				
General Government CIP Fund	\$	\$	\$ 1,867,000	\$
Parks and Recreation Impact Fee Fund				250,000
Energy Efficiency Project Fund		3,000,000		
Capital Project Bond Fund		5,000,000		
<b>Total Capital Projects Funds</b>	\$	\$ 8,000,000	\$ 1,867,000	\$ 250,000
<b>ENTERPRISE FUNDS</b>				
Oro Valley Water Utility Fund	\$	\$	\$	\$ 2,942
<b>Total Enterprise Funds</b>	\$	\$	\$	\$ 2,942
<b>TOTAL ALL FUNDS</b>	\$	\$ 8,000,000	\$ 2,746,472	\$ 2,746,472

**TOWN OF ORO VALLEY**  
**Expenditures/Expenses by Fund**  
**Fiscal Year 2017**

<b>FUND/DEPARTMENT</b>	<b>ADOPTED BUDGETED EXPENDITURES/ EXPENSES 2016</b>	<b>EXPENDITURE/ EXPENSE ADJUSTMENTS APPROVED 2016</b>	<b>ACTUAL EXPENDITURES/ EXPENSES* 2016</b>	<b>BUDGETED EXPENDITURES/ EXPENSES 2017</b>
<b>GENERAL FUND</b>				
Clerk	\$ 407,900	\$	\$ 372,900	\$ 458,863
Council	211,995		211,995	220,559
Community Development & Public Works	4,596,216		4,536,574	5,990,029
Finance	779,760		735,141	773,591
General Administration	1,804,970		1,788,427	1,736,450
Human Resources	366,775		358,775	368,605
Information Technology	1,571,326		1,571,326	1,691,676
Legal	764,837		722,103	773,003
Magistrate Court	837,629		803,829	845,938
Town Manager's Office	769,521		769,521	801,540
Parks and Recreation	3,004,988		3,070,212	1,977,326
Police	15,250,016		15,155,469	15,643,620
Contingency Reserve	10,371,137	(425,000)	319,131	9,939,785
<b>Total General Fund</b>	<b>\$ 40,737,070</b>	<b>\$ (425,000)</b>	<b>\$ 30,415,403</b>	<b>\$ 41,220,985</b>
<b>SPECIAL REVENUE FUNDS</b>				
Highway User Revenue Fund	\$ 5,901,151	\$	\$ 4,462,777	\$ 5,553,795
Seizures & Forfeitures - State Fund	387,846		221,180	342,328
Seizures & Forfeitures - Federal Fund	287,609		19,806	22,768
Bed Tax Fund	950,226		667,104	914,589
Impound Fee Fund	50,736		27,621	80,814
Community Center Fund	8,277,201		6,493,849	6,920,366
<b>Total Special Revenue Funds</b>	<b>\$ 15,854,769</b>	<b>\$</b>	<b>\$ 11,892,337</b>	<b>\$ 13,834,660</b>
<b>DEBT SERVICE FUNDS</b>				
Municipal Debt Service Fund	\$ 961,216	\$	\$ 896,586	\$ 690,657
Oracle Road Improvement District Fund	178,384		178,153	183,504
<b>Total Debt Service Funds</b>	<b>\$ 1,139,600</b>	<b>\$</b>	<b>\$ 1,074,739</b>	<b>\$ 874,161</b>
<b>CAPITAL PROJECTS FUNDS</b>				
Townwide Roadway Dev Impact Fee Fund	\$ 3,143,049	\$	\$ 47,431	\$ 3,317,088
Naranja Park Fund	137,056			
Alternative Water Rscs Dev Impact Fee Fund	5,321,796		136,060	6,089,084
Potable Water System Dev Impact Fee Fund	5,324,333		331,478	5,566,853
Parks & Recreation Impact Fee Fund	308,369			123,983
Library Impact Fee fund	124,798		51,638	193,160
Police Impact Fee Fund	320,571			375,877
General Government Impact Fee Fund	3,504			3,510
Recreation In Lieu Fee Fund	6,190			27,918
General Government CIP Fund	2,610,000	425,000	1,840,770	2,648,000
PAG/RTA Fund	10,897,696		2,915,034	9,552,166
Energy Efficiency Project Fund				3,000,000
Capital Project Bond Fund				5,000,000
<b>Total Capital Projects Funds</b>	<b>\$ 28,197,362</b>	<b>\$ 425,000</b>	<b>\$ 5,322,411</b>	<b>\$ 35,897,639</b>
<b>ENTERPRISE FUNDS</b>				
Oro Valley Water Utility Fund	\$ 27,784,061	\$	\$ 17,761,887	\$ 27,196,564
Stormwater Utility Fund	1,103,423		884,115	1,521,538
<b>Total Enterprise Funds</b>	<b>\$ 28,887,484</b>	<b>\$</b>	<b>\$ 18,646,002</b>	<b>\$ 28,718,102</b>
<b>INTERNAL SERVICE FUNDS</b>				
Fleet Fund	\$ 1,789,162	\$	\$ 1,278,303	\$ 2,065,249
Benefit Self Insurance Fund	3,082,262		2,860,400	3,274,902
<b>Total Internal Service Funds</b>	<b>\$ 4,871,424</b>	<b>\$</b>	<b>\$ 4,138,703</b>	<b>\$ 5,340,151</b>
<b>TOTAL ALL FUNDS</b>	<b>\$ 119,687,709</b>	<b>\$</b>	<b>\$ 71,489,595</b>	<b>\$ 125,885,698</b>

\* Includes actual expenditures/expenses recognized on the modified accrual or accrual basis as of the date the proposed budget was prepared, plus estimated expenditures/expenses for the remainder of the fiscal year.

**TOWN OF ORO VALLEY**  
**Expenditures/Expenses by Department**  
**Fiscal Year 2017**

<b>DEPARTMENT/FUND</b>	<b>ADOPTED BUDGETED EXPENDITURES/ EXPENSES 2016</b>	<b>EXPENDITURE/ EXPENSE ADJUSTMENTS APPROVED 2016</b>	<b>ACTUAL EXPENDITURES/ EXPENSES* 2016</b>	<b>BUDGETED EXPENDITURES/ EXPENSES 2017</b>
<b>Clerk:</b>				
General Fund	\$ 407,900	\$	\$ 372,900	\$ 458,863
<b>Department Total</b>	<b>\$ 407,900</b>	<b>\$</b>	<b>\$ 372,900</b>	<b>\$ 458,863</b>
<b>Council:</b>				
General Fund	\$ 211,995	\$	\$ 211,995	\$ 220,559
<b>Department Total</b>	<b>\$ 211,995</b>	<b>\$</b>	<b>\$ 211,995</b>	<b>\$ 220,559</b>
<b>Community Development &amp; Public Works:</b>				
General Fund	\$ 4,596,216	\$	\$ 4,536,574	\$ 5,990,029
Highway Fund	5,901,151		4,462,777	5,553,795
Townwide Roadway Dev Impact Fee Fund	3,143,049		47,431	3,317,088
Stormwater Utility Fund	1,103,423		884,115	1,521,538
Fleet Fund	1,789,162		1,278,303	2,065,249
PAG/RTA Fund	10,897,696		2,915,034	9,552,166
<b>Department Total</b>	<b>\$ 27,430,697</b>	<b>\$</b>	<b>\$ 14,124,234</b>	<b>\$ 27,999,865</b>
<b>Finance:</b>				
General Fund	\$ 779,760	\$	\$ 735,141	\$ 773,591
<b>Department Total</b>	<b>\$ 779,760</b>	<b>\$</b>	<b>\$ 735,141</b>	<b>\$ 773,591</b>
<b>General Administration:</b>				
General Fund	\$ 1,804,970	\$	\$ 1,788,427	\$ 1,736,450
General Fund - Contingency Reserve	10,371,137	(425,000)	319,131	9,939,785
Municipal Debt Service Fund	961,216		896,586	690,657
Oracle Road Improvement District Fund	178,384		178,153	183,504
Benefit Self Insurance Fund	3,082,262		2,860,400	3,274,902
General Government Impact Fee Fund	3,504			3,510
General Government CIP Fund	2,610,000	425,000	1,840,770	2,648,000
Library Impact Fee Fund	124,798		51,638	193,160
Energy Efficiency Project Fund				3,000,000
Capital Project Bond Fund				5,000,000
<b>Department Total</b>	<b>\$ 19,136,271</b>	<b>\$</b>	<b>\$ 7,935,105</b>	<b>\$ 26,669,968</b>
<b>Human Resources:</b>				
General Fund	\$ 366,775	\$	\$ 358,775	\$ 368,605
<b>Department Total</b>	<b>\$ 366,775</b>	<b>\$</b>	<b>\$ 358,775</b>	<b>\$ 368,605</b>
<b>Information Technology:</b>				
General Fund	\$ 1,571,326	\$	\$ 1,571,326	\$ 1,691,676
<b>Department Total</b>	<b>\$ 1,571,326</b>	<b>\$</b>	<b>\$ 1,571,326</b>	<b>\$ 1,691,676</b>
<b>Legal:</b>				
General Fund	\$ 764,837	\$	\$ 722,103	\$ 773,003
<b>Department Total</b>	<b>\$ 764,837</b>	<b>\$</b>	<b>\$ 722,103</b>	<b>\$ 773,003</b>
<b>Magistrate Court:</b>				
General Fund	\$ 837,629	\$	\$ 803,829	\$ 845,938
<b>Department Total</b>	<b>\$ 837,629</b>	<b>\$</b>	<b>\$ 803,829</b>	<b>\$ 845,938</b>
<b>Town Manager's Office:</b>				
General Fund	\$ 769,521	\$	\$ 769,521	\$ 801,540
Bed Tax Fund	950,226		667,104	914,589
<b>Department Total</b>	<b>\$ 1,719,747</b>	<b>\$</b>	<b>\$ 1,436,625</b>	<b>\$ 1,716,129</b>
<b>Parks and Recreation:</b>				
General Fund	\$ 3,004,988	\$	\$ 3,070,212	\$ 1,977,326
Parks & Recreation Impact Fee Fund	308,369			123,983
Naranja Park Fund	137,056			
Recreation In Lieu Fee Fund	6,190			27,918
Community Center Fund	8,277,201		6,493,849	6,920,366
<b>Department Total</b>	<b>\$ 11,733,804</b>	<b>\$</b>	<b>\$ 9,564,061</b>	<b>\$ 9,049,593</b>

**TOWN OF ORO VALLEY**  
**Expenditures/Expenses by Department**  
**Fiscal Year 2017**

<b>DEPARTMENT/FUND</b>	<b>ADOPTED BUDGETED EXPENDITURES/ EXPENSES 2016</b>	<b>EXPENDITURE/ EXPENSE ADJUSTMENTS APPROVED 2016</b>	<b>ACTUAL EXPENDITURES/ EXPENSES* 2016</b>	<b>BUDGETED EXPENDITURES/ EXPENSES 2017</b>
<b>Police:</b>				
General Fund	\$ 15,250,016	\$	\$ 15,155,469	\$ 15,643,620
Seizures & Forfeitures - State Fund	387,846		221,180	342,328
Seizures & Forfeitures - Federal Fund	287,609		19,806	22,768
Police Impact Fee Fund	320,571			375,877
Impound Fee Fund	50,736		27,621	80,814
<b>Department Total</b>	<b>\$ 16,296,778</b>	<b>\$</b>	<b>\$ 15,424,076</b>	<b>\$ 16,465,407</b>
<b>Water Utility:</b>				
Oro Valley Water Utility Fund	\$ 27,784,061	\$	\$ 17,761,887	\$ 27,196,564
Alternative Water Rscs Dev Impact Fee Fund	5,321,796		136,060	6,089,084
Potable Water System Dev Impact Fee Fund	5,324,333		331,478	5,566,853
<b>Department Total</b>	<b>\$ 38,430,190</b>	<b>\$</b>	<b>\$ 18,229,425</b>	<b>\$ 38,852,501</b>

\* Includes actual expenditures/expenses recognized on the modified accrual or accrual basis as of the date the proposed budget was prepared, plus estimated expenditures/expenses for the remainder of the fiscal year.

**TOWN OF ORO VALLEY**  
**Full-Time Employees and Personnel Compensation**  
**Fiscal Year 2017**

<b>FUND</b>	<b>Full-Time Equivalent (FTE) 2017</b>	<b>Employee Salaries and Hourly Costs 2017</b>	<b>Retirement Costs 2017</b>	<b>Healthcare Costs 2017</b>	<b>Other Benefit Costs 2017</b>	<b>Total Estimated Personnel Compensation 2017</b>
<b>GENERAL FUND</b>	272.40	\$ 16,747,393	\$ 2,705,733	\$ 1,930,845	\$ 1,851,991	\$ 23,235,962
<b>SPECIAL REVENUE FUNDS</b>						
Highway Fund	23.48	\$ 1,452,796	\$ 164,623	\$ 191,646	\$ 175,109	\$ 1,984,174
Bed Tax Fund	3.00	199,451	22,897	20,935	16,126	259,409
Impound Fee Fund	1.00	47,369	5,438	816	3,845	57,468
Seizures & Forfeitures - State Fund	3.00	155,606	36,816	12,620	22,512	227,554
Community Center Fund	20.42	612,479	27,177	41,526	55,762	736,944
<b>Total Special Revenue Funds</b>	<b>50.90</b>	<b>\$ 2,467,701</b>	<b>\$ 256,951</b>	<b>\$ 267,543</b>	<b>\$ 273,354</b>	<b>\$ 3,265,549</b>
<b>CAPITAL PROJECTS FUNDS</b>						
PAG/RTA Fund	4.00	\$ 154,041	\$ 17,684	\$ 37,058	\$ 14,188	\$ 222,971
General Government CIP Fund	2.40	90,660	10,410	22,250	14,080	137,400
<b>Total Capital Projects Funds</b>	<b>6.40</b>	<b>\$ 244,701</b>	<b>\$ 28,094</b>	<b>\$ 59,308</b>	<b>\$ 28,268</b>	<b>\$ 360,371</b>
<b>ENTERPRISE FUNDS</b>						
Oro Valley Water Utility Fund	39.48	\$ 2,358,428	\$ 268,942	\$ 298,904	\$ 235,580	\$ 3,161,854
Stormwater Utility Fund	6.85	407,127	46,738	66,223	39,146	559,234
<b>Total Enterprise Funds</b>	<b>46.33</b>	<b>\$ 2,765,555</b>	<b>\$ 315,680</b>	<b>\$ 365,127</b>	<b>\$ 274,726</b>	<b>\$ 3,721,088</b>
<b>INTERNAL SERVICE FUND</b>						
Fleet Fund	1.15	\$ 64,731	\$ 7,431	\$ 7,700	\$ 5,951	\$ 85,813
<b>Total Internal Service Fund</b>	<b>1.15</b>	<b>\$ 64,731</b>	<b>\$ 7,431</b>	<b>\$ 7,700</b>	<b>\$ 5,951</b>	<b>\$ 85,813</b>
<b>TOTAL ALL FUNDS</b>	<b>377.18</b>	<b>\$ 22,290,081</b>	<b>\$ 3,313,889</b>	<b>\$ 2,630,523</b>	<b>\$ 2,434,290</b>	<b>\$ 30,668,783</b>





## CAPITAL IMPROVEMENT PROGRAM

Project Name	Department	FY 16/17	FY 17/18	FY 18/19	FY 19/20	FY 20/21	FY 21/22	FY 22/23	FY 23/24	FY 24/25	FY 25/26	FY 26/27	FY 27/28	FY 28/29	FY 29/30	FY 30/31	TOTAL \$
<b>WATER UTILITY FUND:</b>																	
<b>Existing System Improvements</b>																	
<b>Wells</b>																	
Steam Pump Drill and Construct	Water						\$ 700,000	\$ 900,000									1,600,000
Steam Pump - Solar 10,000 Watt System	Water							\$ 50,000									50,000
Well Meter Replacement	Water						\$ 200,000							\$ 50,000			250,000
Well E2 Upgrade	Water	\$ 150,000															150,000
Well Production Modifications	Water		\$ 50,000	\$ 50,000	\$ 50,000	\$ 50,000											200,000
Well Replacement Program	Water										\$ 700,000	\$ 1,000,000				\$ 700,000	2,400,000
Hydropneumatic Tank Replacement	Water	\$ 60,000	\$ 60,000	\$ 60,000													180,000
Replace Well Pumps	Water	\$ 75,000		\$ 75,000		\$ 100,000		\$ 100,000	\$ 100,000			\$ 100,000		\$ 100,000		\$ 100,000	750,000
<b>Reservoirs</b>																	
El Con Storage - Operational Improvements	Water		\$ 50,000														50,000
Water Quality Control Program	Water	\$ 70,000															70,000
WP 4 Site Improvements	Water		\$ 50,000														50,000
Glover Reservoir Coating & Lining	Water	\$ 100,000															100,000
Big Wash Reservoir Coating	Water	\$ 100,000															100,000
<b>Boosters</b>																	
High Mesa E and F Zone Bstr. Enhancements	Water				\$ 50,000												50,000
Replace Crimson Canyon Booster Station	Water					\$ 250,000											250,000
Hydropneumatic (HP) Tank Replacement	Water		\$ 60,000	\$ 60,000	\$ 60,000												180,000
Booster Station Modifications	Water		\$ 50,000	\$ 50,000	\$ 50,000	\$ 50,000											200,000
Add Reclaim Bstr. Pump Thornydale (TW)	Water	\$ 200,000															200,000
<b>Mains</b>																	
W. Lambert Ln. 12" Main (DIS)	Water	\$ 600,000															600,000
Relocate 3 PRV'S OV Area	Water	\$ 100,000															100,000
System Connection Upgrades	Water	\$ 50,000															50,000
Rancho Verde Hydrants	Water		\$ 200,000														200,000
Main Valve Replacements	Water	\$ 50,000	\$ 50,000	\$ 50,000	\$ 50,000												200,000
La Cholla -Lambert to Tangerine (RTA)	Water	\$ 70,000	\$ 500,000														570,000
24 Inch Reclaim Main Tangerine (DIS) RTA	Water	\$ 1,500,000															1,500,000
Hilton Hotel & Casitas Main Repl.	Water			\$ 100,000	\$ 1,300,000	\$ 700,000											2,100,000
OV Community & Rec.Center Main Repl.	Water				\$ 600,000												600,000
Linda Vista Citrus Tracts Main Repl. (note 1)	Water					\$ 250,000	\$ 250,000	\$ 250,000									750,000
Pusch Ridge Estates Main Repl.	Water								\$ 500,000	\$ 500,000							1,000,000
Monte Del Oro Main Repl.	Water								\$ 600,000	\$ 600,000							1,200,000
Rancho Verde Main Repl.	Water										\$ 800,000	\$ 800,000					1,600,000
Rancho Felix Main Repl.	Water												\$ 800,000				800,000
<b>Structures and Walls</b>																	
Wall Upgrades and Improvements	Water			\$ 75,000					\$ 100,000				\$ 100,000			\$ 100,000	375,000
Production Facility Bldg. Retrofit	Water	\$ 80,000	\$ 100,000														180,000
<b>Meters and Equipment</b>																	
SCADA server and monitors	Water			\$ 50,000					\$ 50,000					\$ 50,000			150,000
SCADA Legacy Replacement	Water			\$ 100,000					\$ 100,000					\$ 100,000			300,000
Instrumentation Replacement	Water						\$ 250,000						\$ 250,000				500,000
Construction Equipment - Backhoe and Trailer	Water													\$ 140,000			140,000
Dump Truck	Water	\$ 80,000									\$ 110,000						190,000
<b>TOTAL WATER UTILITY FUND</b>		<b>\$ 3,285,000</b>	<b>\$ 1,170,000</b>	<b>\$ 670,000</b>	<b>\$ 2,160,000</b>	<b>\$ 1,400,000</b>	<b>\$ 1,400,000</b>	<b>\$ 1,300,000</b>	<b>\$ 750,000</b>	<b>\$ 1,200,000</b>	<b>\$ 1,410,000</b>	<b>\$ 1,900,000</b>	<b>\$ 1,150,000</b>	<b>\$ 1,240,000</b>	<b>\$ -</b>	<b>\$ 900,000</b>	<b>\$ 19,935,000</b>

## CAPITAL IMPROVEMENT PROGRAM

Project Name	Department	FY 16/17	FY 17/18	FY 18/19	FY 19/20	FY 20/21	FY 21/22	FY 22/23	FY 23/24	FY 24/25	FY 25/26	FY 26/27	FY 27/28	FY 28/29	FY 29/30	FY 30/31	TOTAL \$
<b>ALTERNATIVE WATER RESOURCES DIF FUND</b>																	
<b>Central Arizona Project (CAP) Water Improvements</b>																	
CAP La Cholla D-E Blending Booster Station	Water				\$ 700,000												700,000
CAP Wheeling Tucson Water Naranja 1000 AF/Yr	Water			\$ 400,000	\$ 400,000												800,000
24" pipe Naranja/ La Cholla/Tangerine	Water				\$ 1,600,000	\$ 1,200,000											2,800,000
Tucson Water Naranja Booster Station Upgrade	Water				\$ 1,200,000												1,200,000
E-C Pressure-Sustain Valve Naranja Res. CAP Blending	Water	\$ 100,000															100,000
Tucson Water Oasis Booster Station Upgrades	Water					\$ 100,000											100,000
Tucson Water 12" Pipe	Water				\$ 80,000	\$ 800,000											880,000
Tucson Water 16" Pipe Oasis Rd.	Water				\$ 100,000	\$ 1,000,000											1,100,000
Wheeling Tucson Water Naranja 500 AF/Year	Water						\$ 400,000	\$ 400,000									800,000
24" pipe La Cholla/Tangerine to La Cañada	Water							\$ 2,500,000									2,500,000
Steam Pump C-D Booster Station	Water					\$ 1,200,000											1,200,000
Big Wash D-E Booster Station	Water							\$ 800,000									800,000
Inlet/Outlet Modification at Allied Signal Reservoir	Water							\$ 50,000									50,000
5,000 AF/Year	Water									\$ 500,000							500,000
16" pipe 1st Ave Tangerine	Water									\$ 1,500,000	\$ 1,500,000	\$ 700,000					3,700,000
PRV Feed to E Zone Tangerine/La Cañada	Water										\$ 50,000						50,000
PRV Feed to E Zone Tangerine/1st. Ave	Water										\$ 50,000						50,000
E-F Booster Station La Canada Reservoir	Water										\$ 1,400,000						1,400,000
Lower Santa Cruz Recharge & Recovery (1,500 AFY)	Water									\$ 900,000							900,000
3-Recovery Wells & Delivery to WTP	Water										\$ 4,000,000	\$ 500,000					4,500,000
Water Treatment RR, Chlorination	Water									\$ 200,000	\$ 1,200,000	\$ 1,000,000					2,400,000
Delivery, Storage, A-C Booster, C-E Booster	Water									\$ 3,000,000	\$ 13,000,000	\$ 10,000,000	\$ 10,000,000				36,000,000
7 - Recovery Wells	Water										\$ 500,000	\$ 500,000	\$ 5,000,000				6,000,000
Water Treatment and RO	Water											\$ 1,000,000	\$ 5,000,000				6,000,000
Concentrate Management	Water											\$ 3,000,000	\$ 5,000,000	\$ 5,000,000			13,000,000
16" pipe Naranja/ La Cholla to Reservoir	Water											\$ 300,000	\$ 2,000,000				2,300,000
<b>TOTAL ALT WATER RESOURCE DEV IMP FEE FUND</b>		<b>\$ 100,000</b>	<b>\$ -</b>	<b>\$ 400,000</b>	<b>\$ 4,080,000</b>	<b>\$ 3,100,000</b>	<b>\$ 1,600,000</b>	<b>\$ 3,750,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 6,100,000</b>	<b>\$ 21,700,000</b>	<b>\$ 17,000,000</b>	<b>\$ 27,000,000</b>	<b>\$ 5,000,000</b>	<b>\$ -</b>	<b>\$ 89,830,000</b>
<b>POTABLE WATER SYSTEM DIF FUND</b>																	
<b>Expansion Related Improvements</b>																	
Property Acquisition C Zone Reservoir	Water				\$ 500,000												500,000
Booster Station C Zone	Water					\$ 150,000	\$ 300,000										450,000
1.0 MG Reservoir C Zone	Water					\$ 150,000	\$ 1,000,000	\$ 500,000									1,650,000
New 16" Main C Zone Connection	Water						\$ 150,000	\$ 1,500,000									1,650,000
Property Acquisition F Zone Reservoir (Oracle Rd)	Water									\$ 250,000							250,000
New 16" Main N. Oracle Rd. F Zone Connection	Water									\$ 300,000	\$ 3,000,000						3,300,000
1.0 MG F Zone Reservoir - N. Oracle Rd.	Water										\$ 250,000	\$ 1,500,000	\$ 1,000,000				2,750,000
N. Oracle Rd. H Zone Booster Station	Water										\$ 150,000	\$ 600,000					750,000
New 12" H Zone Main Sun City	Water										\$ 150,000	\$ 1,000,000	\$ 500,000				1,650,000
New 16" G Zone Main	Water											\$ 200,000	\$ 2,000,000				2,200,000
Property Acquisition Tortolita G Zone Reservoir	Water										\$ 250,000						250,000
Property Acquisition Chalk Creek H Zone Reservoir	Water											\$ 200,000					200,000
2.0 MG Reservoir Tortolita G Zone	Water											\$ 250,000	\$ 2,000,000				2,250,000
Booster Station G-H Zone Tortolita	Water											\$ 150,000	\$ 400,000				550,000
0.5 MG Reservoir H Zone Chalk Creek	Water											\$ 150,000	\$ 1,000,000				1,150,000
New 16" H Zone Main	Water											\$ 200,000	\$ 2,000,000				2,200,000
New 16" Chalk Creek H Zone Main	Water										\$ 100,000	\$ 100,000	\$ 1,000,000				1,200,000
<b>TOTAL POTABLE WATER SYSTEM DIF FUND</b>		<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 500,000</b>	<b>\$ 300,000</b>	<b>\$ 1,450,000</b>	<b>\$ 2,000,000</b>	<b>\$ -</b>	<b>\$ 250,000</b>	<b>\$ 300,000</b>	<b>\$ 3,900,000</b>	<b>\$ 4,350,000</b>	<b>\$ 9,900,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 22,950,000</b>

## CAPITAL IMPROVEMENT PROGRAM

Project Name	Department	FY 16/17	FY 17/18	FY 18/19	FY 19/20	FY 20/21	FY 21/22	FY 22/23	FY 23/24	FY 24/25	FY 25/26	FY 26/27	FY 27/28	FY 28/29	FY 29/30	FY 30/31	TOTAL \$
<b>STORMWATER FUND</b>																	
Side Cast Sweeper - Replacements	PW-Stormwater			\$ 85,000							\$ 85,000						170,000
Street Sweeper - Broom Bear - Replacement (2)	PW-Stormwater		\$ 240,000				\$ 240,000				\$ 240,000						720,000
4.5 Cubic Yard Wheel Loader - Lease Payment	PW-Stormwater	\$ 50,000	\$ 50,000														100,000
10 Wheel End Dump Truck - Replacement	PW-Stormwater				\$ 110,000												110,000
Neff Property Improvements - Wash Behind Fry's	PW-Stormwater		\$ 80,000														80,000
<b>UNFUNDED - UNPROGRAMMED</b>																	
Shadow Mountain Estate Wash Repair	PW-Stormwater		\$ 200,000														200,000
Naranja Drainage Improvement (East of Shannon Rd)	PW-Stormwater		\$ 340,000														340,000
Carmack Wash Drainage Improvements	PW-Stormwater			\$ 200,000													200,000
Moore Road Drainage Improvements	PW-Stormwater					\$ 160,000											160,000
Pistachio/Pomegrante Drainage Improvements	PW-Stormwater						\$ 30,000										30,000
Peglar Wash Drainage Improvements	PW-Stormwater								\$ 200,000								200,000
Lambert at Casas Entrance Drainage Improvements	PW-Stormwater				\$ 120,000												120,000
Shannon Road Drainage Improvements	PW-Stormwater												\$ 140,000				140,000
Drainage Improvement Project (Annexed Area)	PW-Stormwater													\$ 300,000			300,000
<b>Low Water Crossings</b>	PW-Stormwater		\$ 100,000	\$ 100,000	\$ 100,000	\$ 100,000	\$ 100,000	\$ 100,000	\$ 100,000	\$ 100,000	\$ 100,000	\$ 100,000	\$ 100,000	\$ 100,000	\$ 100,000	\$ 100,000	1,400,000
<b>TOTAL STORMWATER FUND</b>		<b>\$ 50,000</b>	<b>\$ 1,010,000</b>	<b>\$ 385,000</b>	<b>\$ 330,000</b>	<b>\$ 260,000</b>	<b>\$ 370,000</b>	<b>\$ 100,000</b>	<b>\$ 300,000</b>	<b>\$ 100,000</b>	<b>\$ 425,000</b>	<b>\$ 100,000</b>	<b>\$ 240,000</b>	<b>\$ 400,000</b>	<b>\$ 100,000</b>	<b>\$ 100,000</b>	<b>\$ 4,270,000</b>
<b>GRAND TOTAL ALL FUNDS</b>		<b>\$ 27,703,000</b>	<b>\$ 6,510,000</b>	<b>\$ 8,330,000</b>	<b>\$ 10,930,000</b>	<b>\$ 7,710,000</b>	<b>\$ 8,700,000</b>	<b>\$ 13,185,000</b>	<b>\$ 3,840,000</b>	<b>\$ 5,160,000</b>	<b>\$ 10,280,000</b>	<b>\$ 29,285,000</b>	<b>\$ 27,712,000</b>	<b>\$ 40,265,000</b>	<b>\$ 7,174,500</b>	<b>\$ 2,550,000</b>	<b>\$ 209,334,500</b>